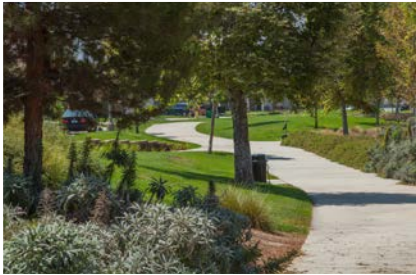


THE PRESERVE DESIGN GUIDELINES

THE PRESERVE | CHINO, CALIFORNIA



Adopted July 17, 2003
Amended February 2008
Amended February 2015
Amended September 2016
Amended November 2021

Due to the size of The Preserve, this document may be expanded to encompass new procedures, product types, lot sizes and architectural styles as experience suggests and market dictates. These guidelines apply to all residential development within the Lewis holdings in The Preserve in Chino, California. They will be reviewed and updated at the start of each new phase and/or as necessary to retain the unique character and level of quality in The Preserve. Before proceeding with any design work, please confirm that this is the most current edition of these guidelines.

Community Design - Edaw/AECOM, Orange, CA

Architecture - WHA, Santa Ana, CA

Landscape - Edaw/AECOM, Irvine, CA | SITESCAPES, Inc., Costa Mesa, CA



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SECTION 1 - COMMUNITY OVERVIEW

1.1 INTRODUCTION

1.1.1 Overview

The Preserve presents an opportunity to create a unique place in time, one that welcomes you home and away from life's everyday stress and pressure. The homes and neighborhoods of The Preserve will combine the current technology of our time with the charm and tradition of the past to provide a new "Home Town" for the future of Chino.

It is with the integration of innovative site planning, architectural integrity and comprehensive landscape architectural design that we can define and create neighborhoods of high-quality and character.

Using simple, quality design techniques in combination with the purest forms of scale and proportion will result in great neighborhoods with classic homes and pleasing landscapes with a simple beauty and value that exceeds others available in the Inland Empire. These guidelines are written to define the fundamental techniques that Guest Builders will use to achieve this goal of simple, quality design and create the level of character and quality that buyers will find in the neighborhoods of The Preserve.

1.1.2 Purpose

These guidelines are for use by the Master Developer for the Lewis Holdings located within The Preserve. They are for the purpose of reviewing and approving Guest Builder projects located within these holdings.

The City of Chino will have their own design review and approval process. They will require other developers to use these design guidelines, or meet or exceed them with their own. These guidelines are in addition to the Specific Plan Design Guidelines (see Section VI, page 170 of the Specific Plan).

Elements from the Master Plan and Overall Design Concept (MPODC) for the Community Core, have been incorporated into these Design Guidelines.

These Design Guidelines are advisory in nature and supplement, rather than supersede, the requirements in The Preserve Specific Plan (SP), the City of Chino Zoning Code and the Building Codes. Each Guest Builder will be responsible to ensure their proposal complies with these regulations. Regulations within the SP take precedence over regulations in the Zoning Code.

1.1.3 Document Content/ Organization

These guidelines are organized into eight Sections. **Section 1, Community Overview**, provides a brief overview of the overall community vision and description of the plan, concepts and design intent. This information is important to designers and Guest Builders because it describes the basic design and planning principles upon which more specific design decisions have been made. **Section 2, Neighborhood Crafting**, contains more specific neighborhood crafting design criteria to which the "Guest Builders" must respond in their plotting and product design. This includes written statements, sketches, cross sections, detailed drawings, photographic illustrations and other information that constitutes

the specific requirements and design standards which will be used to evaluate every design proposal. Observing these guidelines will help assure that the promise of the vision for The Preserve will be fulfilled. **Section 3, Suburban**, includes architectural design criteria, including concepts and criteria for detached and attached housing covering architectural styles, massing, garages, materials and color. **Section 4, Urban**,

provides residential architectural design criteria for this area. **Section 5, Landscape Design**, covers the landscape design concepts and provides a description of overall community and neighborhood design concepts and criteria for a variety of elements including entries, streetscapes, parks and paseos. The last section, **Appendix**, includes Street Sections, and Glossary of Terms.



1.1.4 Relationship of the Design Guidelines to “The Preserve” Specific Plan

The SP spells out four (4) Guiding Development Principles. Every individual project/application must comply with the intent of each of them. Project approval can only occur if a finding is made to that effect. The Principles are summarized below.

- Provide a broad range of housing projects, designs, and types in every residential project to create diversity and character. Finding: The project contributes directly to a broad range of housing types and opportunities.
- The Preserve is intended to be a vibrant and diverse community with a wide variety in the design of structures. Finding: The project is characterized by design features that contribute to the quality and variety of the living environment.
- The Community Core is the heart and soul of The Preserve. The intended quality and character of the Community Core must be maintained. Finding: The project contributes to and does not detract from the character and viability of the Community Core.
- The intent of the Land Use Plan and its basic land use patterns must be preserved. Finding: The project implements and is consistent with the land use concept in the plan.

Refer to the SP Section IV: Development Concept and Section VII: Administration for complete information on concepts and processing.



1.2 PLAN OVERVIEW

1.2.1 Vision Statement

A. Concept Plan "Big Ideas":

Evolution of "Best Ideas," Unique to Chino

- Create an innovative, dynamic, lively community that encourages social, civic and leisure interaction, and evokes a "pride of place" where people love to live. The man-made landscape will play an important role in defining the unique quality of the place and setting it apart from its neighbors.

Develop Cores of Education and Community Activity

- Provide quality educational facilities and programs in concert with multi-purpose activity centers within the Community Core that serve the residents on a daily and extended hours basis.

Provide for Full Range of Recreation

- Integrate the open space and trails network throughout the community. Centrally locate the private multi-use recreation centers to serve the member residents.

Provide Variety of Housing Types

- A mixture of single family detached and attached homes, including higher density suburban and urban detached and attached homes, both for sale and for rent are envisioned for the community.

Create Distinctive, Pedestrian-Friendly Neighborhoods

- Encourage community and neighborhood forms with a diverse and integrated mix of uses, resulting in an enhanced level of convenience and richness of experience. Identify and create a variety of neighborhood types that are walkable and respond to a diversity of markets.

Link to the Town Building Heritage of Chino and the Region

- Recapture the charm and essence of established neighborhoods, by using a mix of historical styles while also allowing for newer interpretations of these styles to be mixed in for an overall feeling of quality and tradition in keeping with the character of Chino and the surrounding region.

Create a Connected Community

- Encourage linkage and connectivity through land use adjacencies, open space and trails, resulting in enhanced access to support services and a higher level of community interaction.

Sustainability

- Design for sustainability, reduced energy usage, and less construction waste.
- Efficient floor plan design with simplified massing.
- Incorporate current architectural style interpretations and construction methods.
- Design for an attainable approach.

1.2.2 Community Core Concept

Main Street forms the central north-south axis within the Community Core. The character of Main Street changes to reflect the nature of the adjacent uses and neighborhoods.

Main Street at Kimball is wide and represents the north entry into The Preserve. Homes front on to this segment with its wide landscaped median. As Main Street crosses Loop Road, the adjacent uses are more civic, with a K-8 School, Community Center, and Private Recreation Facility.

Garden Park Street and Forest Park Street act as gateways leading to the outlying neighborhoods. Main Street then crosses the SCE Corridor with views in either direction.

From Bickmore south to Pine Avenue Main Street becomes more urban with angled parking and curb-adjacent sidewalks with tree wells re-enforcing this urban character.



LEGEND

Residential	
	ER Estate Residential (2 du/ac)
	LDR Low Density Residential (5.5 du/ac)
	MDR Medium High Density Residential (10 du/ac)
	HDR High Density Residential (16 du/ac)
	RD 20 Residential Density 20 (21 du/ac)
	RD 30 Residential Density 30 (30 du/ac)
Open Space	
	OS-W/N/R Open Space Water/Natural/Recreational
	AG/OS-N Agricultural and Open Space Natural
Business	
	NC Neighborhood Commercial (.25 FAR)
	RC Regional Commercial (.25 FAR)
	AR Airport Related (.35 FAR)
	CC 16 Community Core 16 (16 du/ac)
	CC 30 Community Core 30 (30 du/ac)
	CC CF Community Core Non-Residential
Other	
	PF Public Facility
	RD Roads
	Lewis Holdings Boundary

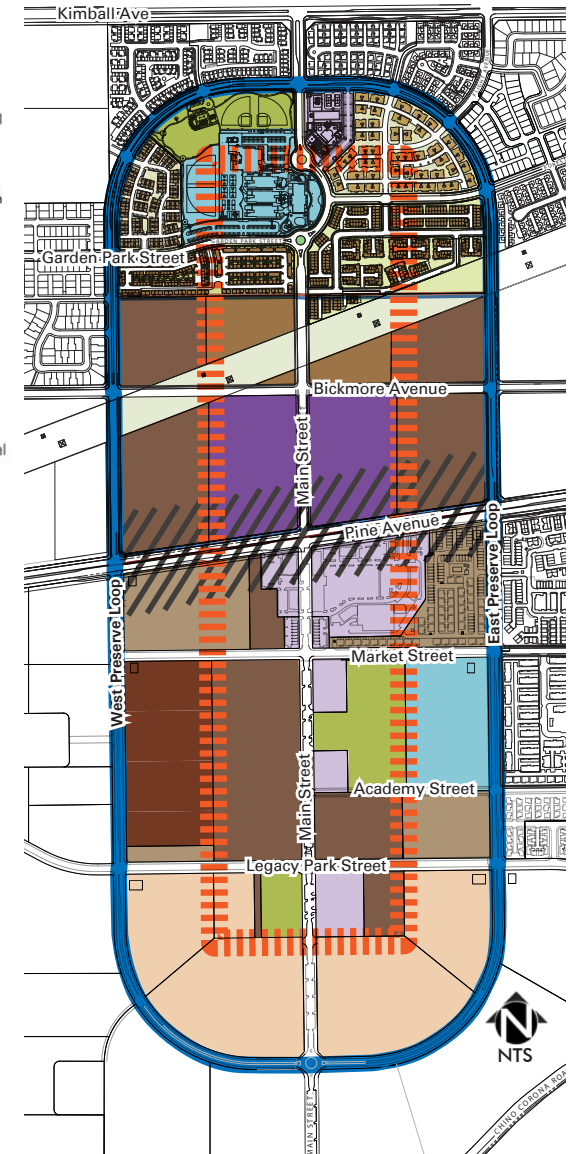


FIGURE 1.1: COMMUNITY CORE

THE PRESERVE

DESIGN GUIDELINES

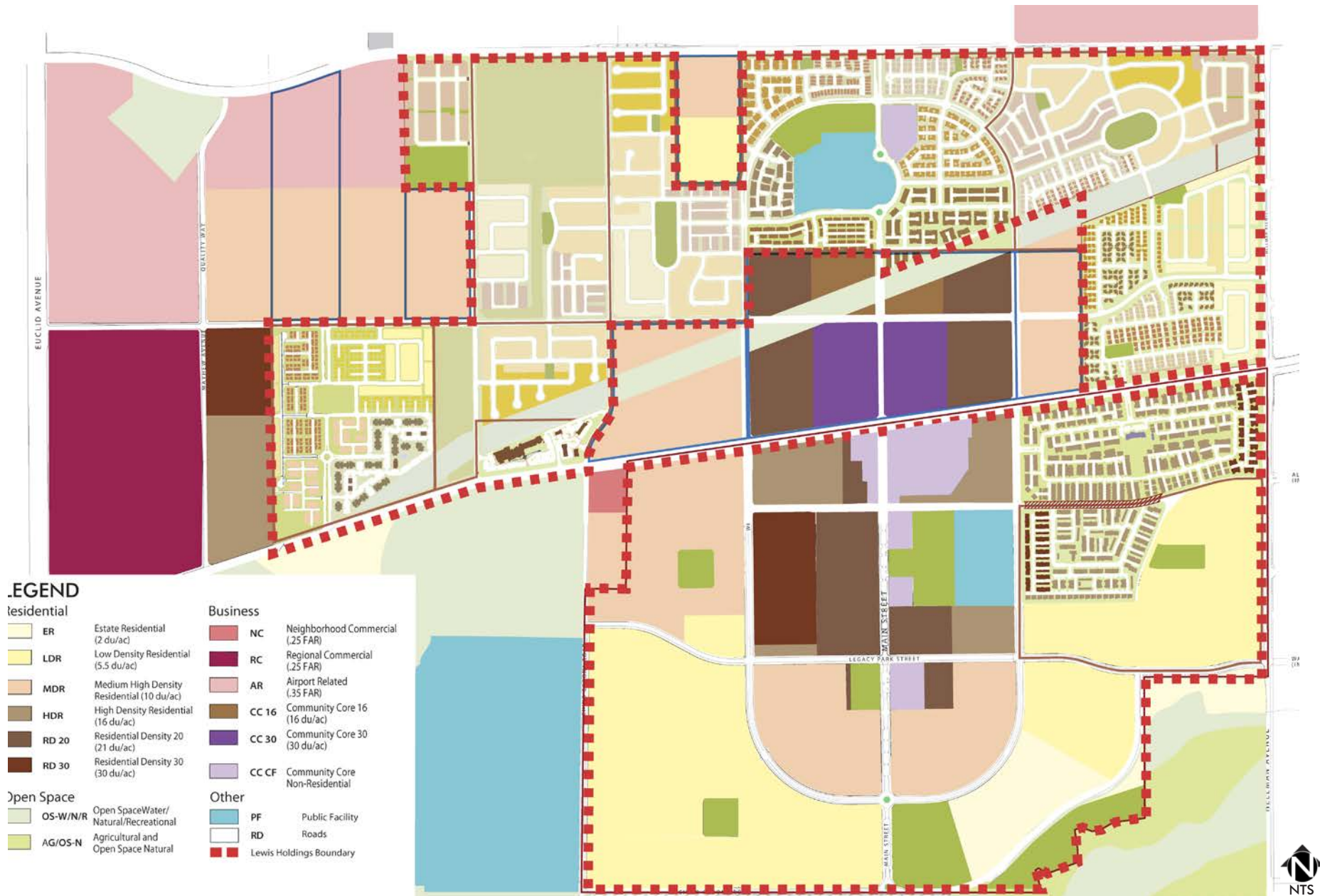


FIGURE 1.2: THE LEWIS HOLDINGS MASTER PLAN (THE PLAN)



Directly south of Pine, Main Street enters The Preserve Town Center. Otherwise known as District 4, this segment from Pine to Market is Retail and Office dominant.

Heading further south, Main Street enters the Civic Center of The Preserve. Prominent buildings will include the City Community & Senior Center along with the County Library. This segment will carry-on the urban nature of District 4 along with some views into the Urban Park and second K-8 School Site. The residential neighborhoods fronting Main Street from Market down to Chino-Corona Road will front on to the wide curb-adjacent sidewalk with tree wells providing shade.

1.2.3 Lewis Holdings Master Plan

A. Overview

The Preserve is envisioned to be a dynamic and diverse community. The SP provides for a mixture of residential neighborhoods focused around a lively mixed-use Community Core. Other features of the SP include a multi-purpose open space system with paseos and trail connections. A complete mix of housing types ranging from estates to apartment living environments are envisioned. Neighborhoods will have a rich mixture of housing types, responding to a variety of market segments. The accompanying maps define development areas for the Lewis Holdings Master Plan (The Plan). See Figures 1.2, 1.3, 1.4, and 1.5.

The Plan will provide amenities and support facilities of a balanced residential community. The Plan includes a rich mix of diverse, connected neighborhoods, organized around a walkable, mixed-use core including education, recreation, community services and medium to high density housing.



Community Core pedestrian spaces

THE PRESERVE

DESIGN GUIDELINES

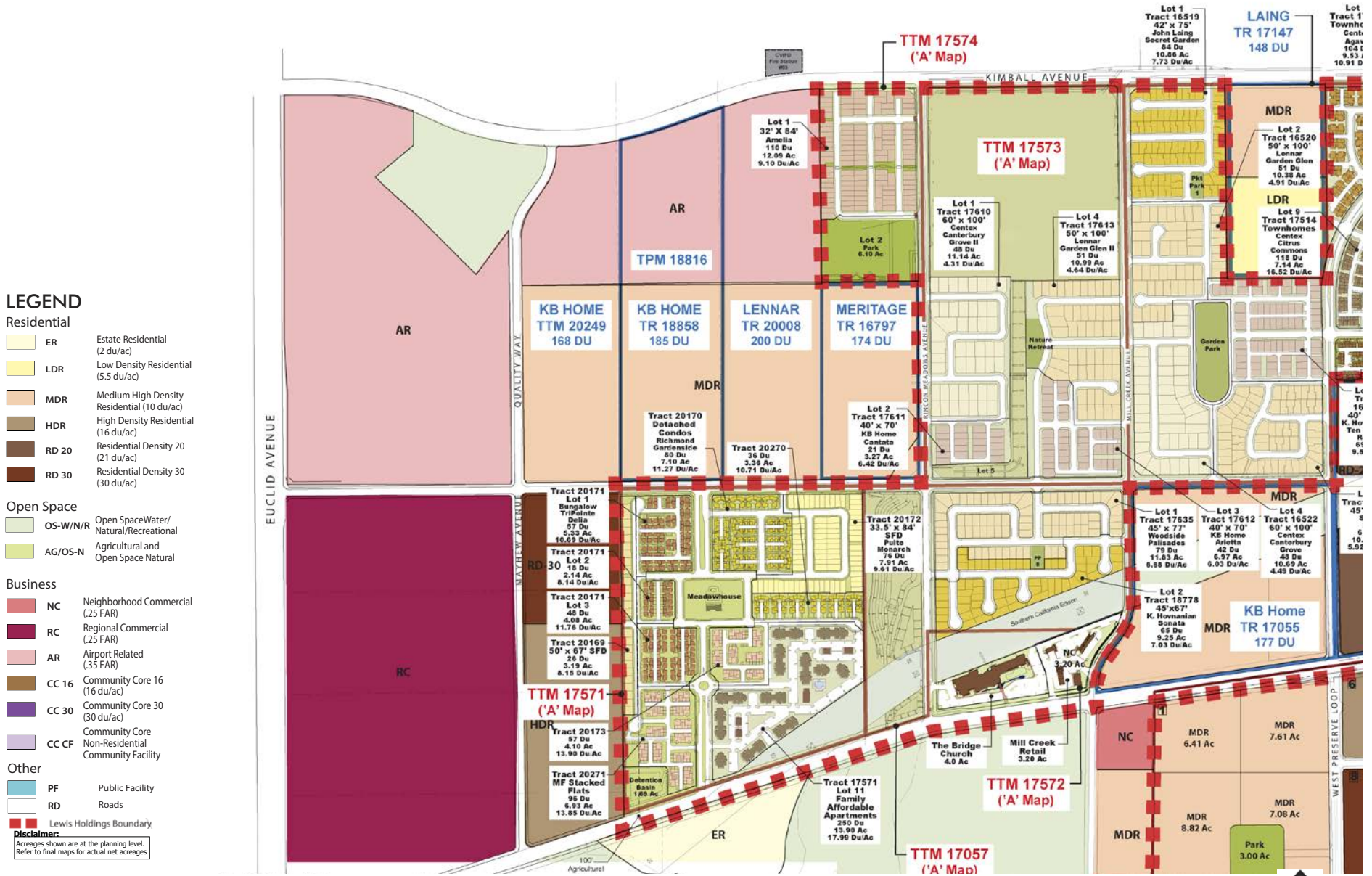


FIGURE 1.3: NORTHWEST SECTION OF THE LEWIS HOLDINGS MASTER PLAN (THE PLAN)



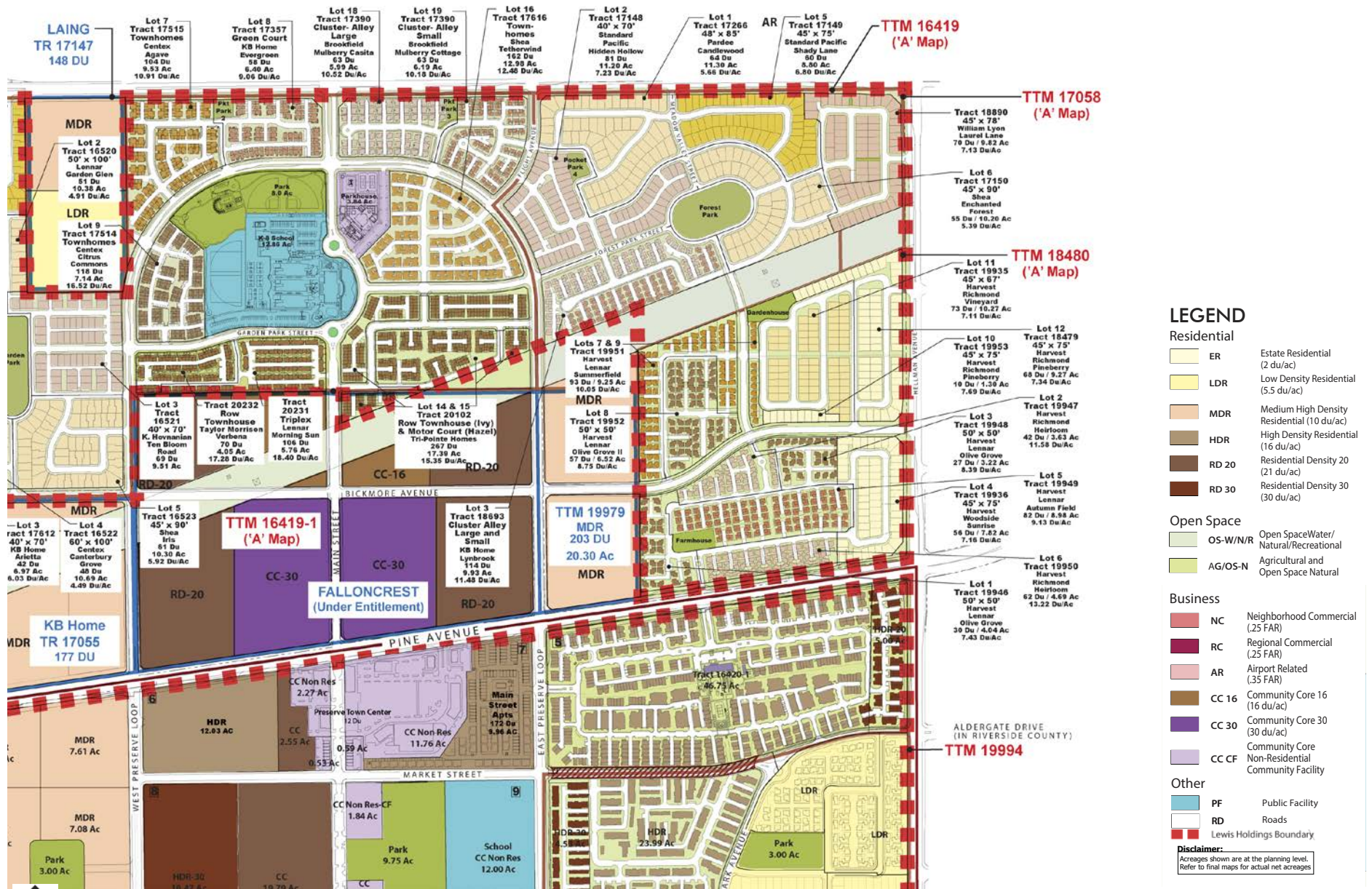


FIGURE 1.4: NORTHEAST SECTION OF THE LEWIS HOLDINGS MASTER PLAN (THE PLAN)



THE PRESERVE

DESIGN GUIDELINES

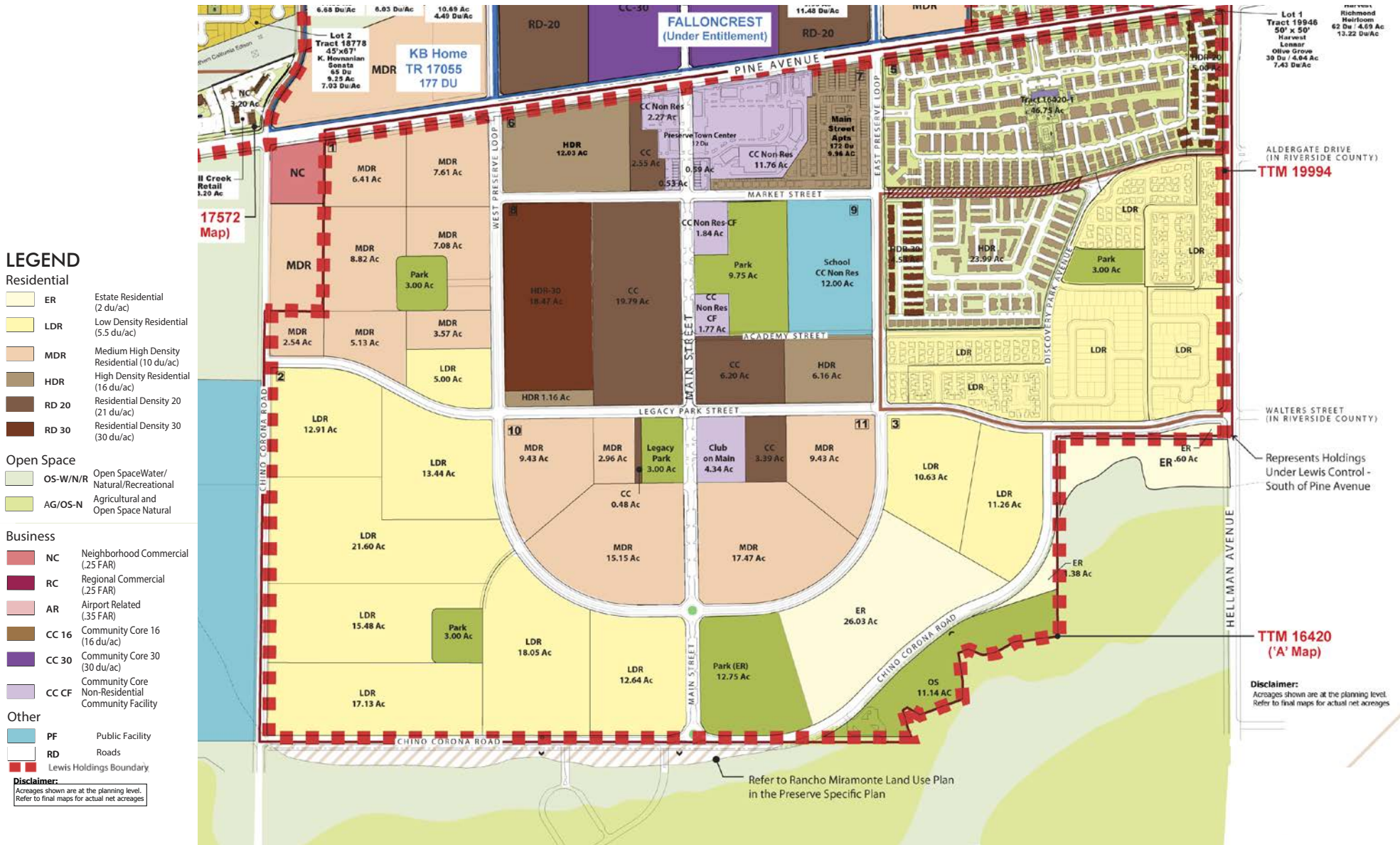


FIGURE 1.5: SOUTHEAST SECTION OF THE LEWIS HOLDINGS MASTER PLAN (THE PLAN)

B. Recreation Concept

The multi-tiered, interconnected recreation system consists of a variety of elements including active and passive parks, paseos, and public/private gathering places. The plan organization assures that every resident will be within ¼ mile of at least one (1) of the following recreation elements:

- **Neighborhood Parks:** These parks are typically over 6-acres in size and may include programmable spaces for team sports as well as other fitness activities.
- **Formative Parks:** These three-acre (net) parks are both active and passive in character and provide flexible play, picnic and tot lot space. They also play an important role in creating individual neighborhood identity and “place making.”
- **Pocket Parks:** These ½-acre minimum size parks include tot lots, free play and flex spaces. They are located so that everyone is within convenient walking distance and provide a focal point of activity within or between Guest Builder parcels.
- **Paseos:** These linear parks will provide walking trails and usable open space amenity value for the development. They are part of the community-wide trail system.
- **Public/Private Gathering Places:** Places such as recreation centers, informal free play areas, the common areas in multi-family neighborhoods, and other informal open spaces complete the array of recreation elements.



Public/Private Gathering Place



Garden Park- Formative Park



Nature Retreat Park- Neighborhood Park



Mulberry Park- Pocket Park



Forest Park- Formative Park

THE PRESERVE

DESIGN GUIDELINES

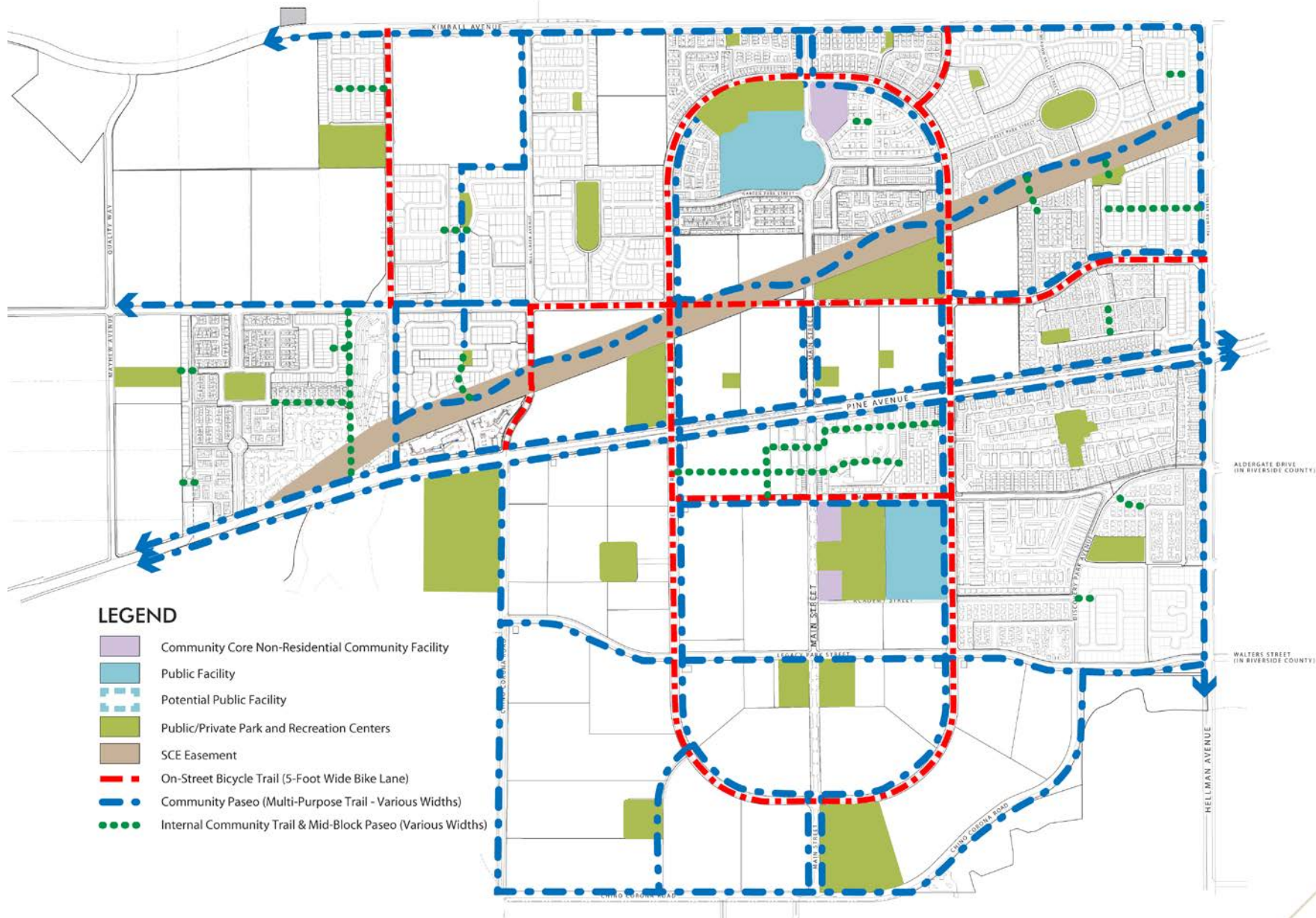


FIGURE 1.6: PARKS, OPEN SPACES & TRAIL OVERLAY



C. Community Core

- **Main Street - Central to the Community Core:** Located within the Core, Main Street is the central north/south street and neighborhood gathering place. Main Street is oriented on a cross axis to the icon streets that provide a link the outlying neighborhoods. More urban forms of housing in tightly knit neighborhoods, such as duplexes, town homes, flats and other types of attached housing are planned directly adjacent to Main Street within the Community Core.
- **Master Developer Private Community Recreation Centers (PCRCs):** These facilities, located in the Community Core, are a unique innovation that provides a center of community and social activity within walking distance of most residents. The PCRCs have a variety of uses which may include meeting rooms, special event areas, swimming, tennis and children's play centers. These PCRCs provide over three (3) acres of private recreation, community activity and social programming opportunities.
- **Civic Amenities:** The first school in The Preserve is Cal Aero Preserve Academy, located at Main Street and Garden Park Street it serves grades K-8. The second K-8 School is proposed to be located south of Market Street adjacent to East Preserve Loop Road. A neighborhood park is proposed to be adjacent to this second K-8 School site in the center of this block located in the Community Core. Located on north side of Kimball west of Rincon Meadows Avenue, is the Chino Valley Fire Department Station 63 and serves The Preserve and surrounding area. There is also a City Community Center with Gymnasium and County Library proposed to be located along the west side of this neighborhood park. This area will group the various civic elements of the Community Core all within one block for ease of pedestrian connectivity between these uses.



Parkhouse Private Community Center



K-8 School

- **Community Core Urban Residential:** The Community Core will consist of higher density housing types, providing a lifestyle unique in the Chino area. Residents will be only a few walkable blocks away from Main Street with services, community activities, recreation and educational facilities. The neighborhoods will have a slightly more urbane character due to the intimate scale, authentic architecture and urban housing forms.

D. Outlying Suburban Neighborhoods

- The residential neighborhoods located outside of Loop Road can be accessed via the east-west running streets, like Market, Academy, and Legacy Park. Each of these neighborhoods will have their own neighborhood gathering places like Formative Parks and Pocket Parks. These areas provide the primary active recreation opportunities for these residents. They are positioned within convenient walking distance from adjacent residents, and they provide free-play flex space and areas for passive use.



Urban Neighborhood Character



Suburban Neighborhood Character



Suburban Neighborhood Character



SECTION 2 - NEIGHBORHOOD CRAFTING

2.1 NEIGHBORHOOD QUALITY

The neighborhoods of The Preserve are based on a unique and compelling design character derived from timeless town building principles as described throughout these guidelines. The neighborhoods and homes that result are crafted to meet consumer aspirations about their living environment. The large selection of architectural styles, from historical to current, will add variety and interest to the residential neighborhoods. The shift in character, compared with typical Inland Empire neighborhoods will distinguish The Preserve within the marketplace and provide added value to Guest Builders and residents alike.

The bottom line of these guidelines is to create more of a small town and less of a mass produced feel. This will be achieved through a mixture of smaller tracts of single product, greater diversity of style, smoother transitions between product and increasing neighborhood landscape. In the end, The Preserve neighborhoods will be more walkable, attractive, feel safer, encourage social interaction and age with elegance and visual richness.

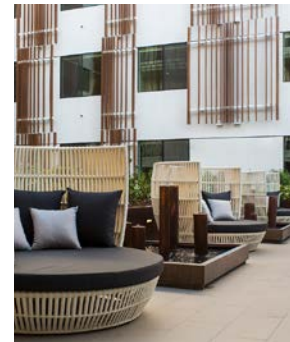
Suburban Neighborhood Design Guideline Cornerstones

- Build in smaller single product tracts, and provide a mix of plan forms and elevations using a variety of materials.
- Provide individuality and identity at both the neighborhood and home level by varying neighborhood design and increasing diversity and choice in architectural styles.
- Re-introduce landscaped parkways with street trees between curbs and sidewalks to create a sense of place.
- Orient living activity toward the street by connecting the street sidewalk to residential entries.
- Create walkable destinations within the neighborhood, such as parks and open space.
- Use parks as organizational elements so that everyone is generally within a few blocks of an open space, creating a strong sense of place and community.
- Provide park space for passive and active recreation, meeting the needs of various users.
- Define neighborhoods through elements such as parks and paseos that override the singular guest builder product identity while providing an underlying diversity that allows individual product lines to blend together.
- Express both true recognizable regional styles along with new innovative style for neighborhoods rich in diversity.
- Use strong form, massing and detailing to express styles.
- Utilize simple plan forms and elevations to support the criteria in the architecture section that promote reduction of cost in structure and complexity.
- Emphasize “architecture forward” plan forms that remove the garage as the predominant impression on the street.
- Provide a diversity of related styles, as if multiple Guest Builders had worked together to create the neighborhood.
- Program parks with a mix of tot lots, hard courts, and flex space.
- The community is knitted together and integrated through a system of trails, paseos, and open spaces.



Urban Neighborhood Design Guideline Cornerstones

- Design neighborhoods in more of a grid pattern where possible away from the curvature of Loop Road.
- Front units on to the primary perimeter streets like Loop Road and Main Street.
- Utilize the tighter building setbacks allowed in the Community Core and HDR Zones.
- Introduce hardscape directly adjacent to the curb with tree wells in place of parkways.
- Landscape areas in front of buildings will be smaller with simple stoops and stairs leading directly to individual unit entries or to passageways leading into interior courtyards.
- Create walkable destinations within the neighborhood, such as parks and civic areas, and retail areas.
- Connect the street sidewalk to residential entries or shared entries into interior courtyards.
- Provide subtle architectural elements on tall buildings to provide a human-scale and strong sense of urban location.
- Longer, straighter building edges provide more of an urban feel.
- Enhancements should be subtle and designed so as not to clutter the facades.
- Attached product will consist of more units, spaced closer together than seen in areas outside Loop Road.
- Incorporate tighter paseos, shallower entries, and tighter common areas than neighborhoods outside the Community Core.
- Architectural styles in the higher density detached neighborhoods may strive to share a similar contemporary design theme. This may be different than the SFD neighborhoods located outside the Community Core, creating an identifiable characteristic to these unique neighborhoods.
- Utilize a variety of architectural styles to provide diversity and interest.
- Allow for “Transitional Design” where classical forms are allowed to be re-interpreted in a more contemporary manner.



Urban Neighborhood Inspiration

2.2 NEIGHBORHOOD CRAFTING ELEMENTS

2.2.1 Variety of Guest Builder Parcel Sizes

Suburban Neighborhoods should be built around smaller, more fine grained mix of residential Guest Builder parcels that form neighborhoods focused around formative or pocket parks. Several architectural styles should be represented to provide variety and interest.

Urban Neighborhoods will have a more grid-like character and will have a more cohesive architectural theme per project. Colors and materials should work together even when multiple architectural styles are represented. Common Areas for gathering should be included within each site.

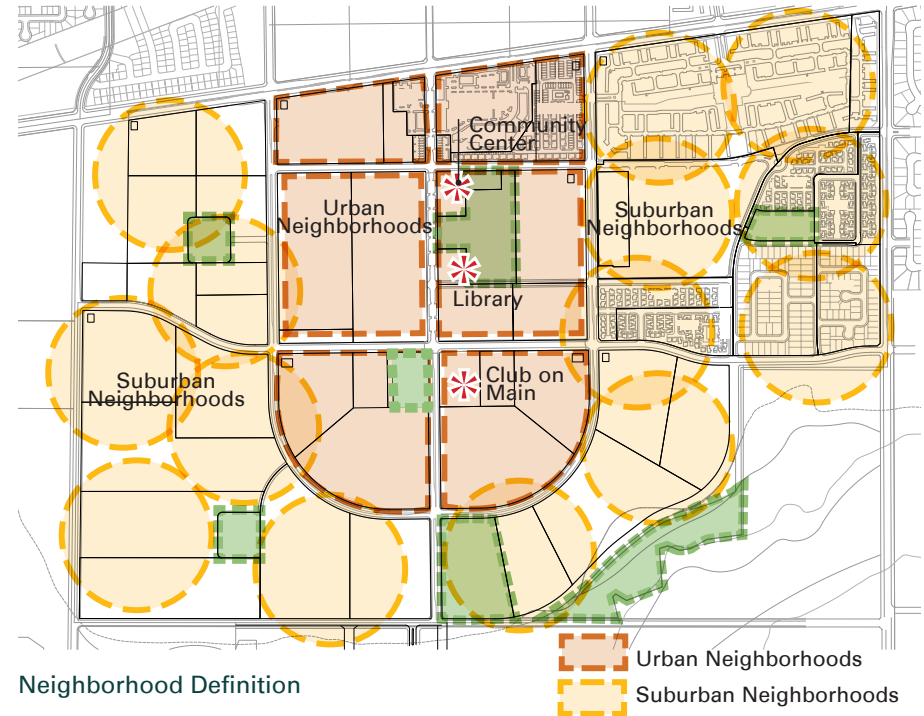
The following should be a guide as to the range of units appropriate to the various product category types.

SFD Fee Simple Neighborhoods: 30-80 Lots.

Detached Condo Neighborhoods: 50-90 Units

Attached Condo Neighborhoods: 70-175 Units

Rental Communities: These may vary from 100-800 Units (see Section 4.6.6 Urban Rental Communities for reference).



2.2.2 Icon Streets in Suburban Neighborhoods

Icon Streets should be designed to connect the core to the outlying neighborhoods. The Icon Street will achieve an enhanced character with wider parkways, and increased building setbacks.

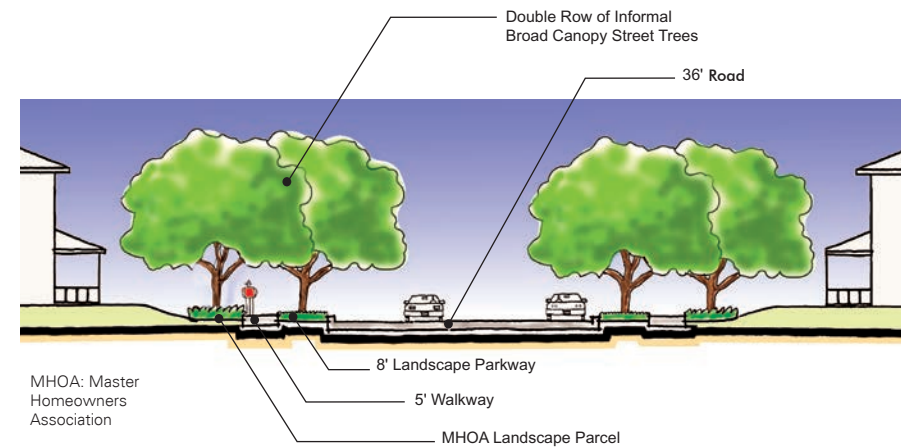
Homes shall be predominately drive-aisle loaded products. Building heights may vary, however a general consistency of two-story massing should be achieved for Icon Streets leading away from Loop Road. Homes located on corners in SFD Fee Simple Neighborhoods will require additional enhancements (see 3.4.1 A for additional information).

Architectural styles shall be chosen that provide strong massing and presence. An added landscape lot in addition to the standard parkway shall be included on Icon Streets leading away from Loop Road, Front setbacks shall be 20' for homes located on Icon Streets outside of Loop Road. Icon Streets within the Loop (Core Icon Streets) require a 14' setback (see Figure 2.1 and Icon Street Section Y in the Appendix).

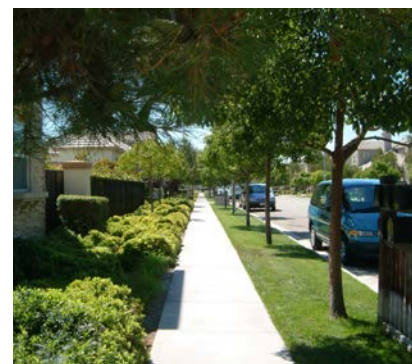
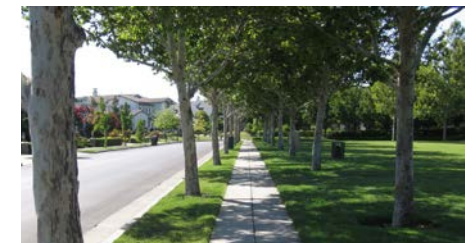
2.2.3 "Connected" Suburban and Urban Street Network

The local street network is designed to provide inter connectivity within individual builder parcels and neighborhoods.

- Provide a blend curvilinear streets and cul-de-sacs in suburban areas and more of a traditional grid layout in urban areas.
- Incorporate pedestrian "networks" that provide choices between routes, both street-side and internal paseo.
- Blend the neighborhoods with interconnected local streets and multiple entries.



Icon street section and rendering



Connected local street network

- Outlying suburban neighborhoods should be designed so that pedestrian traffic is guided to the "Icon Street" which will direct them into the community core.
- The centrally located urban neighborhoods will have the choice of following the curb-adjacent sidewalks as well as some "pass-throughs" between neighborhoods (see Figures 2.2, 2.3 and 2.4 for more details).
- This mix of traditional suburban street character with curb-separated sidewalks, curb-adjacent planting strips in the outlying neighborhoods and the more urban 15' wide sidewalks with tree wells and tight setbacks for the centrally located neighborhoods will encourage use of the sidewalk for walking and as a pedestrian place (see Appendix for street sections).



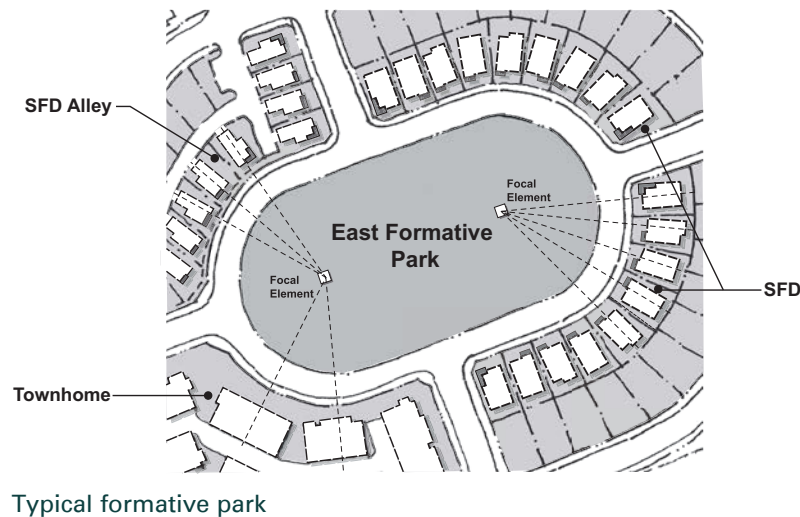
Urban Street Character



Suburban Street Character

2.2.4 Formative Parks Special Design Criteria

- Corner lot enhancements required on SFD neighborhoods. Level of treatments dependent upon hierarchy of location within the neighborhood.
- Strive to maximize units oriented to the park.



Neighborhood Edges

2.2.5 Neighborhood Edges and Wall Treatment

In order to avoid a continuous “walled” character along the internal neighborhood edges and Preserve Loop Road, front-on or side-on plotting with other special treatments should be used to provide an “open,” friendly edge. Special treatments may include open drive aisle ends and cul-de-sacs, view fencing, low privacy walls, paseo trail connections and variable wall alignments. A pedestrian connection shall be provided in location where a cul-de-sac abuts a perimeter street. This will enhance the overall character and appearance of the community viewed from these strategic directions. The overall Preserve perimeter edges shall receive a Community Theme Wall treatment along with widened landscape areas.

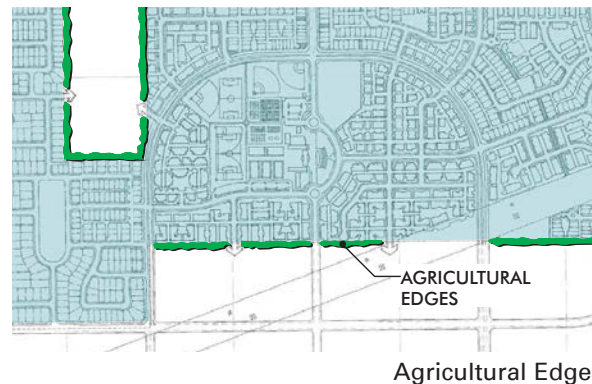
- Drive-aisle front-on conditions shall be planned at key entry points to the community and at key locations along Preserve Loop.

- Side-on conditions shall be secondary to front-on conditions.
- Project perimeters will consist primarily of rear-on conditions with occasional side-on conditions.
- Perimeter edges include Landscape Lots behind sidewalks for an added layer of trees and shrubs between walks and walls.
- Continuous freestanding walls around the periphery of a neighborhood are discouraged. Look for opportunities to include openings into common areas unless located along The Preserve outer perimeter edges. Solid walls providing privacy and sound attenuation for individual patios or rear yards may be intermittent only and should tie back into each building. Noise studies will be provided by Guest Builders for locations adjacent to collector and arterial streets.
- Perimeter Community Walls along the periphery of a neighborhood shall be of masonry construction of a style compatible with the community theme wall standard design. See Landscape Design Section 5.4.2, Material List, Elevations, Sections and Details, for community theme wall design.

- Internal Neighborhood Walls may be themed if appropriate to the neighborhood's concept. See Landscape Design Section 5.4.2, Material List, Elevations, Sections and Details, for fence design.

Agricultural Edges/Buffers

Agricultural edges, which can also be considered as a buffer, exist at specific locations around The Preserve. If development occurs prior to the end of agricultural (dairy) operations, buffers between these operations and the development will be required.



2.2.6 Corner Lots in Suburban Neighborhoods

In keeping with the desired character of suburban SFD neighborhoods, homes on corner lots shall be designed for a two-sided corner exposure to enrich the street scene. (Refer to Architecture Section 4.0, Streetscape Massing and Plotting, for detailed criteria for corner plans.)

- Corner lots in suburban SFD neighborhoods with lots 50 feet and wider shall be 10 feet wider than interior lots (60 feet min.). Corner lots on SFD products with lots less than 50 feet wide shall be a minimum of five feet (5') wider than interior lots. Lots that are adjacent to mid-block pass-throughs are not considered Corner Lots.

2.2.7 Staggered Streetscene Massing

In general the massing along a street should show movement and variation. This can be achieved at the ground floor level as well as at upper levels. The location of the garage door can be varied as well. The Architectural Massing should also be designed to show visual interest as described in Architecture Section 3, 2.2 Architectural Massing.

2.2.8 Mid-Block Pass-Throughs

Mid-block pass-throughs are encouraged to provide pedestrian access to neighborhood parks, amenities, and daily travel through the community. The following criteria would apply to these pass-throughs in suburban Fee-Simple SFD neighborhoods. This criteria does not apply to paseos that access front entries to units in attached and detached condominium neighborhoods.

- Homes adjacent to pass-throughs should receive some level of additional enhancement, but they do not need to be to the same level as a corner lot.
- Privacy walls should be kept to a maximum height of 8' or be stepped, with a lower retaining wall and upper privacy wall, if conditions require more than 8'. 3' between these two walls is suggested.

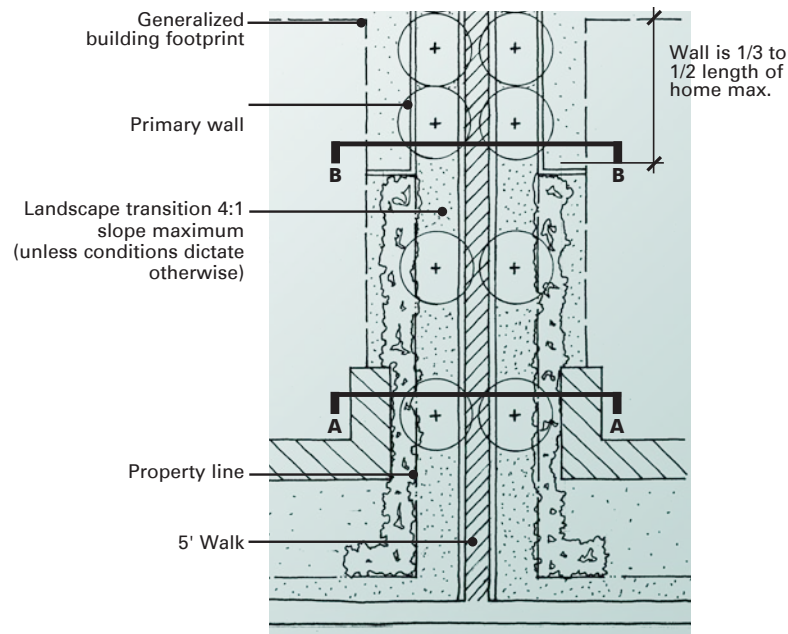


FIGURE 2.2: MID-BLOCK PASS-THROUGH PLAN

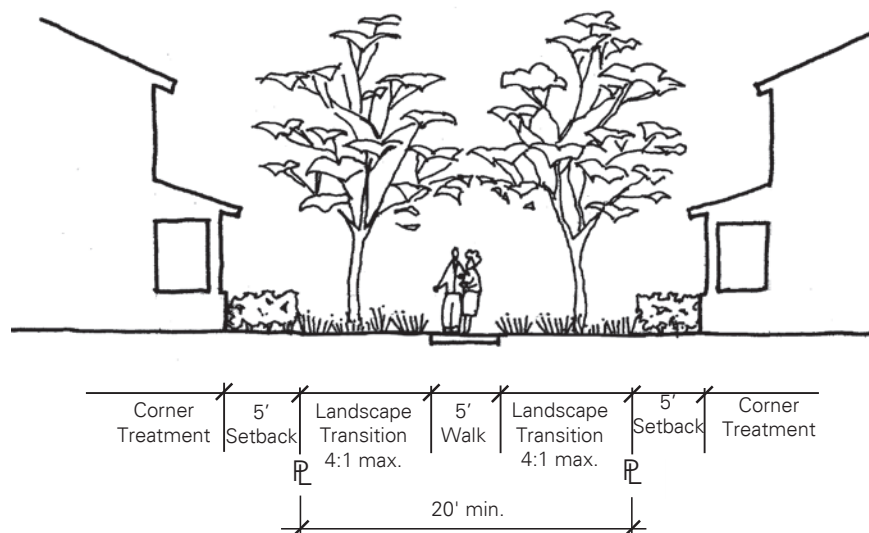


FIGURE 2.3: MID-BLOCK PASS-THROUGH A (FRONT-ON CONDITION)

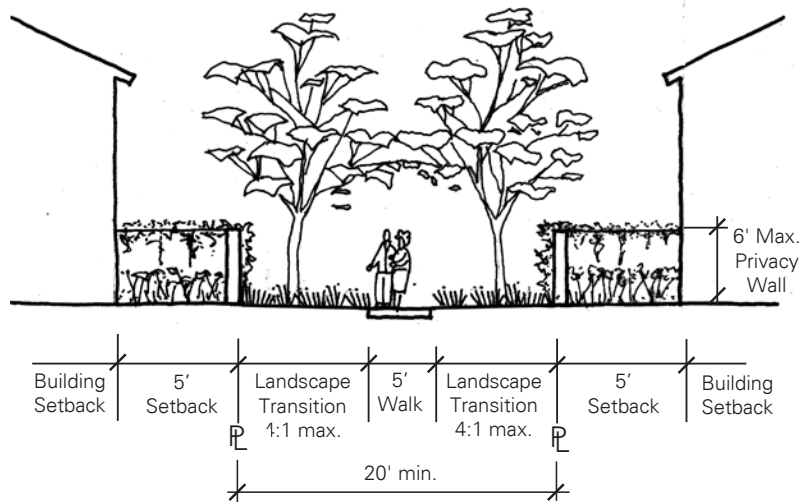


FIGURE 2.4: MID-BLOCK PASS-THROUGH B (SIDE-ON CONDITION)



Mid-Block Pass-Through



Mid-Block Pass-Through

- Corner side yard walls should be limited in length to extend 1/3 to 1/2 of the length of the home, depending on the architecture, as measured from the back corner of the lot. Attempt should be made to expose most of the home while finding the most aesthetically pleasing location to return the wall to the side of the home.
- Try to limit the side slopes within the pass-through to 4:1.

2.2.9 Paseos

Paseos are pedestrian-only paths of travel. They typically provide access to the entries of various types of Detached Condo homes. Paseos accessing homes are often narrower than other types of public space, serving approximately 4-8 residential units.

2.2.10 Local Streets at Suburban & Urban Settings

Landscaped parkways provide a safety zone between the pedestrian and auto environment on street. Mature street trees provide shade and frame the street providing a more intimate scale to the street.

- Curb-separated sidewalks with street trees are standard for all suburban local streets.
- Curb-adjacent sidewalks with tree wells are standard for Main Street from Pine to Legacy Park. They may also be considered for HDR16 & HDR30 neighborhoods within the Loop.
- Street trees are to be planted with a consistent spacing and theme.
- Coordination is required for placement of trees in relation to street lighting, fire hydrant and utility locations.
- House plotting and driveway placement shall be coordinated with street tree spacing criteria for individual projects.
- HOA is responsible for maintenance of trees in parkways and lettered lots. This maintenance includes tree replacement due to damage by winds, disease, etc...Wait for Landscape Section



Typical local street parkway



Urban street with tree-wells

2.2.11 Driveway Design

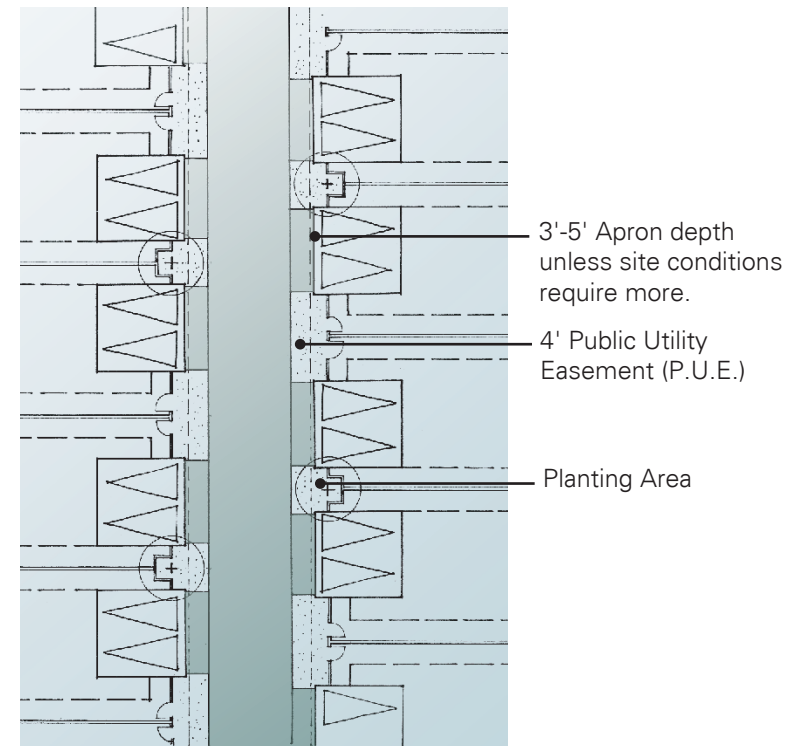
Driveway design and placement in relation to drive locations on adjacent lots plays an important role in creating a quality street scene. The following criteria are noted.

- Driveways shall be 18' minimum in length, but 20' is preferred to avoid risk of an auto blocking sidewalks.
- Driveway widths should be kept to match the width of the garage doors to minimize expanses of concrete along the street scene.
- Driveways, for three-car front-on garages, greater than 30' in length shall begin with a width of 18' at curb and taper appropriately to proper width at garage.

2.2.12 Drive Aisles and Auto Courts

Although drive aisles serve primarily for garage access and trash pick-up, they will be experienced daily by neighborhood residents. Tree and shrub plantings shall be incorporated into drive aisle designs with trash and utility locations thoughtfully located to avoid a utilitarian character.

- Landscape Pockets in Fee Simple Drive aisle-loaded communities should typically have a little more space for planting than on Detached Condominium and Attached communities. See Section 3.3.1 under Drive Aisle Loaded Garage.
- Trees should be placed in spaces that will provide adequate room once they are mature.
- In spaces that are too tight for mature trees, look for plant material solutions or decorative hardscape solutions that enhance the drive aisle experience.
- Use of pots or other vertical elements may also work to provide interest in these locations.
- Strive to keep drive aprons between 3'-5' in depth at Fee Simple drive 3' is the minimum.



Note: see landscaping section, page 4-14 for criteria on landscape material.

FIGURE 2.6: DRIVE AISLE PLAN

THE PRESERVE

DESIGN GUIDELINES

- Apron depths in other detached neighborhoods should also strive to provide 3' aprons, but some 2' conditions may occur due to site constraints, particularly in the higher density neighborhoods. In these cases alternate solutions like pots, trellis, decor hardscape should be proposed. Refer to Landscape Section page 5-14 for more detail and examples
- Some conditions will inherently occur where the drive aisle curves away from a large building and some units end up with drive aprons deeper than 5'. Try to keep these conditions to a minimum.
- Screened areas for trash containers shall be provided for each lot or unit.
- The pedestrian gate location should be located so as to minimize conflicts with trash collection and tree locations.
- Rear privacy walls must be separated from the driveway by a minimum 2' wide planter area, typically the same depth as the apron.
- Drive aisle lighting shall be required to meet local jurisdictional lighting requirements, or as needed to enhance design.
- Decorative paving and/or concrete banding is encouraged, see Landscape Section page 5-29.

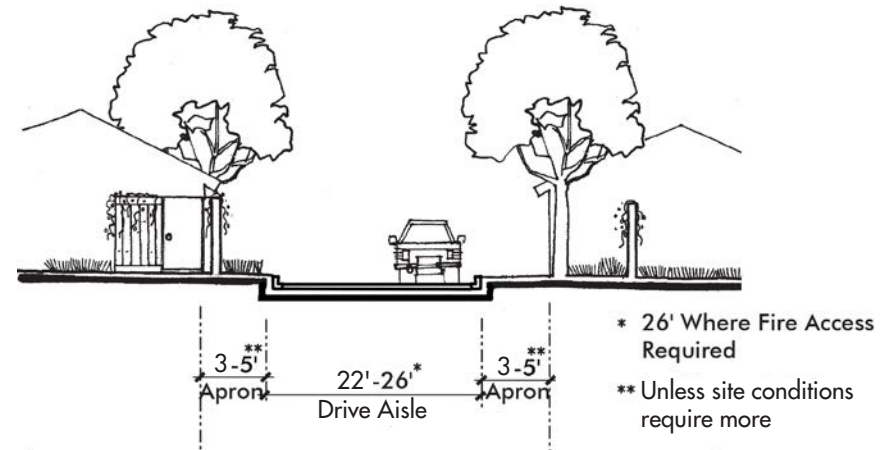


FIGURE 2.7: DRIVE AISLE SECTION



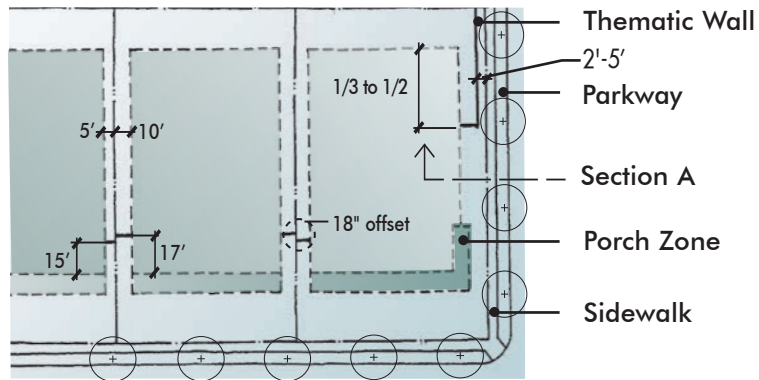


FIGURE 2.8 EXPOSED WALLS

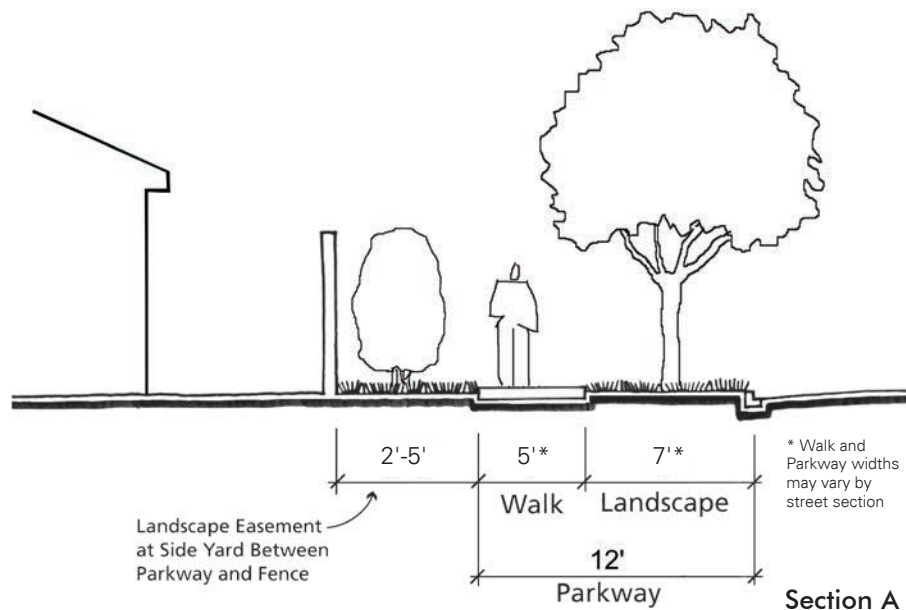


FIGURE 2.9 EXPOSED SIDE YARD PRIVACY WALL (LOCAL RESIDENTIAL STREET)

2.2.13 Wall and Fence Criteria

Maintaining quality and character of all aspects of the public realm is a key town building principle. Therefore, walls along the periphery or within neighborhoods, if exposed to public view, need to exceed minimum standards.

- See Section 4: Landscape Design, 5.4 Walls and Fencing, for The Preserve wall design and materials and varying wall designs for Community Theme Wall, Neighborhood Walls, and Low Court Walls.

A. Front Yards

- Front yard walls (connecting between homes)
 - An 18" stagger between walls shall be provided.
 - These return walls are required to have decorative block materials.

B. Corner Lots

- Exposed side yard privacy walls shall:
 - Be set back from the sidewalk to provide landscape space between wall and walk.
 - Fee Simple neighborhoods will have corner lots that are 5' wider, and should provide 3'-5' from wall to sidewalk.
 - Detached Condo neighborhoods may have narrow planters in tight conditions.
 - Return to the home 1/3-1/2 the length of the home, as measured from the rear corner of the home. The return location should be the most aesthetically pleasing solution.

CHAPTER 2 CHECKLIST

<input type="checkbox"/>	Neighborhood Size (Range of Units)	Page 2-6
<input type="checkbox"/>	Icon Street Frontage - If applicable	Page 2-8
<input type="checkbox"/>	Wall Design - Community and/or Neighborhood	Page 2-10 & 2-17
<input type="checkbox"/>	Corner Lot/Unit Design and Enhancements	Page 2-11
<input type="checkbox"/>	Ag Buffer - if applicable	Page 2-11
<input type="checkbox"/>	Mid-Block Pass-Throughs or Paseos - if applicable	Page 2-12
<input type="checkbox"/>	Driveway/Apron - Widths and Depths	Page 2-15

SECTION 3 - SUBURBAN NEIGHBORHOODS

3.1 PURPOSE

The chapter provide design direction to guide the development of traditional suburban high-quality living environments. These types of neighborhoods are typically found outside The Preserve Loop in estate, low and medium density areas. These homes will demonstrate individuality, a high quality of design and construction and value-added appeal. Overall compatibility throughout neighborhoods and the community will be achieved by combining tried and true with innovative site planning techniques and a community-wide landscape program. These guidelines are not intended to be overly restrictive or limiting, but to help achieve neighborhoods with a higher level of living quality.

3.1.1 Design Character

The design character of the neighborhoods will be one of hometown appeal characterized by simple, yet charming homes, curb separated sidewalks and parkways lined with street trees on public streets in suburban neighborhoods. Homes and street scenes will reflect an overall feeling of quality and tradition. The architectural palette of styles has a regional historic background and context in keeping with the character of Chino.



Curb Separated Sidewalks

3.1.2 Design Intent

Chino's original home builders used whatever resources were available to their best advantage, influenced by styles they knew and brought with them when they came west to California. This resulted in the development of homes that reflected function and tradition, simplicity in massing, plan and roof forms, and eventually, authentic, regional styles.

In addition to looking back to these older established neighborhoods for inspiration, builders are encouraged to also research new architectural styles that reflect current trends and use of modern materials and construction technology.

These homes will provide the kind of function, quality, value and appeal that were built into those original homes. Neighborhood parks, sidewalks, and street trees will add to the traditional feeling of these suburban neighborhoods, linking them with the overall community.



Neighborhood Parks

3.2 ARCHITECTURAL CRITERIA

The following architectural criteria have been created to help develop architecture that reflects quality in design, simplicity in form and plan and contributes charm and appeal to the neighborhoods of The Preserve.

The home, not the garage, is the primary focus of the front elevation. A variety of garage placements is encouraged to emphasize the pedestrian environment as opposed to the automobile.

Selected architectural styles are related to those historically or culturally represented in Chino, as well as some newer interpretations of these historical styles.

3.2.1 Styles

A variety of compatible architectural styles are provided to ensure a degree of individuality throughout neighborhoods:

- Appropriate massing and roof forms play a major role in defining architecture styles.
- Architectural elements and details used reflect the character of the chosen style.
- Appropriate color palettes are used to reinforce individual architectural styles.
- Rear elevations exhibit articulated walls and windows and varied roof profiles with roof framing related to individual plans vs. individual elevations.

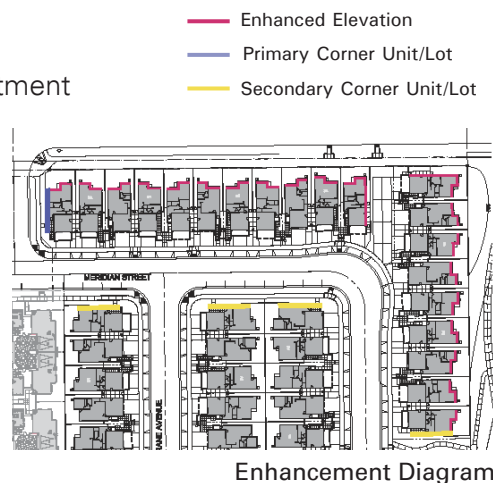
3.2.3 Authenticity

The design criteria in these guidelines is offered to encourage excellent architecture and authenticity of styles through the use of appropriate elements. Although detail elements may be used to further convey the character of a style, the overall massing and appropriate roof forms should be used to establish a recognizable style. Proper scale and proportion of architectural elements and appropriate choice of details are all factors in achieving authenticity. Incorporation of synthetic materials that achieve the look of authentic materials but require less maintenance is acceptable and encouraged.

3.2.4 Enhancements

The goal of enhancements are to give a community a rich, diverse, and a textured feel. The diagram below suggests where enhancements may occur; at corners, important intersections and when visible from a public space. These enhancements may take a variety of forms:

- Corner Lots
- Secondary Corner Lots
- Garage Placement and Treatment
- Rear Elevation
- Massing
- Materials and Colors
- Single Story Element
- Style Appropriate Details
- Streetscape
- Landscape



3.2.5 Architectural Massing

A. Concept

Creating street scenes that function well and have visual interest is a primary community objective. The following basic elements and criteria are intended to develop variations in appearance and a sense of individuality for each home. Neighborhoods that have nearly identical homes and streets without variation in product placement and form will not be approved in design review. This section lists architectural massing and plotting techniques that will create a quality environment.

B. Single-Story Homes

Varying the heights and profiles of homes adds significant variation in the street scene. Single-story homes provide a step in the desired transition between two-story homes and the sidewalk or pedestrian level, establishing a sense of human-scale. A minimum of single-story homes is required according to lot sizes and buildings types as follows:

A minimum of 10% of all single family homes shall be single-story for:

- Estate Residential lots
- Low Density residential lots - 5,500 square feet or greater



Massing Offsets



Single-Story Elements

A minimum of 15% of all attached for-sale homes in LDR & MDR Zoned neighborhoods shall be primarily single level (ground floor units). These homes should provide the main livable (Living, Dining, Kitchen) as well as a bedroom and full bath at ground level. Additional bedrooms may be located at an upper level.

C. Simple House

The Simple House concept suggests that starting with simple structural forms and building masses can lead to the goals of achieving convincing authentic style and maintaining acceptable costs. A well-designed plan will not require complicated and expensive structural systems. Simple massing and roof forms are often what lead to the most authentic expression of style; for example, styles such as Monterey, Traditional, and Italianate.

Simple House



Monterey



Traditional



Italianate

D. Variety of Massing

Although some styles can be successfully depicted with simple box-like massing (American Colonial, Monterey and Italianate), the overall look of a suburban neighborhood should include a variety of massing solutions. These can be introduced in the form of single level massing or upper story recesses and overhangs. The goal should be to provide a variety of massing solutions within a street scene. Short Block lengths may be used to offset a lack of massing variation along Fee Simple Street Scenes.

E. Single Level Massing Solutions

Single-level elements are required on 30% of Fee Simple homes within a community. One (1), or more plans should be created to reflect a significant single level element.



Single Level Massing Solution

Single level elements include:

- A porch with a minimum 6' deep by 10' wide space, clear of posts and railing.
- A single level living space (reduced setbacks may apply).
- A single level garage space (reduced setbacks allowed for side-entry garages).
- A second story recess of at least 5' from the first story.

F. Upper Level Massing Offset Solutions

Multi-story homes are encouraged to incorporate a variety of massing solutions within a community. Combining single level elements and upper level offsets increases the variation and quality of the street scene.

Upper level massing offsets include:

- A cantilevered massing offset that projects three (3') or more feet.
- Style-appropriate details, like corbels, braces, or outlookers.
- The cantilever can take the form of a second floor overhang, a roof over driveway, or a projecting balcony feature (covered or uncovered).

- The feature should distinguish the home from the others in the neighborhood.
- The cantilevered element should work to enhance the second floor architecture and de-emphasize the garage door opening below.

G. Variable Setbacks on Individual Elevations

Where authentic to style, provide variable setbacks to different parts of the home to encourage vertical and horizontal massing breaks. Provide alternative garage locations, and plan configurations within each SFD suburban neighborhood.



Variable setbacks in elevation

H. Rear & Side Elevation Articulation

The second-story portion of the rear and side elevations of all homes that back onto roads, parks, trails, public open space, must include a variety of window treatments, roof projections, etc. to provide variety on the rear elevation. Where these conditions of visibility exist, a variety of hipped and gabled roof forms must be used in each neighborhood. One-story homes or one-story elements help to provide this variety.

I. Floor Plan Form

Select architectural styles that best fit the massing derived from the floor plan. As an example, styles such as Monterey and American Colonial elevate as a two-story rectangular form. Designing a floor plan with simple two-story stacking of exterior walls yields the correct massing form for either of these styles.

J. Roof Plan Form

The main roofs of a home may be kept simple in nature so as to provide flexibility in laying out efficient photo-voltaic panel systems. However, the smaller roofed areas such as dormers, sheds, and gabled or hipped entries, should reflect the style of the home.

3.3 GARAGE PLACEMENT & TREATMENT

3.3.1 Vary Garage Placement

A. Contiguous Homesites

Create attractive and comfortable street scenes and street space by de-emphasizing garages, implementing “architecture forward” and encouraging “corner homesites.”

B. Vary garage placement within neighborhood plotting plan

Vary garage placement whenever possible by alternating front setbacks. Alternate plans, to the extent feasible, with different garage types when plotting adjacent homes. Design plans so that the garages is placed at various locations.

C. Garage Placement Schemes and Streetscene Design Enhancements

All single family detached “Fee Simple” neighborhoods shall provide a variety of garage placement schemes. SFD Homes in the ER zone should provide a minimum of three (3) Garage Placements. SFD Homes in LDR and MDR zones should provide a minimum of two Garage Placements.

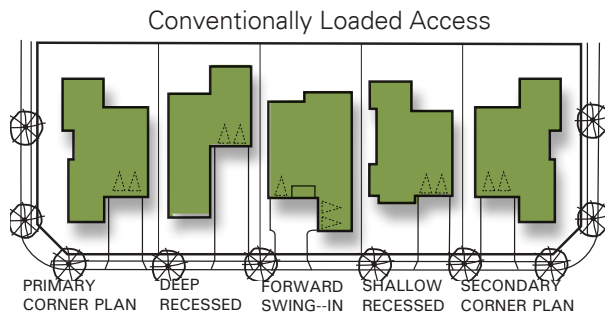
Garage Placement Options are as follows:

Shallow Recessed Garage

All front facing garages shall be located a minimum of five feet (5') behind the front elevation, living space, or articulating feature, such as a porch.

Mid-Recessed Garage

Mid-recessed garages are located 10 feet or more behind the front elevation, living space, or articulating feature (porch, or five-foot (5') minimum depth overhang that spans the width of the house).



Varied Garage Placement



Shallow recessed garage



Mid-recessed garage



Deep-recessed garage

Deep Recessed Garage

Deep-recessed garages are located 20 feet or more behind the front elevation, living space, or articulating feature (porch, or five-foot (5') minimum depth overhang that spans the width of the house).

Side-Entry Garage

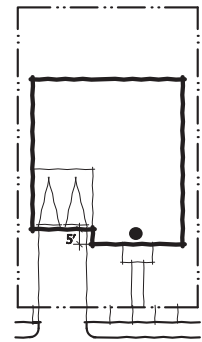
This garage placement allows for the side of the garage to face the street. The auto enters the garage from the side. This placement option typically required lots that are 53' or wider. Reduced setbacks are allowed for side-entry garages.

Garage Forward

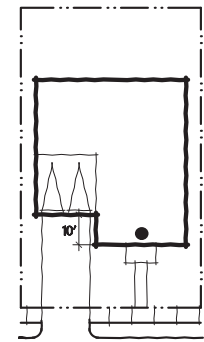
This places the garage forward of the home's front facade. Since this option tends to emphasize the garage, it is limited to 33% of the homes within a suburban neighborhood. Attempts should be made to enhance this elevation by introduction of materials, trellis over door, recessed door, or upgraded door style

Single-Car Garage Doors

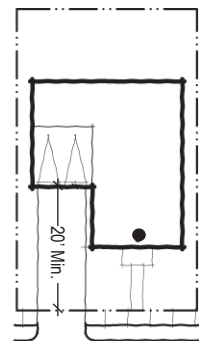
Another alternative is to provide two single car garage doors in place of a single double car garage door. This can be accomplished in any of the garage placement types.



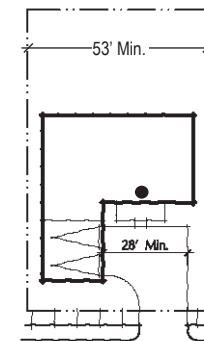
Shallow Recess



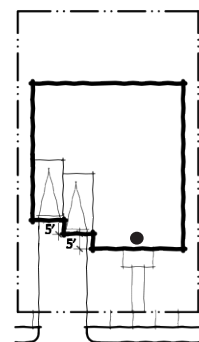
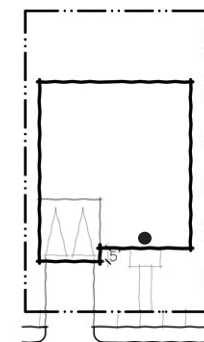
Mid-Recess



Deep-Recess



Side-Entry Garage

Single Car Garage
w/ Split Doors

Garage Forward

Drive Aisle Loaded Garage

Drive aisle loaded homes in a Fee Simple suburban setting typically have room for aprons that are 5' deep with wider landscape pockets than seen on Drive aisle loaded homes in more suburban settings or in a Detached Condominium neighborhood. Drive aprons in these types of communities may end up as tight as 3' in depth.

Split Garages

Split Garage placement typically require wider lots, such as those found in ER and some LDR zones. This solution will typically place a single car garage off to the side with the double car garage facing the street.



Split Garage

3.3.2 Garage Door Appearance

Vary garage door patterns as appropriate to the architectural style. Combine the use of standard square and rectangular patterns with those including an embossed bead-board pattern within.

Providing for some upgraded patterns that include diagonal lines, larger insets, windows, can be included as one (1) of the enhancement features.



Standard Garage Door



Upgraded Garage Door

A. Three- or Four-Car Garage Placement

Tandem Garage

When a three- or four-car garage is planned, the impact on the streetscape can be reduced by constructing the additional car bays in tandem behind the standard two-car garage door.

B. Three-Car Front-Facing Garage Requirements

Three-car garages with all doors facing front are limited to:

- One (1) plan per neighborhood plan package.
- Lots that are 55 feet wide or greater.

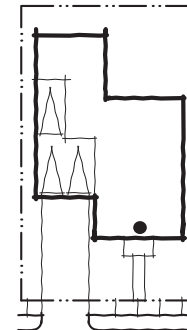
When a three-car front-facing garage is used, in addition to standard garage requirements, it shall provide at least one (1) of the following additional front-facing plan requirements:

1. Provide a minimum six-foot (6') deep by 10-foot (10') wide porch.
2. Provide and offset a single door at least two feet (2') from a double door.
3. Provide three (3) single-car garage doors each separated by at least one foot (1').

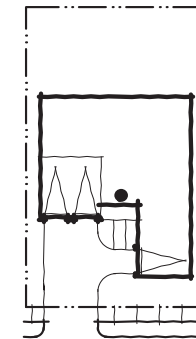
C. Four-Car Garages

Four-car garages are limited to:

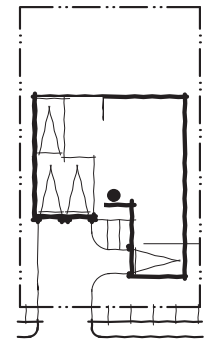
- One (1) plan per neighborhood plan package.
- Lots that are 7,000 square feet or greater.
- Only two (2) of the four (4) garage doors may face forward.



Tandem Garage



Three-Car Garage



Four-Car Garage

3.4 STREETScape MASSING AND PLOTTING

3.4.1 Massing Concepts

To provide more interesting neighborhood streetscenes, a variety in massing is required. This is one of the fundamental techniques for creating a good neighborhood.

When plotting, refrain from repetitive massing solutions and garage placements. Look for opportunities to plot plans in reverse and offering alternate roof slope solutions to maximize efficiencies for Photovoltaic (PV) system layouts.

A. Corner Lots in Fee Simple SFD Neighborhoods

Neighborhood quality will be enriched by enhancing home plans when plotted on corner lots. Lots located at the entries into neighborhoods will be treated as Primary Corner Lots and those on corners within the community will be treated as Secondary Corner Lots. Primary Corner Lots should receive some additional level of enhancement than the enhancements proposed for Secondary Corner Lots.

Corner homes should include an extension of architectural elements and/or details along exposed sides. The architectural style of the home should be apparent from these exposed sides. These enhancements may include added style details, extended material solutions, and may sometimes include an architectural projection into required setbacks.



Primary Corner



Primary Corner



Secondary Corner

B. Primary Corner Lots in Fee Simple SFD Neighborhoods

Corner lots located at the entries into neighborhoods, typically where the Local Street meets the Collector Street, should receive a significant architectural element that encompasses some level of furred out framing, a wrap porch, window bay, single-story elements, or similar treatment. Locating the front door along the side of the home with a significant covered entry on a corner is also an acceptable treatment.

C. Secondary Corner Lots in Fee Simple SFD Neighborhoods

Corner Lots located within the neighborhood should receive some additional level of enhancements, such as wrapping materials, upgrading windows, single story elements, including living space, or adding a decor elements like shutters or potshelves all to add interest to these internal corners.

D. Corner Units in Detached Condominium Neighborhoods

Units located at exposed corners in Condo Neighborhoods should also receive some level of enhancement. Since they do not have the 5' of added space that SFD lots do, the level of enhancements is not expected

to include wrap porches. However, some level of furr-out, or single-story element or living space should be planned at Primary Corner Units. Wrapping of materials or adding decor elements would be appropriate for a Secondary Corner Unit. If units back onto a street, attention shall be paid to the second-story architecture (above the fence line), providing an appropriate enhancement such as wall plane breaks and a decor element such as shutters. These shall not look like an afterthought and appear logical and authentic to the style.

E. Corner Units in Attached Condominium Neighborhoods

Units that are visible at corners should receive some level of enhancement. This could include elements that create rhythm and scale to the street, massing offsets, a prominent entry, stoop or porch. Attached Products in Suburban Neighborhoods are to meet the same standards as those for Urban Neighborhoods. Refer to Section 4 for more detail.

E. Roof Forms

Rows of homes seen from a distance or along arterial roads are perceived by their contrast against the skyline or background. The dominant impact is the shape of the building and roof line. Articulate the building mass roof lines to express a variety of conditions and minimize the visual impact of repetitious flat planes, similar building silhouettes and similar ridge heights. This can be achieved by using a variety of front to rear, side-to-side, gables and hipped roofs and/or by the introduction of a one-story element.

Photovoltaics (PV) shall be considered during roof design to maximize space for PV panels and access. Simpler roofs are preferred, minimizing roof breaks that limit solar infrastructure. Shading and orientation shall also be taken into account with roof design to maximize solar zones.

3.5 MATERIALS AND COLORS

3.5.1 Concept

The colors and materials used at The Preserve will reflect a general theme of environmental harmony with the surrounding topography and neighborhood character. The architectural style palette selected for our guidelines will contribute to this goal as each color palette has a historic lineage that shares this “common sense” approach to the use of materials and colors indigenous to the region. New interpretations of these classic combinations of materials and colors are encouraged as they relate to the newer contemporary and adaptive styles.

3.5.2 Criteria

A variety of natural looking materials and colors will provide the diversity required for visual interest while unifying the homes with their settings and creating a timeless appeal. The primary purpose of the architectural color palette selection is to avoid monotony, provide a variety of colorful schemes and promote visual diversity.

To further this goal of diversity, the following criteria shall be met:

1. Each elevation shall have a minimum of three (3) colors (four (4) is preferred. For example, one (1) body color, one (1) trim color and two (2) accent colors).
2. Individual color schemes must be appropriate to the architectural styles with a harmonious selection of accent materials, roof profiles and colors.
3. No single family adjacent home shall have the same color scheme.

Color palettes that reflect traditional architectural themes are the basis for successful modern interpretations. Current color trends integrated with an historically referenced framework create dynamic, yet timeless

color combinations. A color palette for each project shall be submitted as a part of the Developer Design Review for approval.

Materials changes should be thoughtful:

- Material changes should occur at intersecting planes preferably at inside corners of walls or other meaningful locations where architecture elements intersect.
- Extend veneers down to within 4" of Finished Grade; potential conflicts with product warranty

3.6 CLUSTERS

Cluster Neighborhoods typically consist of detached units on a Condominium Map. This allows for single family home living in a higher density configuration. Since there are no Fee Simple Lots with wider corners, the following shall be considered:

- Garages are typically placed along drive-aisles or grouped together, the rules for varied garage placement do not apply as well;



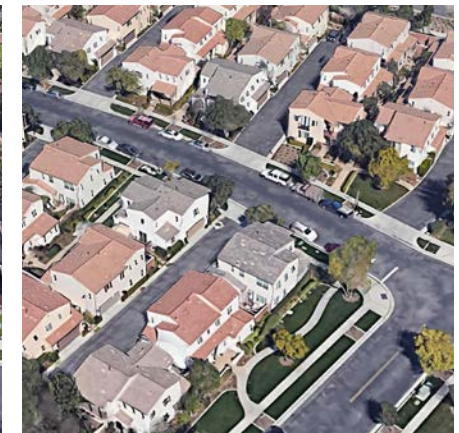
Single Story Element at Street Frontage



Front Doors in Motorcourt Interior



Motorcourt Concept Plotting



Private Drive Concept Plotting

- 25% of street-facing homes shall include a porch. Front Setbacks for 6' Deep Porches can be reduced to 4' in MDR and HDR+ Zones.
- Detached Condominium Communities typically work together as modules of 3-8 units. The massing can vary from the more traditional looking single family home with a covered front entry, to a more urban massing form, similar to a Row Townhome unit; and
- This product type has many variations in how the module is composed, no simple set of rules applies to all modules. However, the overall appearance of the module should strive to be appealing when viewed from exposed locations.

3.6.1 Plotting

- Front doors can face onto a central paseo, motorcourt, shared driveways or adjacent streets. Typically units at the street end will have front doors that face onto the street. This helps the overall project street scene. Homes that have interior placement such as in a motorcourt or at the end of a row, shall have visible front doors or design features that create a welcoming condition.

- Paseo widths should vary to encourage visual interest and provide niches for landscape surprises.
- Garages are accessed off of drive-aisles, motorcourt or shared driveways. Some cluster modules offer parking spaces within these alleys either between units or in front of the garage door on the end units.

3.6.2 Massing

- Depending on the type of product and location, the massing may be more urban with few offsets or more suburban with some pedestrian level offsets. Massing along the paseos should include some pedestrian-scale massing to help break up the taller walls.
- Unlike conventional fee simple detached homes, these smaller condo-map detached homes do not allow room for wrapping porches around the sides. The architecture at the entrances to the paseos and alleys should receive some type of decorative enhancements and or single story elements.
- Massing must be appropriate to architectural style.

A. Single Story Elements

As the neighborhoods get higher in density, opportunities to provide single story elements become fewer. The size and scale of these single story elements are reduced. These neighborhoods are different than traditional, fee-simple homes with front-end garages. Therefore the requirement for single story elements should vary. Key entry points into the neighborhoods and places of high public visibility are opportunities

to place these pedestrian-scale features. These elements may include eyebrows over entries, arches, potshelves, trellis', courtyards, other decorative features, furr-outs at first or second story, overhangs from floor above, and ground floor entry enhancements.

B Upper Story Massing Offsets

As neighborhoods become more dense, the level of massing offsets may become less pronounced and is not required on all units. This is natural and should be encouraged to allow these neighborhoods to achieve a more urban look.



Single Story Elements



Upper Story Massing Offsets

3.6.3 Corner Units

In keeping with the desired character of traditional neighborhoods, homes on highly visible corners will require some level of additional enhancements to enrich the street scene.

A Primary and Secondary Corner Units

Architectural enhancements shall be prioritized based on their public visibility. Since Cluster neighborhoods work in “modules” of several units together, the emphasis should be on how the “module” appears from an exposed corner or key neighborhood entry location. Therefore, opportunities shall be taken to provide additional window treatments, enhanced landscape, or additional decorative elements at these corners. These features do not need to be single story in nature, but should provide visual interest for that particular corner. They may be placed at pedestrian level or higher, so long as the added visual interest is achieved.



Primary Corner Home with Ground Level Enhancement



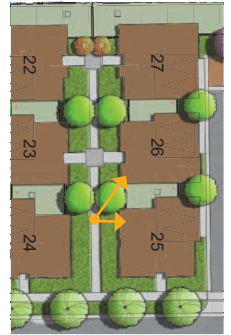
Primary Corner Home With second Level Enhancement



Secondary Corner Home With Simple shutter enhancement

Acute Views

Since these Detached Condo-Map Products can be plotted as close as 6'-7' the views from shared paseos down these narrow sideyards can be very acute and limited. Decorative elements like solid eaves, shutters, window trim should be concentrated limited to the areas within the acute viewpoint (first half of the home facade). Beyond this first half of the facade, the level of decorative elements may become simpler in detail.



Acute View locations

3.6.3 Plans and Styles

- Provide a minimum of three (3) different building plans per neighborhood (60-100 units) with the ability to reverse plot plans.
- Provide at least three (3) elevation styles for the front and rear units and a minimum of two (2) elevations for the centrally plotted units. A total of four (4) styles should be represented in each neighborhood.
- Provide three (3) different, yet compatible color schemes per architectural style.

3.6.4 Architectural Styles

For Cluster product architectural style inspiration and guidance, refer to the Architectural Style pages in the Suburban Neighborhood Section. Consideration of the module concept is key, designing with the Cluster in mind rather than conventional single family products. Although styles shall be identifiable, higher density products will have differing levels of detail and structural enhancements than lower density conventional neighborhoods.



3.6.5 Garages

- Garages are typically rear-loaded on drive aisles, motorcourts, or shared driveways, but they may also be located on the same side as entries, similar to traditional townhomes.
- Tandem and split garages may be used to accommodate covered parking requirements.
- Vine wires may be added over garages that are visible from the street.
- A consistent garage door theme may be appropriate for some neighborhoods served by private drive aisles.

- Driveway aprons can vary from three (3') to five feet (5'), depending on product type, but care should be given to provide opportunities for landscape where possible. Three-foot (3') aprons are required at SFD drive-aisle loaded products. There may be some situations where a drive apron may be five feet (5') or more. This is acceptable, but should be kept to unique situations and conditions.

3.6.6 Landscape

- Special attention needs to be provided to the landscape given the spaces in the drive aisles and paseos.
- Landscaping is typically limited to small shallow areas between units and to the sides of garage doors.
- Care should be given to encourage plants to grow vertically to help provide some greenery in these tight spaces.
- Due to the nature of cluster products and higher density homes, full size trees do not typically fit between every home. Special attention should be provided to place trees where room is available, such as the end's of drive aisles, or where enough space is provided between buildings. Refer to Landscape Section on Private Drive Aisles 5-14.
- Special attention is required for spaces in-between homes; consider shrubs that can be trimmed into hedges, taller vertical trees, or potted plants.
- Vines that can grow up walls but kept trimmed to not become a nuisance are encouraged.
- The selection of plants and the addition of arbors or decorative pots are some ways to enhance a paseo.
- Decorative hardscape elements can also be used to add interest to both the drive aisles and paseos. See 5.2.3 Residential Landscape.



Decorative landscape features along paseos

3.7 SUBURBAN RENTAL COMMUNITIES

Rental communities are subject to the Design Guidelines however, the number of architectural styles and color schemes per plan for rental communities can differ from the requirements for detached-for-sale communities.

Within rental communities it is desirable to have a cohesive look and feel. While variation in architectural style is encouraged, one (1) main family of architectural styles and/or color scheme may be used for the entire development with two (2) color schemes. Ensure a variety of plans and elevations are utilized in the community, and the style used is executed properly through form, color, massing, and architectural details.



A. Plotting and Massing

- Special attention should be paid to make entries to homes safe, pedestrian friendly, and attractive.
- Tailor a variety of massing solutions for visual interest to evoke a more urban or suburban setting depending on product type and location.
- Architectural enhancements are encouraged for homes that face a trail, park, or any highly visible area.
- Provide porches or covered entry spaces for stepped massing and transition to courtyards or public spaces, where feasible.
- Vary setbacks on building elements/facades.
- Vary roof pitches, types, and directions.
- See Section 3.7(E) for Rental Community Amenities.



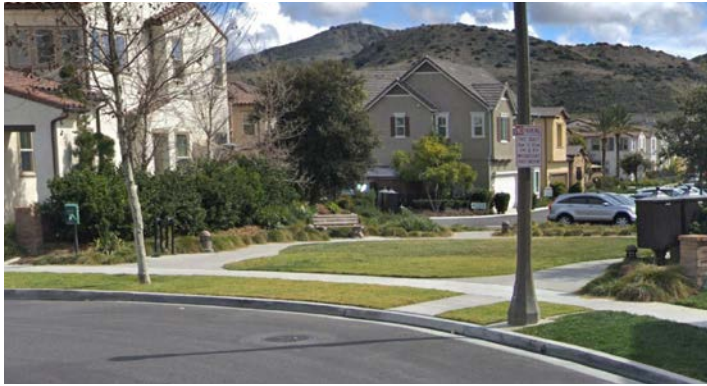
B. Plans and Styles

- Provide at least three (3) floor plans per community, and at least two (2) elevations per plan, and two (2) color schemes per elevation.
- If a single unified theme is proposed for a “village-like” atmosphere, then a single architectural style may be proposed with one (1) color scheme (Santa Barbara) per 100 units.

C. Garages

- Refer to zoning code 20.18.040D for more regarding distances from garages to units.
- Garages and front doors to units may be on the drive aisle, to encourage variety in the streetscene.
- In high traffic rental communities, driveway widths may be wider than garage doors widths to minimize impacts on landscape areas.
- Provide required covered parking spaces in garages or carports for each unit.
- Tandem garages may be used to accommodate covered parking requirements.
- Where attached or detached garages are included, the intent is to tie these facilities into the overall project design while reducing their visual emphasis. To achieve this, these structures shall incorporate the following:
 - Utilize the same architectural style, massing elements, design details and colors as the residential dwelling units.
 - Use similar or compatible roof forms.
 - Encourage a variety of garage door faces.
 - End wall conditions that are visually prominent from the street should receive special architectural attention.
 - The relationship of the garage face to the building may be projecting, flush or recessed provided that it is compatible to the mass and style of the building.
 - Provide sectional garage doors with automatic door openers. Garage door windows are permissible.





Parklet Example



Decorative Hardscape



Plant Material Choices

D. Landscape

- Choose plant materials that are compact and tall to add greenery to tight spaces.
- Enhanced landscape should be considered in highly visible areas.
- Add decorative hardscape elements at high traffic areas, and project entries.
- Consider turning leftover/unplotted areas into amenitized parklets.

E. Community Recreation and Common Facilities

Each neighborhood shall include common recreation facilities such as pools, spas, club houses, management offices, barbecues, tot lots, sitting areas, and other facilities appropriate to the demographic profiles identified for the community by the master developer. Multi-family amenities are per the City of Chino Zoning Code.

- Common recreation facilities shall be key character elements for the neighborhood.
- All architectural and community elements, such as buildings, street furnishings, benches, lighting standards and trash receptacles, shall be consistent with the selected overall architectural character for the neighborhood.
- Colors, massing, roof pitch and materials shall be compatible with residential buildings or project theme.



3.8 STYLES: SUBURBAN NEIGHBORHOODS

These neighborhoods consist of both Single Family Homes and Detached Condominium Units in a Suburban setting.

The style information on the following pages provides the Guest Builder and design consultants with the tools to create attractive architectural designs in historical styles as well as in newer interpretations of these styles.

Fee Simple SFD Homes:

A fee simple home refers to the ownership of the building and land residing with the homeowner. Single story elements are required on 30% of the homes. These can include a 6' x10' Covered Porch (interior dimension), a living space, a 5' setback to the upper story.

Detached Condominium SFD Homes:

In detached condominium homes, the homeowner only owns the home.

Architectural Style/Plan Mix

An important goal in this community is to develop varied and interesting streetscenes. In order to achieve this, the following architectural style and plan requirements shall be met in all neighborhoods:

- Minimum of three (3) plans, four (4) preferred.
- Minimum of three (3) elevations per plan using a minimum of three (3) styles. Two (2) styles allowed for interior plans in Condo neighborhoods. If only two (2) styles are selected, they shall be significantly different in appearance by utilizing different shutters, doors, garage doors, windows, and style specific details.
- Minimum of three (3) color schemes per elevation (color schemes may be repeated between elevations and plans to harmonize the streetscene; each elevation is not required to have a distinctly different set of color schemes.) Care shall be taken when plotting color schemes to ensure the same color scheme is not plotted across or adjacent from one another.
- Two enhancements are required in place of a single story elements. Additional enhancements may be required to satisfy the Design Review Committee.



- See Section 3.2.4 for typical enhanced edge locations.
- If mixing the Millennium Style Series, with any of the other Style Series within the same neighborhood special attention must be paid to plotting adjacencies, and style compatibility.

Every neighborhood will be comprised of a variety of architectural styles. Guest Builders will select from the following palette of architectural styles:

American Heritage Style Series

This series represents traditional American styles found throughout the country. The architectural form and design elements of these styles descend from the first homes built in the New England colonies in the 17th century. This traditionally influenced American Heritage series became part of the early California vernacular as the new state experienced an influx of money and population from the East Coast during the gold rush era of the mid-19th-century. Other styles such as Prairie and Coastal followed this same path to California. Styles within this series include the following:

- Farmhouse
- Cottage
- American Traditional
- Coastal
- Prairie

California Heritage Style Series

California Heritage styles re-interpret architectural lifestyle choices with the addition of Western materials and innovation while retaining the decorative detailing of exposed woodwork, wrought iron hardware and moldings. Along with American-born styles such as Craftsman, Spanish architecture has heavily influenced the palette. Craftsman style homes may use materials to create beautifully simple homes suited to the desirable California landscape, While Spanish homes display characteristic tile roofs and light colored stucco. Representing one of California's true vernacular styles, the Ranch House, evolved using native materials and considerations of climate and lifestyle. Styles within this series include the following:

- Craftsman
- California Ranch
- Monterey
- Spanish Colonial

Revival Style Series

Southern California residential neighborhoods of the 1920s and 1930s captured this aesthetic particularly well, translating a vital mix of people and ideas into an architecture of variety and comfort. These communities can be said to have no inherent style, but instead are interpreted through a number of disciplines to form residences both singular and appropriate to the area. This method of architectural expression can be loosely referred to as “revival,” yet is perhaps more aptly described by its atmosphere, which is relaxed and casual. As a result, these areas manage to retain the romance of their stylistic roots yet remain relatively free of their basic cultural idioms. It is no coincidence then that we can find in these neighborhoods a true evocation of the Southern California aesthetic; one which represents creativity, diversity, imagination, and openness. Styles within this series include the following:

- Italianate
- Adobe Ranch
- French Provincial
- English Revival

Millennium Style Series

The Millennium Collection represents subtle differences in the architectural vocabulary using creative interpretation of traditional styles utilizing exaggerated statements and details to express an iconic style in a new vocabulary. Elevations can be abstracted architectural expressions of a recognizable style. These elevations are encouraged to push the artistic envelope of design to incorporate new, modern or alternative forms, details and materials in the modern context of architecture. Styles within this series include the following:

- Adaptive Farmhouse
- Adaptive Spanish
- Adaptive Prairie
- Adaptive European

Additional Styles and Style Elements

Additional styles and style elements may be proposed. However, they must follow the same principals and attention to detail as the specific styles and style elements shown on the following pages. These additional styles and style elements may be added with the review and approval of the Lewis Review Committee and the Director of Development Services at the City of Chino.

AMERICAN HERITAGE STYLE

3.8.1 Farmhouse

The American Farmhouse represents a practical and picturesque country house. Its beginnings are traced to both Colonial styles from New England and later the Mid-west. As the American Frontier moved westward, the American Farmhouse style evolved according to availability of materials and technological advancements, such as balloon framing.

Predominant features of the style are front porches with a variety of wood columns and railings. Two-story massing, dormers and symmetrical elevations occur most often on the New England Farmhouse variations. The asymmetrical, casual cottage look, with a more decorated appearance, is typical of the Midwest American Farmhouse. Roof ornamentation is a characteristic detail consisting of cupolas, weather vanes and dovecotes.



FARMHOUSE STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> · Simple plan form massing and simple roof design 	
Roof	<ul style="list-style-type: none"> · 4:12 to 6:12 Main Roof Pitch · Accent Roof at 5:12-12:12 Pitch · Front to back main gable roof · Minimum 6" overhangs · Concrete tile with flat or shingled appearance 	<ul style="list-style-type: none"> · Side-to-side main gable roof with two front-facing smaller gables · 12" overhangs at primary locations
Walls	<ul style="list-style-type: none"> · Horizontal Siding at primary exposed area · Stucco at secondary areas 	<ul style="list-style-type: none"> · Combination of horizontal siding and vertical siding · Stone or brick veneer accents
Windows	<ul style="list-style-type: none"> · Windows with a vertical mullion pattern at front elevation and at side and rear elevations exposed to public view · Window trim on four sides of window 	<ul style="list-style-type: none"> · Upgraded window header or sill trim at front elevation · Bay window
Details	<ul style="list-style-type: none"> · Simple wood columns and railings at porches if applicable · Shutters with louver-board detail 	<ul style="list-style-type: none"> · Diagonal braces at columns · Potshelves · Cupolas or weather-vanes · Dormers · Upgraded Garage Door Details · Decorative Light Fixtures
Colors	<ul style="list-style-type: none"> · Field: Whites or light tinted colors · Trim: Whites or light shades complementary to field color · Accents: Light or dark shades in contrast with field color 	



Side-to-side main gable roof with two front-facing smaller gables.



Simple wood columns and railings at porches.
Diagonal braces at columns.

6" Overhang



4:12 to 6:12 Main
Roof Pitch
Accent Roof at
5:12-7:12 Pitch

Combination of
horizontal siding and
vertical siding

Shutters

12" Overhang at
primary location



4:12 to 6:12 Main
Roof Pitch
Accent Roof at
5:12-7:12 Pitch

AMERICAN HERITAGE STYLE**3.8.2 Cottage**

Cottage is a picturesque style derived from medieval Norman and Tudor domestic architecture. The resulting English and French inspired “cottage” became extremely popular nationwide after the adoption of stone and brick veneer techniques in the 1920s.

Although the cottage is looked upon as small and not costly, it was recognized as one of the most popular styles in suburban America. The design of the home was reflected in the rural setting that they evolved in. Established neighborhoods in Riverside, Orange and Santa Ana contained many homes of charm and character that depicted the alluring, yet unpretentious lifestyle of the Cottage home.



COTTAGE STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> Rectangular plan form massing with some recessed second-floor area 	<ul style="list-style-type: none"> Irregular plan form massing with substantially recessed second-floor
Roof	<ul style="list-style-type: none"> 4:12 to 6:12 Main Roof Pitch Accent Roof at 6:12-12:12 Pitch Minimum 0" overhangs Concrete tile with flat or shingled appearance 	<ul style="list-style-type: none"> Curved slope at accent roof Second level accent roof that extends over 1st level elements Exposed Rafter Tails at primary exposed locations
Walls	<ul style="list-style-type: none"> Stucco 	<ul style="list-style-type: none"> Stucco with wood siding or stone accents
Windows	<ul style="list-style-type: none"> Windows with a vertical mullion pattern at front elevation and at side and rear elevations exposed to public view Window trim on upper and lower sides of window 	<ul style="list-style-type: none"> Upgraded window header or sill trim at front elevation Bay or boxed-out window with hood roof
Details	<ul style="list-style-type: none"> Entry accents with manufactured stone/precast trim Simple shutters Decor Niches at gables 	<ul style="list-style-type: none"> Potshelves Stone or Brick veneer accents Enhanced Shutter pattern Upgraded Garage Door Details Decorative Light Fixtures Curved entry Balcony
Colors	<ul style="list-style-type: none"> Field: Whites or light tinted colors Trim: Whites or light shades complementary to field color Accents: Light or dark shades in contrast with field color 	

THE PRESERVE

DESIGN GUIDELINES



4:12 to 6:12 Main Roof Pitch
Accent Roof at 6:12-12:12 Pitch



Rectangular plan form massing with some recessed second-floor area

Decor Niches at gables

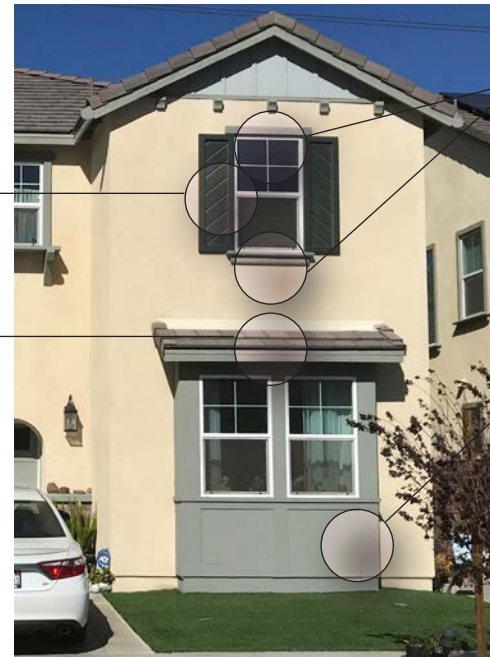
Curved entry

Stucco with wood siding or stone accents



Enhanced Shutter pattern

Second level accent roof that extends over 1st level elements



Window trim on upper and lower sides of window

Bay or boxed-out window with hood roof

COTTAGE DETAILS

AMERICAN HERITAGE STYLE

3.8.3 American Traditional

This classic American style descended directly from the first homes built in the New England colonies in the 17th century. Their beginnings were as small and unpretentious as the one-story saltbox, favoring the cultures and traditions of the settlements.

As living functions became more defined and prosperity increased, so did the need for additional space. Second stories with overhangs, dormers and gabled roof forms became favored solutions, later evolving into classic elements of this traditional American style. Wood shutters and an enhanced entry element and/or trim are the finishing details for an otherwise simple and functional form.



AMERICAN TRADITIONAL STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> · Simple plan form and massing 	<ul style="list-style-type: none"> · Added dormers · Enhanced plan forms
Roof	<ul style="list-style-type: none"> · 4:12 to 6:12 Main Roof Pitch · Accent Roof at 5:12-7:12 Pitch · Side-to-side main gable roof · Minimum 6" overhangs · Concrete tile with flat or shingled appearance 	<ul style="list-style-type: none"> · Front-facing smaller gables · 12" overhangs at primary locations · Shed or gabled dormers
Walls	<ul style="list-style-type: none"> · Horizontal Siding at primary exposed area · Stucco at secondary areas 	<ul style="list-style-type: none"> · Decorative Pediment at front elevation · Stone or brick veneer accents
Windows	<ul style="list-style-type: none"> · Windows with a vertical mullion pattern at front elevation and at side and rear elevations exposed to public view · Window trim on four sides of window 	<ul style="list-style-type: none"> · Upgraded window header or sill trim at front elevation · Bay window
Details	<ul style="list-style-type: none"> · Simple wood columns and railings at porches if applicable · Shutters with louver-board detail · Enhanced Entry Trim with decorative Cap over door 	<ul style="list-style-type: none"> · Decorative post caps · Potshelves · Decor vents at gable ends · Upgraded Garage Door Details · Decorative Light Fixtures
Colors	<ul style="list-style-type: none"> · Field: Pastels, whites, light earth tones, off-whites, or dark earth tones · Trim: Light or dark in contrast to field · Accents: Whites, light tones, or medium to dark tones in contrast to field, grayed or dark greens, blues, reds or black 	



Horizontal Siding at primary exposed area



Stone or brick veneer accents
Simple wood columns and railings at porch



Decorative
Pediment at front
elevation

Decor vents at gable ends

Concrete tile with flat or
shingled appearance

Upgraded window
header or sill trim
at front elevation



Shutters with
louver-board
detail

Enhanced
Entry Trim with
decorative Cap
over door

AMERICAN TRADITIONAL DETAILS

AMERICAN HERITAGE STYLE**3.8.4 Coastal**

The coastal style has evolved from the Eastern Seaboard and Caribbean cottage influences. The style evokes the charm and casual style of resort living. The specific detailing includes a blend of cultural traditions. These elements may include white-painted trims, columns, siding and shutter windows with asymmetrical, unpretentious massing. Various roof forms are found including variable pitched hipped, cross gables and gambrel. Wood details can be applied to stucco or plastered walls to articulate the simple forms.



COASTAL STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> · Asymmetrical with simple massing 	
Roof	<ul style="list-style-type: none"> · 4:12 to 6:12 Main Roof Pitch · Accent Roof at 5:12-7:12 Pitch · Hip Roofs predominate · Minimum 6" overhangs Concrete tile with flat or shingled appearance 	<ul style="list-style-type: none"> · Shed roof accents · 12"-16" overhangs at primary locations
Walls	<ul style="list-style-type: none"> · Vertical Siding at primary exposed areas · Stucco at secondary areas 	<ul style="list-style-type: none"> · Decor panels with vertical siding · Shingle Siding accents
Windows	<ul style="list-style-type: none"> · Large window panes with few mullions at front elevation and at side and rear elevations exposed to public view · Window trim locations are flexible; on top & bottom or on all four sides of window 	<ul style="list-style-type: none"> · Grouped double hung windows · Window boxes
Details	<ul style="list-style-type: none"> · Simple wood columns and railings at porches if applicable · Plantation style shutters · Bright front door accent color 	<ul style="list-style-type: none"> · Bermuda Shutters and/or Awnings · Railings with pickets or diagonal patterns · Potshelves · Louvered gable ends · Upgraded Garage Door Details · Decorative Light Fixtures · Balcony
Colors	<ul style="list-style-type: none"> · Field: Whites or light tinted colors · Trim: Whites or light shades complementary to field color · Accents: Light or dark shades in contrast with field color 	

THE PRESERVE

DESIGN GUIDELINES



12"-16" overhangs at primary locations



Railings with pickets or diagonal patterns



Bright front door accent color



Bermuda Shutters and/or Awnings

Vertical Siding at primary exposed areas

Large window panes with few mullions at front elevation

Large window panes with few mullions

Simple wood columns and railings at porches



Decor panels with vertical siding

Shed roof accents

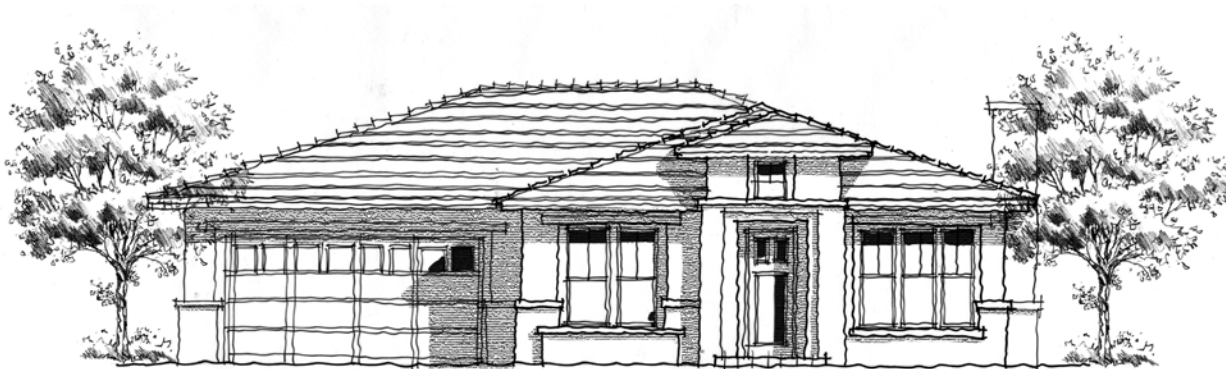
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COASTAL DETAILS

AMERICAN HERITAGE STYLE

3.7.5 Prairie

Frank Lloyd Wright's Prairie style grew in popularity during the first decade of the twentieth century. The Prairie style spread throughout the country, along with Wright's belief that a building should fulfill its primary function while also exuding character, life, spirit, and beauty. Horizontal massing and clean lines are two important elements of Prairie design.



PRAIRIE STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> · Strong horizontal form · One-story or two-story massing · Front porch integral to plan form 	<ul style="list-style-type: none"> · Wide front porch
Roof	<ul style="list-style-type: none"> · Primary low hip roof · 3:12 to 5:12 roof pitch* · 12" to 24" overhangs without brackets · Flat concrete tiles 	<ul style="list-style-type: none"> · 24" to 36" overhangs in select areas
Walls	<ul style="list-style-type: none"> · Stucco · Horizontal banding or belt course 	<ul style="list-style-type: none"> · Brick or rustic ledgerstone accents · Horizontal wood siding accents
Windows	<ul style="list-style-type: none"> · Windows with inserts on top panes on elevations with prominent or moderate public visibility · Banding along top or bottom of windows · Window trim surrounds proportionate to window size 	<ul style="list-style-type: none"> · Ribbon windows, generally in groupings of three
Details	<ul style="list-style-type: none"> · Wide square porch columns · Boxed stucco soffits · Entry door patterns should reflect architectural style of the building 	<ul style="list-style-type: none"> · Massive square porch columns with brick or stone base · Solid low wall at porch · Simple stucco columns with masonry base
Colors	<ul style="list-style-type: none"> · Field: light to medium warm colors. · Trim: Light to dark with warm colors in contrast to field · Accents: light to dark colors in contrast to field, greens, oranges, reds or browns. 	

* Possibly lower pitch at main roof

Ribbon windows, generally in groupings of three



Wide square porch columns



Massive square porch columns with brick or stone base



Brick or rustic ledgestone accents

Windows with inserts on top panes on elevations with prominent or moderate public visibility

Horizontal banding or belt course



Horizontal wood siding accents

CALIFORNIA HERITAGE STYLE

3.8.5 Craftsman

The Craftsman style was inspired by the English Arts and Crafts Movement of the late 19th century. Of the utmost importance was that all exterior and interior elements received both tasteful and “artful” attention. The movement influenced numerous California architects such as Green and Green, and Bernard Maybeck.

The resulting Craftsman style responded with extensive built-in elements and by treating details such as windows or ceilings as if they were furniture. The style was further characterized by the rustic texture of building materials, broad overhangs with exposed rafter tails at the eaves and trellises over the porches. The overall affect was the creation of a natural, warm and livable home. In Southern California, the Craftsman style spun out of bungalows that were the production home of the time.



CRAFTSMAN STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> Two-story boxed massing with vertical & horizontal breaks 	<ul style="list-style-type: none"> Varied plan shapes
Roof	<ul style="list-style-type: none"> 4:12 to 5:12 Main Roof Pitch Gable Roofs predominate Minimum 16" for Free Simple and 6" overhangs for Detached Condominium Units Concrete tile with flat or shingled appearance 	<ul style="list-style-type: none"> 3:12 Roof Pitch at select location 12"-16" overhangs at primary locations 16"-25" overhangs at accent locations Exposed Rafter Tails at primary locations
Walls	<ul style="list-style-type: none"> Horizontal Siding at gable ends Stucco at secondary areas 	<ul style="list-style-type: none"> Stone base accents at columns or walls at entry Shingle siding accents Battered column bases
Windows	<ul style="list-style-type: none"> Mullions at the upper portion of windows located at front elevation and at side and rear elevations exposed to public view Window trim at top and bottom may extend past the trim on sides 	<ul style="list-style-type: none"> Single-hung windows at front elevation Grouped ribbon of single-hung windows
Details	<ul style="list-style-type: none"> Heavy square single posts at columns or thinner double posts Stucco Bases with faux concrete caps Simple railings at porches if applicable Braces or Outlookers at gable ends 	<ul style="list-style-type: none"> Stone veneer column bases Diagonal braces at columns Battered column bases Potshelves Louvered gable ends Upgraded Garage Door Details Decorative Light Fixtures
Colors	<ul style="list-style-type: none"> Field: Light to dark earth tones Trim: Light to dark earth tones in harmony or contrasting with field Accents: Light to dark earth tones in contrast with field 	

THE PRESERVE

DESIGN GUIDELINES



Window trim at top and bottom may extend past the trim on sides



3:12 Roof Pitch at select location
12"-16" overhangs at primary locations

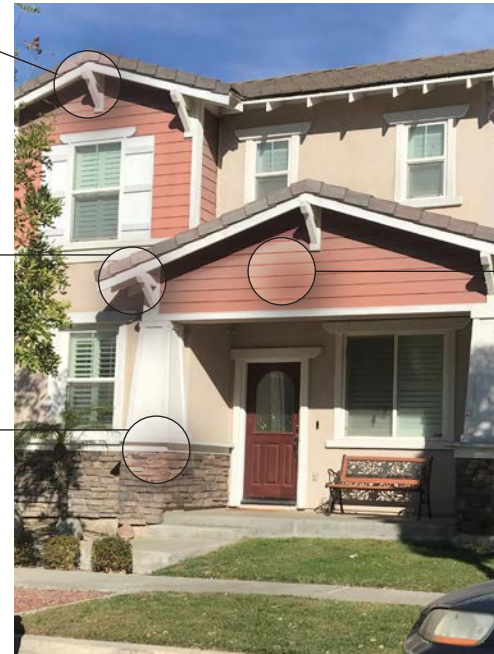


Stone base accents at columns or walls at entry

Outlookers at gable ends

Exposed Rafter Tails at primary locations

Heavy square single posts at columns or thinner double posts



Horizontal Siding at gable ends

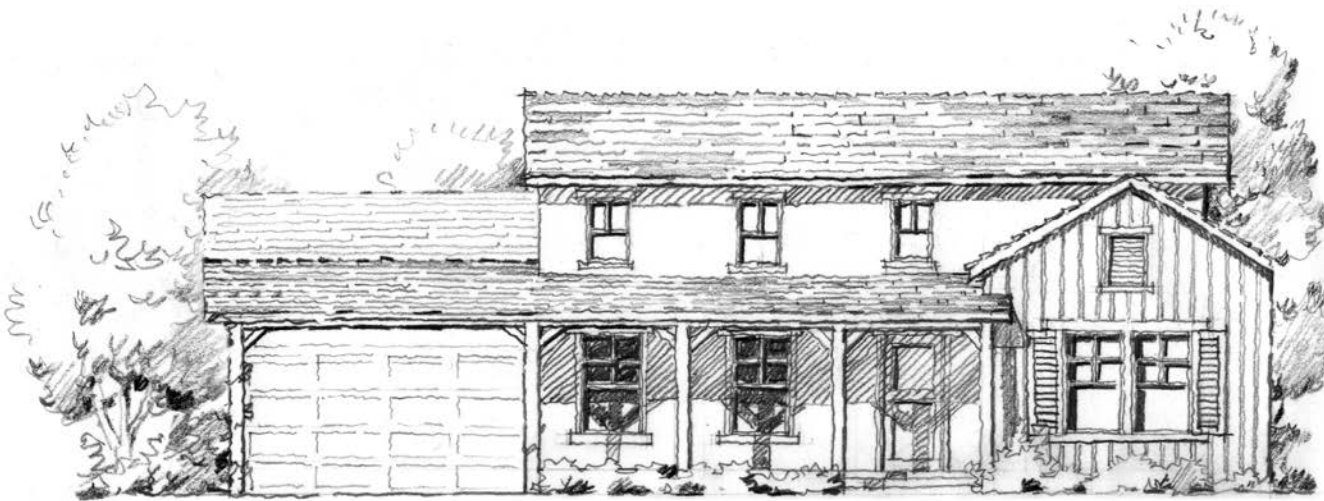
CRAFTSMAN DETAILS

CALIFORNIA HERITAGE STYLE

3.8.6 California Ranch

The Ranch House was the primary focus of the enormous ranches developed by the early Californians in the late 1800s when cattle raising was the principal occupation. Plans were typically organized around a courtyard, which became one of the primary living spaces.

In the mid-1930s Cliff May, a designer, began adapting the ranch house design and layout to the needs of family living. His design considerations maintained much of the authentic character of the early “ranchos,” but started using contemporary materials. This initiated the current acceptance of the informal open room plan and the strong relationship between indoor and outdoor living.



CALIFORNIA RANCH STYLE ELEMENTS

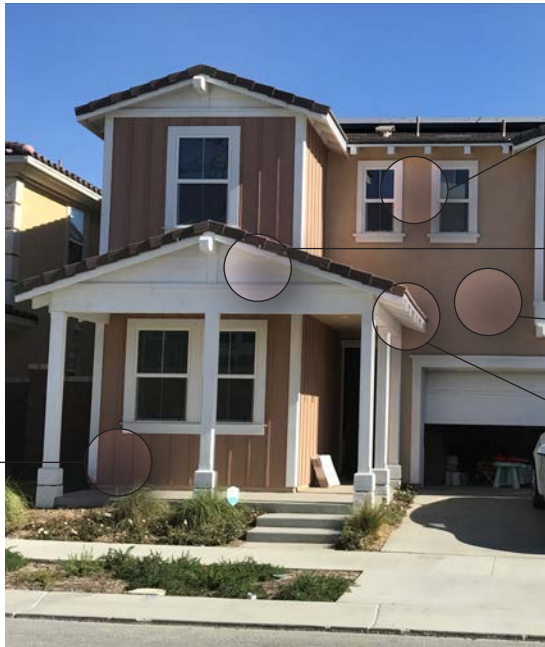
	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> Horizontal rambling profile arranged linearly and relating to outdoor spaces 	<ul style="list-style-type: none"> Primarily one-story massing Roofed porte-cochere - integral with porch
Roof	<ul style="list-style-type: none"> 4:12 to 5:12 Main Roof Pitch Both hips & gable are appropriate Minimum 6" overhangs Concrete tile with flat or shingled appearance 	<ul style="list-style-type: none"> 12"-16" overhangs at primary locations
Walls	<ul style="list-style-type: none"> Vertical Siding at key location Stucco at secondary areas 	<ul style="list-style-type: none"> Horizontal siding at accent areas; like gable ends Brick veneer skirts
Windows	<ul style="list-style-type: none"> Mullions at the upper portion of windows located at front elevation and at side and rear elevations exposed to public view Window trim at top and bottom may extend past the window edges at sides 	<ul style="list-style-type: none"> Single-hung windows at front elevation Grouped ribbon of single-hung windows
Details	<ul style="list-style-type: none"> Wood Posts with diagonal braces Simple railings at porches if applicable Shutters with louver-board panel 	<ul style="list-style-type: none"> Potshelves Rectangular faux vents at gable ends Upgraded Garage Door Details Decorative Light Fixtures Dormers
Colors	<ul style="list-style-type: none"> Field: Wide range of light to dark earth tones Trim: Off-whites, light or dark tones in contrast to field Accents: Light or dark tones in contrast to field 	



Shutters with louver-board panel



Single-hung windows at front elevation



Vertical Siding at key location

Grouped ribbon of single-hung windows

Horizontal siding at accent gable ends

Stucco at secondary areas

12"-16" overhangs at primary locations



CALIFORNIA HERITAGE STYLE**3.8.7 Monterey**

The Monterey style is a combination of the original Spanish Colonial adobe construction methods with the basic two-story New England colonial house. Prior to this innovation in Monterey, all Spanish colonial houses were of single-story construction.

First built by Thomas Larkin in 1835, this style introduced two-story residential construction and shingle roofs to California. This Monterey style and its single-story counterpart eventually had a major influence on the development of modern architecture in the 1930s.



MONTEREY STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> Simple box plan form 	<ul style="list-style-type: none"> Simple plan with one-story element or gable end forward
Roof	<ul style="list-style-type: none"> 4:12 to 6:12 Main Roof Pitch Gable are appropriate Minimum 6" overhangs Concrete tile with flat or shingled appearance 	<ul style="list-style-type: none"> 12"-16" overhangs at primary locations
Walls	<ul style="list-style-type: none"> Vertical Siding at key location Stucco at remaining areas 	<ul style="list-style-type: none"> Horizontal siding at accent areas; like gable ends Brick veneer skirts or accents at base
Windows	<ul style="list-style-type: none"> Mullions in vertical patterns at windows located at front elevation and at side and rear elevations exposed to public view Window trim at top and bottom may extend past the window edges at sides 	<ul style="list-style-type: none"> Single-hung windows at front elevation Simple focal window at front elevation
Details	<ul style="list-style-type: none"> Balcony with simple railing and post elements Beams and corbels may be wood or manufactured Shutters with multi-panel design 	<ul style="list-style-type: none"> Brick veneer skirt or accents Potshelves Horizontal siding at upper gable ends Decorative corbels and/or outlookers Upgraded Garage Door Details Decorative Light Fixtures
Colors	<ul style="list-style-type: none"> Field: Whites or light beige buff pink tints Trim: Off-whites, rust or light to dark brown (balconies) Accents: Deep jewel tones of green, blue, red (shutters) 	

THE PRESERVE

DESIGN GUIDELINES



Simple plan with one-story break or gable end forward



Upgraded Garage Door Details

Minimum 6" overhangs



Vertical Siding at key location

Upper balcony with simple railing and post elements

Mullions in vertical patterns

Stucco

Shutters with multi-panel design

Brick veneer skirt or accents



MONTEREY DETAILS

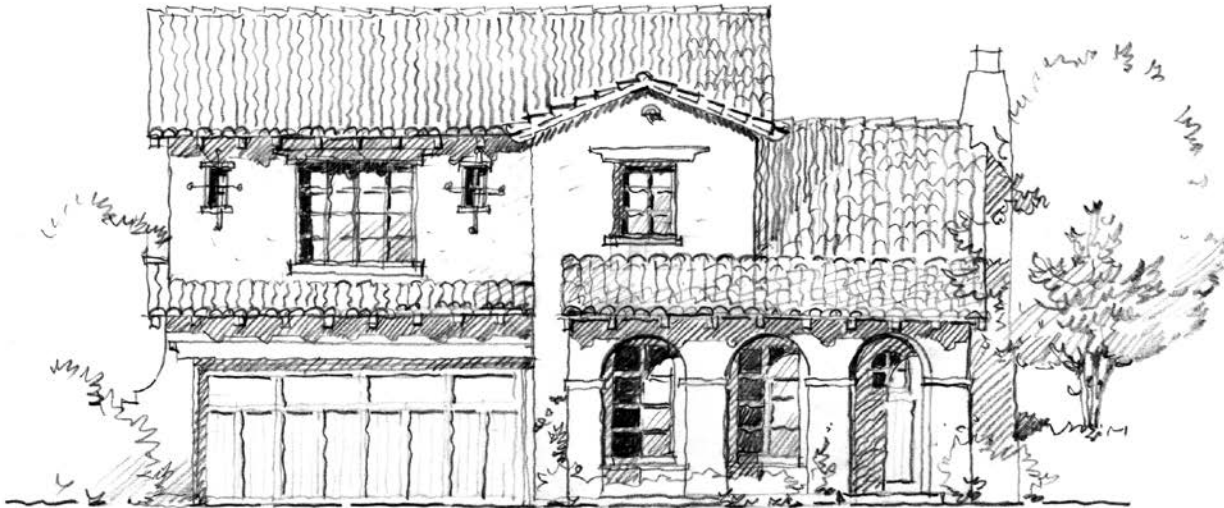
CALIFORNIA HERITAGE STYLE

3.8.8 Spanish Colonial

Spanish Colonial, also known as Spanish Eclectic is an adaptation of Mission Revival enriched with additional Latin American details and elements. The style attained widespread popularity after its use in the Panama-California Exposition of 1915.

The simple courtyards of the Spanish Colonial heritage with hanging pots, a flowering garden and sprawling shade trees are hardly surpassed as foreground design elements. Further architectural distinction was established through the use of tile roofs, stucco walls, heavily textured wooden doors and highlighted ornamental ironwork.

Key features of this style were adapted to the Southern California locale. The plans were informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability and contrast of materials and textures.



SPANISH COLONIAL STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> Two-story massing with strong one-story element 	<ul style="list-style-type: none"> Articulated two-story boxed plan massing with not more than 50% one-story element across front elevation
Roof	<ul style="list-style-type: none"> 4:12 to 6:12 Main Roof Pitch Gable are appropriate Minimum 6" overhangs Concrete tile with barrel profile 	<ul style="list-style-type: none"> 12"-16" overhangs at primary locations Shed roof over porches or accent areas Tight rakes at select gable ends
Walls	<ul style="list-style-type: none"> Stucco is the prevalent material 	<ul style="list-style-type: none"> Color blocking of stucco for added interest
Windows	<ul style="list-style-type: none"> Mullions in vertical patterns at windows located at front elevation and at side and rear elevations exposed to public view Window trim at top and bottom may extend past the window edges at sides 	<ul style="list-style-type: none"> Single-hung windows at front elevation Simple focal window at Front Elevation
Details	<ul style="list-style-type: none"> Shutters with multi-panel or louver-board design Decorative gable element Rounded columns, if used 	<ul style="list-style-type: none"> Framed arched element Iron grill or potshelves Decorative wing wall element Decorative corbels and/or outlookers Decorative bands at columns Upgraded Garage Door Details Decorative Light Fixtures Arches or Arched windows
Colors	<ul style="list-style-type: none"> Field: White tone body with bright accent trim Trim: Dark brown trims Accents: Deep jewel tones of green, blue, red (on shutters, door, balcony trim) 	



Two-story massing with strong one-story element



Tight rakes at select gable ends



Arched Windows

Decorative bands at columns

Decorative gable element

Concrete tile with barrel profile

Stucco is the prevalent material

Arches



Window trim at top and bottom may extend past the window edges at sides

Upgraded Decorative Lights

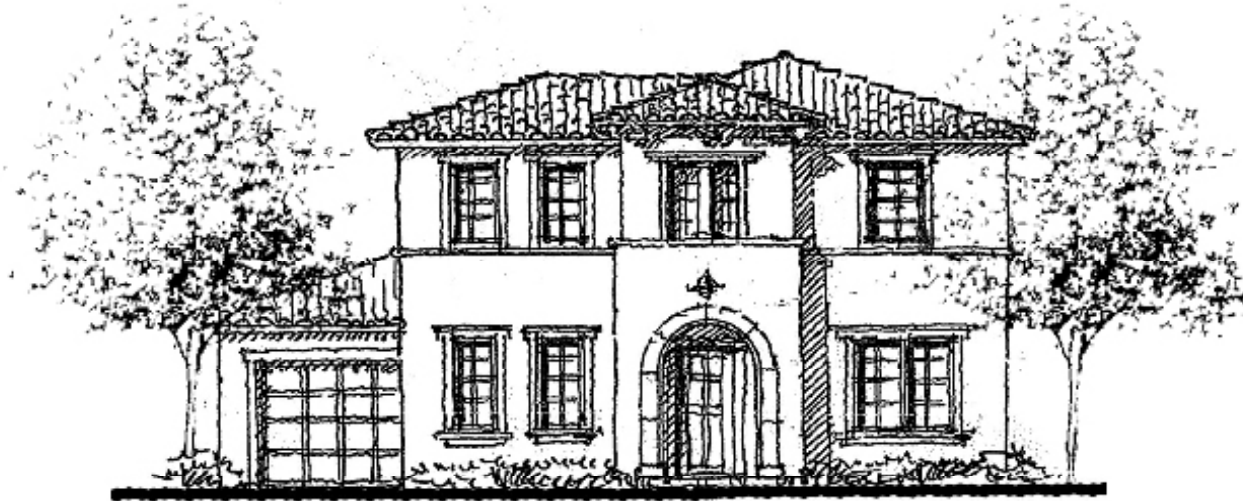
Shutters with multi-panel or louver-board design

SPANISH COLONIAL DETAILS

REVIVAL STYLE**3.8.9 Italianate**

The Italianate style as interpreted and conceived by Southern California architects of the early 20th century adapted the grand formal elegance of the Italian Renaissance estate with a localized approach to detailing and scale. Composed primarily of stacked two-story forms, the front elevations of these homes display a distinct organization of windows and doors, with a centrally located, articulated entry.

Key identifying features of this style include low-pitched hip roofs, decorative eave brackets, horizontal banding, round columns, and arched elements, particularly above rectangular windows. Southern California architects also used awnings and wrought iron to achieve a regional aesthetic while retaining strong connections to the style's origins.



ITALIANATE STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> · Stacked two-story massing 	<ul style="list-style-type: none"> · Front courtyard
Roof	<ul style="list-style-type: none"> · 4:12 to 6:12 Main Roof Pitch · Hips are appropriate · Minimum 6" overhangs · Concrete tile with barrel profile or shake pattern 	<ul style="list-style-type: none"> · 12"-24" overhangs at primary locations · Solid Eaves at select locations
Walls	<ul style="list-style-type: none"> · Stucco is the prevalent material 	<ul style="list-style-type: none"> · Color blocking of stucco for added interest · Scallop detail elements · Decor belly-band · Quoins or wide trim at select building corners
Windows	<ul style="list-style-type: none"> · Mullions in vertical patterns at windows located at front elevation and at side and rear elevations exposed to public view · Window trim at top, bottom, & sides 	<ul style="list-style-type: none"> · Paired window groupings · Formal alignment of window centered over entry door
Details	<ul style="list-style-type: none"> · Solid eave at select locations · Wide belly-band 	<ul style="list-style-type: none"> · Wide corbels/braves at eaves · Potshelves · Decorative Columns · Faux precast surround at entry · Upgraded Garage Door Details · Decorative Light Fixtures
Colors	<ul style="list-style-type: none"> · Field: Rich warm palette · Trim: Darker and contrasting to body color · Accents: Terracotta color roofs 	

THE PRESERVE

DESIGN GUIDELINES



Stacked two-story massing with Quoins



Scallop detail elements



Potshelves

Decor belly-band

Faux precast surround at entry

Solid Eaves at select locations

Formal alignment of window centered over entry

Stucco is the prevalent material



Quoins

Concrete tile with barrel profile

ITALIANATE DETAILS

REVIVAL STYLE**3.8.10 Adobe Ranch**

The Adobe Ranch architectural style was created as an update and adaptation of the Spanish Ranchos built throughout the 19th century in California. Although originally constructed from adobe, conventional materials introduced with modern building practices created a true indigenous Southern California style; evocative, yet low in profile. Characterized by this informal nature, these homes captured a type of rustic sophistication for Angelenos in the 1920s with a simple and direct architecture which followed the contours of the land.

Elements typical of this style include “L” shaped forms of varied massing, shallow pitched roofs, predominant use of stucco with occasional painted brick or stone detailing, stucco chimney forms, buttresses, and long porches. A general expression of wall mass is expressed using recessed windows and other architectural details.



ADOBE RANCH STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> Asymmetrical, often L-shaped, rectangular two-story massing 	<ul style="list-style-type: none"> Strong single-story element
Roof	<ul style="list-style-type: none"> 4:12 to 6:12 main roof pitch Gables and shed roofs are appropriate Minimum 6" overhangs Concrete tile with barrel profile or shake pattern 	<ul style="list-style-type: none"> 12"-16" overhangs at primary locations Exposed rafter tails at select locations
Walls	<ul style="list-style-type: none"> Stucco is the prevalent material 	<ul style="list-style-type: none"> Color blocking of stucco for added interest Decorative wing wall element Brick veneer
Windows	<ul style="list-style-type: none"> Mullions in vertical patterns at windows located at front elevation and at side and rear elevations exposed to public view Window trim at top and bottom 	<ul style="list-style-type: none"> Recessed focal window Window box
Details	<ul style="list-style-type: none"> Shutters with panel or louver-board insets Decor gable end detail 	<ul style="list-style-type: none"> Corbels Potshelves Decorative iron elements Post and beam at porch if applicable Faux Beam over entry Framed out stucco skirt with tile or colored cap Upgraded Garage Door Details Decorative Light Fixtures
Colors	<ul style="list-style-type: none"> Field: Whites, light earth tones Trim: Dark contrasting color Accents: Terracotta roofs 	



Exposed rafter tails at select locations & brick veneer



Asymmetrical, often L-shaped, rectangular two-story massing



Decorative iron elements

Gables and shed roofs are appropriate

Concrete tile with barrel profile

Decor at gable end detail

Stucco is the prevalent material



Faux Beam over entry

Shutters with panel or louver-board insets

ADOBE RANCH DETAILS

REVIVAL STYLE**3.8.11 French Provincial**

French Provincial is a style which can be found throughout Southern California, particularly in and around central Los Angeles north and south of the Wilshire Corridor. This style had its origins in the rural manor homes and chateaus built by French nobles during the mid-1600s, and was popularized in Southern California as a revival style in the 1920s and again in the 1960s, lending a distinct cosmopolitan atmosphere to many Southland communities. These homes express comfortable sophistication, and retain the style's sense of formality, color and balance.

This style can be characterized by hip roofs, horizontal banding, rectangular doors or windows set in arched openings, and shutters (which can be used with French doors). Bay windows were also used as a feature element throughout the Los Angeles area.



FRENCH PROVINCIAL STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> · Two-story stacked volumes · Rectangular plans 	<ul style="list-style-type: none"> · Projecting, hipped wings
Roof	<ul style="list-style-type: none"> · 4:12 to 6:12 main roof pitch · Hip roofs are appropriate · Minimum 6" overhangs · Concrete tile with slate or shake pattern 	<ul style="list-style-type: none"> · Steeper roof pitches as select locations · 12"-16" overhangs at primary locations · Solid eaves at select locations · Round-topped roof dormers · Metal accent roof
Walls	<ul style="list-style-type: none"> · Stucco is the prevalent material 	<ul style="list-style-type: none"> · Color blocking of stucco for added interest · Decorative insets above windows or doors · Decorative belly-band
Windows	<ul style="list-style-type: none"> · Mullions in vertical patterns at windows located at front elevation and at side and rear elevations exposed to public view · Window trim at top and/or bottom 	<ul style="list-style-type: none"> · Arched recesses above windows at select locations · Shutters with louver-board insets · Formal symmetrical arrangements
Details	<ul style="list-style-type: none"> · Shutters with panel or louver-board insets · Prominent entry door trim detail 	<ul style="list-style-type: none"> · Eave detail · Juliet Balcony · Horizontal banding · Decorative iron elements · Upgraded Garage Door Details · Decorative Light Fixtures
Colors	<ul style="list-style-type: none"> · Field: Muted variety of colors · Trim: Window trim same as field color · Accents: Shutters of contrasting colors 	

THE PRESERVE

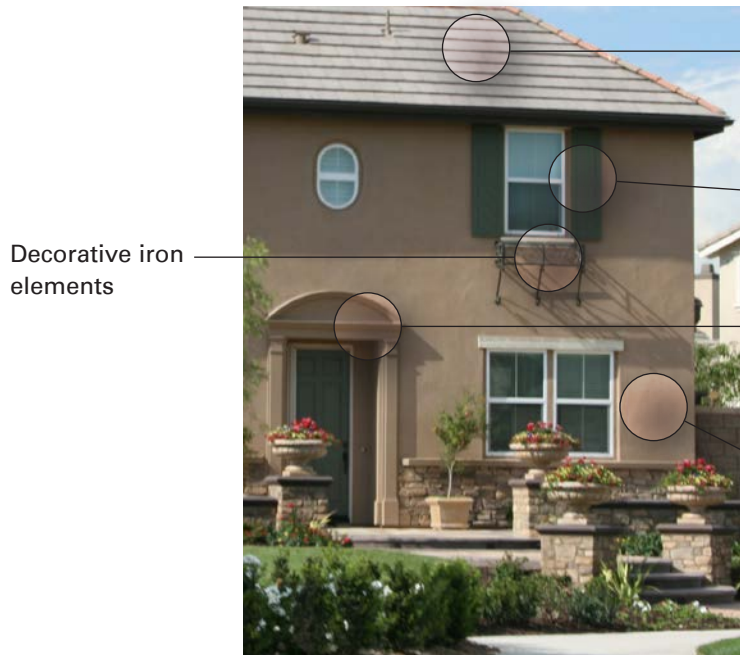
DESIGN GUIDELINES



Two-story stacked volumes, rectangular plans



Prominent entry door trim detail



Decorative iron elements

Concrete tile with slate or shake pattern

Shutters

Prominent entry door trim detail

Stucco is the prevalent material



Projecting, hipped wings

Metal accent roof

Prominent entry door trim detail

FRENCH PROVINCIAL DETAILS

REVIVAL STYLE

3.8.12 English Revival

Formed from medieval English prototypes of the cottage and manor, the English Revival architectural style blossomed in the United States during 1920s and the 1930s, particularly in Los Angeles. Although known for its use of brick, stone and half-timbering elements on the facade, it was also conceived quite skillfully by Southern California architects using primarily stucco and bold roof forms, thus creating a true regional aesthetic. This revival style is marked by a sense of intimate charm and craftsmanship, and can be found in neighborhoods such as Hancock Park, Silver Lake, Windsor Village, and many other Southland communities.

The English Revival style's most prominent features include steeply pitched gables, one and two-story asymmetrical facades, and vertically proportioned windows with mullions. Brick was occasionally used as an accent on walls and chimneys.



ENGLISH REVIVAL STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> Rectangular two-story massing 	
Roof	<ul style="list-style-type: none"> 4:12 to 6:12 main roof pitch Gable roofs are appropriate Minimum 6" overhangs Concrete tile with slate or shake pattern 	<ul style="list-style-type: none"> Steeper roof pitches as select locations Tight rakes at gables over entry Paired gables at front elevation
Walls	<ul style="list-style-type: none"> Stucco is the prevalent material 	<ul style="list-style-type: none"> Color blocking of stucco for added interest Brick or stone accents
Windows	<ul style="list-style-type: none"> Mullions in vertical patterns at windows located at front elevation and at side and rear elevations exposed to public view Window trim at top, bottom, and sides 	<ul style="list-style-type: none"> Bay or boxed-out window at front elevation Symmetrical arrangements Eyebrow arch over window
Details	<ul style="list-style-type: none"> Prominent entry door trim detail Decor gable end detail 	<ul style="list-style-type: none"> Decorative gable end rake detail Horizontal banding at tops of gable ends Shed roofs with braces over window Upgraded Garage Door Details Decorative Light Fixtures
Colors	<ul style="list-style-type: none"> Field: Whites, grays, light or dark earth tones Trim: Dark contrasting color Accents: Dark slate color roofs 	



Rectangular two-story massing & 4:12 to 6:12 main roof pitch



Bay or boxed-out window at front elevation



Concrete tile with slate or shake pattern

Prominent entry door trim detail

Brick or stone accents

Horizontal banding at tops of gable ends

Stucco is the prevalent material



Concrete tile with slate or shake pattern

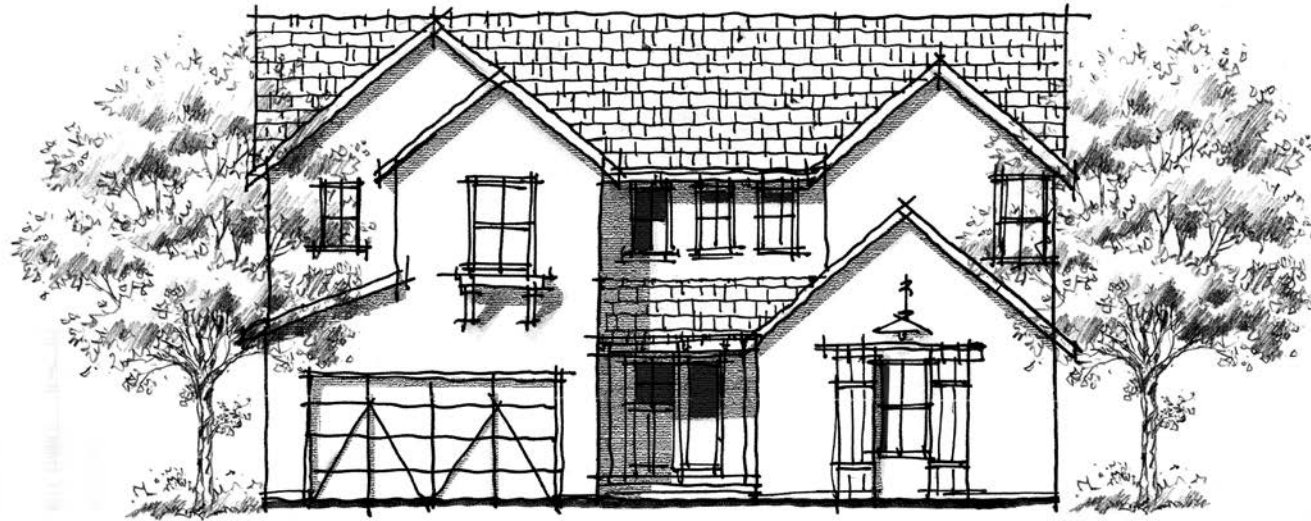
Shed roofs with braces over window

MILLENNIUM STYLE

3.8.13 Adaptive Farmhouse

Due to the simple and honest nature of this architectural form, the Farmhouse style can be easily adapted to a more abstract solution and is appropriate within many of the higher density settings. Since this style's roof shapes, variety of textures, colors and materials can easily be extrapolated into more contemporary applications, one can find many examples of this transformation throughout the West.

The Adaptive Farmhouse style blends the sleek clean lines of contemporary design with warm farmhouse charm to create a uniquely fresh take on this country living inspired style.



ADAPTIVE FARMHOUSE STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> · Symmetrical or asymmetrical massing 	
Roof	<ul style="list-style-type: none"> · 4:12 to 6:12 main roof pitch · Gable roofs are appropriate · Minimum 6" overhangs Concrete tile with slate or shake pattern 	<ul style="list-style-type: none"> · Steeper roof pitches as select locations · Shed roofs at accent areas · Standing seam roof at accent location
Walls	<ul style="list-style-type: none"> · Vertical siding at select location · Stucco is the prevalent material 	<ul style="list-style-type: none"> · Color blocking of stucco for added interest · Horizontal siding at accent areas · Control joints used to add visual interest
Windows	<ul style="list-style-type: none"> · Mullions in vertical patterns at windows located at front elevation and at side and rear elevations exposed to public view · Window trim at top, bottom, and sides 	<ul style="list-style-type: none"> · Recessed window trim · Deep-recessed focal window · Asymmetrical arrangements · Shutters with vertical line elements
Details	<ul style="list-style-type: none"> · Wood posts and beam at entry · Potshelves · Shutters · Simple gable ends 	<ul style="list-style-type: none"> · Horizontal porch railing, if applicable · Elongated shutter detail at focal window · Shed roofs with braces over window · Upgraded Garage Door Details · Decorative Light Fixtures
Colors	<ul style="list-style-type: none"> · Field: Whites or light tinted colors · Trim: Whites or light shades complementary to field color · Accents: Light or dark shades in contrast with field color 	

THE PRESERVE

DESIGN GUIDELINES



Color blocking for added interest



Simple gable ends



Vertical siding at select locations

Shed roofs with braces over window

Steeper roof pitches as select locations

Minimum 6" overhangs

Mullions in vertical patterns



Shutters

Horizontal porch railing

ADAPTIVE FARMHOUSE DETAILS

MILLENNIUM STYLE

3.8.14 Adaptive Spanish

The Adaptive Spanish style includes box-like forms that can include either flat roofs with parapet or shallow-pitched roofs. The wall surfaces are simple or have lightly textured surfaces, with clean cut openings for windows and doors. Arched doorways and small balconies provide form to the Adaptive Spanish style. Contemporary elements such as iron awnings, sliding barn doors and a combination of traditional light fixtures and contemporary lighting strategies provide a contemporary look.

This style combines the old and the new into one cohesive adaptive style. It utilizes traditional Spanish architectural elements, such as arches, corbels, and wood headers, and relieves them of their ornamental detail for a more simplified contemporary design.



ADAPTIVE SPANISH STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> Simple geometric forms 	
Roof	<ul style="list-style-type: none"> 4:12 to 6:12 main roof pitch Gable roofs are appropriate Minimum 6" overhangs Concrete tile with barrel or shake pattern 	<ul style="list-style-type: none"> Shed roofs at accent areas Parapets allowed Exposed rafter tails at select locations
Walls	<ul style="list-style-type: none"> Stucco is the prevalent material 	<ul style="list-style-type: none"> Color blocking of stucco for added interest Horizontal siding or banding at accent areas Decorative ceramic tile or brick accents Control Joints used to add visual interest
Windows	<ul style="list-style-type: none"> No mullions is acceptable Window trim at top, bottom, and sides 	<ul style="list-style-type: none"> Recessed window trim at front elevation Deep-recessed focal window Asymmetrical arrangements
Details	<ul style="list-style-type: none"> Recessed front entry door Arch element Limited ornamentation and no shutters 	<ul style="list-style-type: none"> Horizontal porch railing, if applicable Shed roofs with braces over window Horizontal railing or screen element Upgraded Garage Door Details Decorative Light Fixtures
Accent Colors	<ul style="list-style-type: none"> Field: Toned whites and light to medium light value warm colors Trim: Medium dark value browns reminiscent of stained wood Accent: If necessary, clear to muted blues, greens, rust and burgundy in medium to dark value range or dark browns 	



Shed roofs at accent areas.
Horizontal siding at accent areas



Limited ornamentation & No mullions is acceptable



Exposed rafter tails
at select locations

Arch element

Arch element

Window trim
at top, bottom,
and sides

Recessed front
entry door



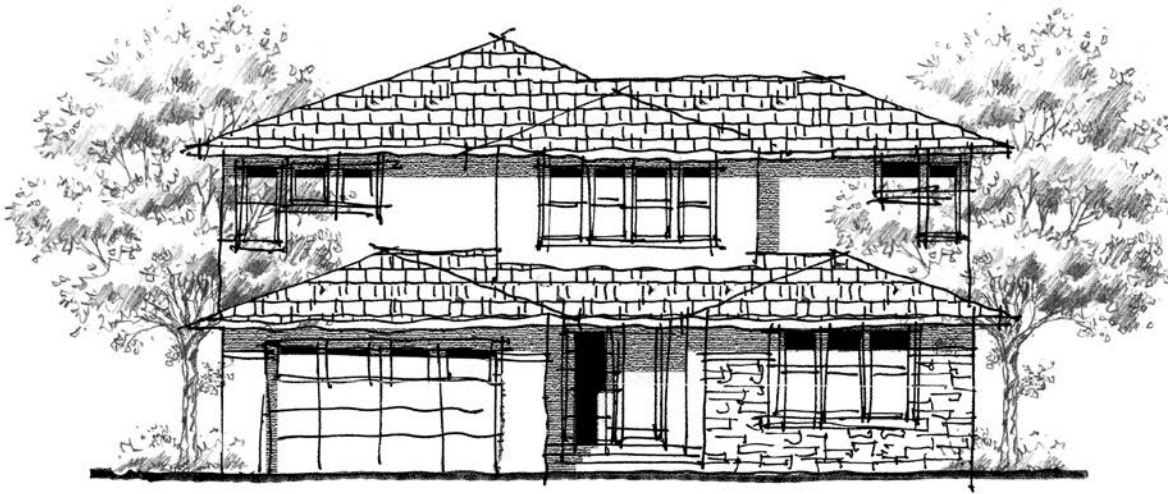
Shed roofs
with braces
over window

ADAPTIVE SPANISH DETAILS

MILLENNIUM STYLE

3.8.15 Adaptive Prairie

Frank Lloyd Wright's Prairie style is timeless. It grew in popularity during the first decade of the twentieth century and spread throughout the country along with Wright's belief that a building should fulfill its primary function while also exuding character, life, spirit, and beauty. The Adaptive Prairie style uses quintessential Prairie design features such as horizontal massing and clean lines, and transforms them to fit current home designs.



ADAPTIVE PRAIRIE STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> · Strong horizontal form · One-story or two-story massing 	<ul style="list-style-type: none"> · Deep Entries
Roof	<ul style="list-style-type: none"> · 4:12 to 6:12 main roof pitch · Hip roofs predominate · Minimum 6" overhangs · Concrete tile with smooth or shake pattern 	<ul style="list-style-type: none"> · 3:12 roof pitches at select areas · Parapets allowed · Solid Eaves up to 24" Deep at select locations
Walls	<ul style="list-style-type: none"> · Stucco is the prevalent material · Horizontal banding or belt course 	<ul style="list-style-type: none"> · Color blocking of stucco for added interest · Horizontal siding or banding at accent areas · Brick or LedgeStone accents · Control Joints used to add visual interest
Windows	<ul style="list-style-type: none"> · Windows with mullions on top panes at locations with prominent visibility · Window trim at top and bottom 	<ul style="list-style-type: none"> · Recessed window trim at front elevation · Ribbon windows, generally in groupings of three
Details	<ul style="list-style-type: none"> · Recessed front entry door · Wide square porch columns, if applicable · Limited ornamentation and no shutters 	<ul style="list-style-type: none"> · LedgeStone bases/skirts · Furred-out skirts below focal window · Upgraded Garage Door Details · Decorative Light Fixtures
Colors	<ul style="list-style-type: none"> · Field: light to medium warm colors. · Trim: Light to dark with warm colors in contrast to field · Accents: light to dark colors in contrast to field, greens, oranges, reds or browns. 	

THE PRESERVE

DESIGN GUIDELINES



Solid Eaves up to 24" Deep at select locations



Strong horizontal form. Limited ornamentation and no shutters

Ribbon windows, generally in groupings of three



Hip roofs predominate

Horizontal siding

Deep Entries

Ledgestone bases/skirts



ADAPTIVE PRAIRIE DETAILS

MILLENNIUM STYLE**3.8.16 Adaptive European**

The Adaptive European style comes from an amalgamation of styles in the region. It is one of the more varied and has evolved over long periods of time. From the Gothic period to Modern, European Country to International, the European region hosts a range of aesthetics and architectural characteristics. The Adaptive European style in this instance, refers to that found in Germany and Switzerland. Architectural embellishments are used with great restraint, and instead, color, glass and metal are the focus for form and function. Steeper roof pitches, varied roof forms and shake-style roof material further links to European architecture vernaculars in addition to enhances visual interest.



ADAPTIVE EUROPEAN STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none"> · Asymmetrical, one and two-story volumes 	<ul style="list-style-type: none"> · Turrets
Roof	<ul style="list-style-type: none"> · 4:12 to 6:12 main roof pitch · Gable roofs predominate · Minimum 6" overhangs · Concrete tile with smooth or shake pattern 	<ul style="list-style-type: none"> · Steeper roof pitches at select locations · Shed roofs at accent locations · Parapets allowed · Eaves up to 16" Deep at select locations
Walls	<ul style="list-style-type: none"> · Stucco is the prevalent material · Vertical siding at select locations 	<ul style="list-style-type: none"> · Color blocking of stucco for added interest · Control Joints used to add visual interest
Windows	<ul style="list-style-type: none"> · Windows with no mullions or large panes ideal at locations with prominent visibility · Window trim at top and bottom 	<ul style="list-style-type: none"> · Recessed window trim at front elevation · Large window grouping at front elevation
Details	<ul style="list-style-type: none"> · Metal awnings with horizontal lines · Gable end vent detail · Limited ornamentation and no shutters 	<ul style="list-style-type: none"> · Shed roofs with braces over entry or upper windows · Horizontal railings · Upgraded Garage Door Details · Decorative Light Fixtures
Colors	<ul style="list-style-type: none"> · Field: light to medium warm colors. · Trim: Light to dark with warm colors in contrast to field · Accents: light to dark colors in contrast to field, greens, oranges, reds or browns. 	



Stucco is the prevalent material



Asymmetrical, one and two-story volumes
Upgraded Garage Door Details

Concrete tile with smooth or shake pattern

Color blocking added interest

Shed roofs at accent locations



Vertical siding at select locations

Metal awnings with horizontal lines

Large window grouping at front elevation



Shed roofs at accent locations

Color blocking added interest

ADAPTIVE EUROPEAN DETAILS

CHAPTER 3 CHECKLIST

	Single Story Homes: 10% in ER & LDR over 5500 SF	Page 3-3
	Attached For Sale MF Units: 15% in MDR to be Single Level Ground Floor Units	Page 3-4
	Massing Variation: Single Level Elements; Upper Level Offsets; Variable Setbacks; Rear Elevation Articulation	Page 3-4
	Garage Placements: ER = 3; LDR/MDR = 2	Page 3-6
	SFD Corner Lots: Primary & Secondary	Page 3-9
	Detached Condo Corner Units: Primary & Secondary	Page 3-13
	Acute Views within Detached Condo Units:	Page 3-13
	SFD Homes: 30% with a single story element; 3 Plans Min.;	Page 3-20
	Styles: 3 Styles per Plan (2 min. for Inside Detached Condo Units)	Page 3-20

SECTION 4 - URBAN NEIGHBORHOODS

4.1 DESIGN PRINCIPLES FOR URBAN NEIGHBORHOODS

This chapter covers the design principles for neighborhoods seeking to achieve a more urban feel. These types of neighborhoods are likely to be found within the Preserve Loop, as well as outside The Preserve Loop, such as the Meadow House neighborhood. The urban approach to neighborhood crafting blends the design principles of higher density attached residential living, a formal network of interlocking streets and an eclectic mixture of active spaces to inspire a vibrant and interactive community environment.

A. Redefine Role of the Street as a Social Space

By activating the public space, the streetscape becomes more pedestrian friendly. This can be accomplished by wider sidewalks, windows, and front doors facing toward the street. Incorporating desirable destinations within a pleasant walking distance also encourages the streets to be used more frequently.



B. Provide Architectural Diversity

Strong form, massing and detailing shall be used to express styles. Varying the product types, architectural styles, colors and accents provide more variety. Simple building plans should be considered to achieve an authentic style of architecture while providing more affordable housing to the market.

C. Maintain a High Level of Quality

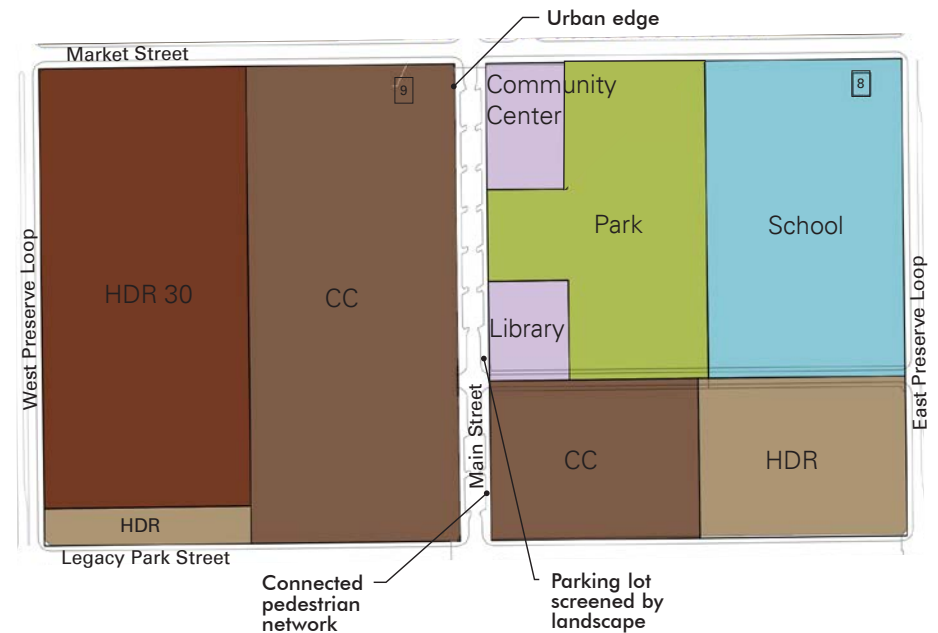
It is the intent for all architecture in The Preserve to achieve a high level of quality in building function and visual appearance, assure variety and compatibility in architectural character and to enhance the community's overall value. The goal is to promote these qualities in conjunction with the landscape and planning by using architectural styles combined with modern technology to provide a pleasant, livable community.

4.2 SITE PLANNING CRITERIA

The following site planning criteria should be treated as design guidelines for parcel site planning and community placemaking.

4.2.1 Planning for Active Spaces

- Building massing, design, and setbacks shall reinforce a pedestrian-scale for the street scene without generating unusable pockets or dead spaces.
- Buildings are encouraged to be built to the minimum setback line to create a continuous street edge.
- Internal Auto Circulation on Higher Density Sites will typically be served by a Drive Aisle System rather than a Local Street System.



Urban Framework Diagram



- Pedestrian Circulation within Higher Density Communities will depend upon the type of product and the level of density. Some Higher Density Communities may overlay the pedestrian path of travel within the drive-aisles. Most of these Higher Density Neighborhoods will not have room for curb-separated sidewalks and conventional building setbacks from sidewalks. Regardless of pathway design, accessible path of travel requirements will be met for applicable units. Since these types of Communities are typically entitled with Condominium Maps, there should not be any conflicts with setbacks to property lines. Accessible path



Pedestrian Circulation With Curb Adjacent Sidewalks

- of travel requirements will still need to be met to those units that require them.
- Buildings should be oriented toward streets, pedestrian pathways and/or active spaces. See the Urban Framework Diagram for an example of building orientations (refer to pg 4-2 for the Urban Framework Diagrams).
- Where building design undulates, spaces along the pedestrian realm should be large enough to foster visual interest, but not too deep to disrupt the continuity of the street.
- Site Plans will need to be reviewed to ensure that all Accessible Paths of Travel requirements have been met.

- Provide pedestrian connections to trails, interior paseos, and courts from perimeter sidewalks. Provide at least one (1) pedestrian connection per block.
- Pedestrian connections are required where cul-de-sacs end adjacent to Public Streets

4.2.2. Plotting

By the very nature of the product, attached and multi-family home neighborhoods are much like small villages, or communities. Each should be designed for compatibility within itself, using a blend of building types, compatible architectural styles and a tastefully balanced palette of colors and materials to avoid clashing and achieve a restful uniformity within each community.

- Attached for-sale communities range in size from 50 to 200 units per community.

The following general concepts should be considered when planning for and designing attached and multi-family housing. See Section 4.6 Urban Housing Types for added criteria that is specific to each building plan type.

- Design and site buildings with a strong physical relationship to public areas of the community.
- Emphasize pedestrian access and connections to public sidewalks, trails and open space systems when preparing site plans.

4.3 PARKING

Each project will strive to incorporate interior-oriented parking solutions and use the following design techniques to enhance the architecture of the street scene:

- Where parking areas are visible from public streets, these areas should be screened from view with landscape or architectural solutions to the extent possible.
- See City of Chino parking code for required number of spaces.

4.3.1 On-Street Parking

Residential visitor parking may be located on new streets created by the residential or mixed-use development. Parking is permitted on Main Street and local streets inside the Preserve Loop on-street.

4.3.2 Covered Parking

Covered parking solutions for high-density housing types can include side-by-side, staggered garages as well as tandem configurations. Carport parking is permitted per Zoning Code 20.17.050.

4.4 SAFETY

Security shall be enhanced through appropriate design, such as location of buildings and windows to maximize visibility of entryways, pedestrian pathways, and parking lots. Adequate lighting throughout the community core shall be provided. Well-designed and maintained landscaping shall not block views of entries and pedestrian pathways.

4.5 RESIDENTIAL DESIGN ELEMENTS

4.5.1 Scale, Massing and Articulation

In an effort to meet the rising housing demand, affordability by design is an important consideration. Homes that feature simple structural (massing and roof) forms will provide an aesthetically pleasing neighborhood and be economically feasible for the builder and buyer alike.

Higher-density, urban-styled communities are primarily defined by the streetscape experience; how the building massing frames the street creates an engaging built form and sense of place. Buildings that create active and inviting urban streets are typically large volume buildings. The scale of higher-density buildings shall be designed for visual interest, creating rhythm and scale to the street. Composition of massing, interlocking volumes, and addition of stylized details will achieve engaged streetscapes. This may mean subtle massing offsets or bolder forms with more pronounced massing variation and simple to minimal detail. The design approach shall be tailored to the architectural style and context of the primary pedestrian street.

Each neighborhood shall include a collection of varied but complementary forms that create a streetscene that is clear to navigate physically and visually.

Smaller homes especially stand to benefit from a simpler, streamlined architectural treatment characterized by stacked massing, simple rooflines, and an acute attention to detail to maximize livable square footage for the residents. Architecture that results in a simplified massing also has positive impacts on the reduction of the building's carbon footprint through resource-efficient design.



A. Main Street and the Preserve Loop

Main Street through the Community Core (Pine Avenue down to Legacy Park Avenue) is envisioned to retain an urban edge. This will include angled parking on both sides down to just south of Legacy Park Avenue along with a 15-foot paved sidewalk area from curb to buildings. To soften this edge, there will be tree wells placed against the curb for shade.

Main Street is the primary spine running north-south through The Preserve. As Main runs through the Retail and Civic areas just south of Pine Avenue, the design becomes more urban in detail. In addition to the Gateway Arches announcing entry into this urban space, the sidewalks become 15' wide from curb to building edges and tree wells take the place of extended parkways.

The Loop Road will act as the transition from the Urban Neighborhoods to the more Suburban Neighborhoods. The edge along the inside of Loop Road will continue as planned for north of Pine Avenue. This will include an 8-foot parkway and 10-foot wide sidewalk (where Transit Lane occurs), along with a 6-foot wide landscape parcel.



Conceptual Main Street Frontage



Conceptual Loop Road Frontage



Conceptual Internal Drive Aisle Frontage

Buildings are encouraged to be located as close to the minimum setback as allowed and as the product permits. These streets are intended to have a pedestrian friendly experience with buildings creating a strong built environment to frame the street. The massing shall provide a predominantly 2-3 story residential street scene of different heights, creating articulation and points of visual interest. Single story elements are limited to pedestrian interface spaces and accessory elements.

Garage access is prohibited on Main Street and Preserve Loop Road.

B. Human-Scale Design

Buildings should incorporate design and construction methods that add human-scale to the building massing.

- Building forms shall be designed and well-proportioned resulting in a balanced composition of elements along public streets.
 - The overall design aesthetic (composition of massing, scale, material, color, and detail) is more important than the level of articulation.
 - Priority of design shall occur on the Main Street elevation.
 - Selected details cohesive with the Main Street elevation design shall be incorporated into all other building facades appropriately based on the prominence of the elevation.
 - All primary and secondary elevations shall have building facades articulated through the offset massing elements or volumes, complementary colors and materials, variations in building setbacks, or attractive window fenestrations.
- **Height Variation** When a building generally exceeds 240 feet in length, the elevation height shall visually step a minimum of 2 feet in height in at least one location.
 - **Wall Plane Variation** When a single wall plane generally exceeds 40 feet in length without a horizontal or vertical wall plane offset, provide an offset of at least 2 to 3 feet in depth to at least one story of that wall plane.
- Prominent vertical or horizontal building features may be used to accentuate key elements and provide variation in wall planes.
 - Pedestrian-scaled elements may also include subtle details incorporated into the building's base. See the [Building Elements Diagram](#).
 - Massing offsets shall not encroach into the required horizontal or clear space of a fire access lane and turning radii
 - Massing offsets may consist of one (1) or more of the following:
 - Building pop-outs and recesses (wall planes, massing features, or balconies)
 - Bay window or corner-wrapping window
 - Prominent entry
 - Accent roof
 - Volume space creating height variation
 - Single-story element, such as a shallow entry porch, balcony, courtyard, or conditioned first-floor space
 - Other similar features which enhance and provide massing articulation



- Entry vestibules or stoops (see Residential Frontage Types), and architectural design features that provide articulation shall qualify as offsets.
- Architectural elements that create shadow, relief, and sheltered pedestrian areas, such as balconies, trellises, recesses, overhangs, awnings, stoops, and porches are encouraged.
- The main building entry, if applicable, shall be clearly identifiable and distinguished from the rest of the building, preferably a focal point along the elevation in a manner that is consistent with the style of building.
- Minimize building ends and blank, singular planes oriented toward public views. Provide some architectural elements on visually prominent sides of building.
- Carefully consider the building massing, details, and color, in developing an appropriate architectural character for the project.
- Design buildings to define outdoor spaces, with floor plans that have a logical and functional relationship between indoor spaces and outdoor spaces.

Unified elevation created by utilizing single architectural vernacular with varying detail and window design for each building mass.

C. Base, Middle, and Top

All buildings should be composed of three parts: base, middle and top. The delineation between the base, middle, and top may be as obvious as a massing break, or as subtle as a small canopy over an entry.

- The base or ground floor treatments should generally be designed with individual dwelling entries, stoops and porches.
- A middle part should consist of varied fenestration, color, materials and/or breaks in wall plane.
- The top floor or cornice level should be modulated, and exhibit a strong cornice line or overhang, or be otherwise emphasized. Tops of building façades should be visually terminated through the use of articulated rooftops; stepped parapets, hip and/or vaulted roofs, stepped terraces, domes and/or other forms of multifaceted building tops.



Base-Middle-Top Example



Simple House: Incorporate window design, roof treatments, details, colors & materials to enhance simple massing.



Building Elements Diagram

Horizontal or vertical wall plane break required for wall planes greater than 80 feet in length.

D. Simple House

The Simple House concept suggests that starting with simple structural forms and building masses can lead to the goals of achieving convincing authentic style and maintaining acceptable costs. A well-designed plan will not require complicated and expensive structural systems. Simple massing and roof forms are often what lead to the most authentic expression of style.



Variation in parapet height, design, and materials with central common open space

E. Roofs

Roof forms contribute to the overall building design and have a large impact on the mass, scale, and design of the community as viewed from pedestrian spaces.

- Roof design shall incorporate variation in roof forms such as an aesthetic combination of changes in plane, form, ridgelines, and/or heights appropriate to the architectural style.
- Roof forms, material, and fascia elements shall be consistent with the overall design vocabulary of the building.
- If parapets are used, one (1) or more of the following detail treatments should be included:
 - Pre-cast or simulated pre-cast elements,
 - Contiguous banding or projecting cornice,

- Dentils,
- Caps,
- Corner details,
- Variety in pitch.

- Fascia design should be complementary to the architectural vernacular.
- Skylights, if used, shall be designed as an integral part of the roof. Skylight framing materials can be bronze, mill finish, or colored to match adjacent accent materials.

F. Roof Decks

Roof Decks are permitted. Elevator penthouse or non-habitable space (i.e. stairs or landings to access the roof) is allowed.



Outdoor living on a roof deck

G. Balconies

The inclusion of balconies is encouraged for both aesthetic and practical purposes. They are useful in breaking up large wall planes, offsetting floors, creating visual interest and adding human-scale to the building. They provide the practical advantage of creating outdoor living areas and elevated open space.

- Balconies may be covered or open. They may be either recessed into the mass of the building or serve as a projecting element.
- Design balconies as integral elements of the building with details, eaves, supports, and railings in keeping with the architectural style and other elements of the building's design.
- Avoid designing plans with balconies that occur side by side unless screened.

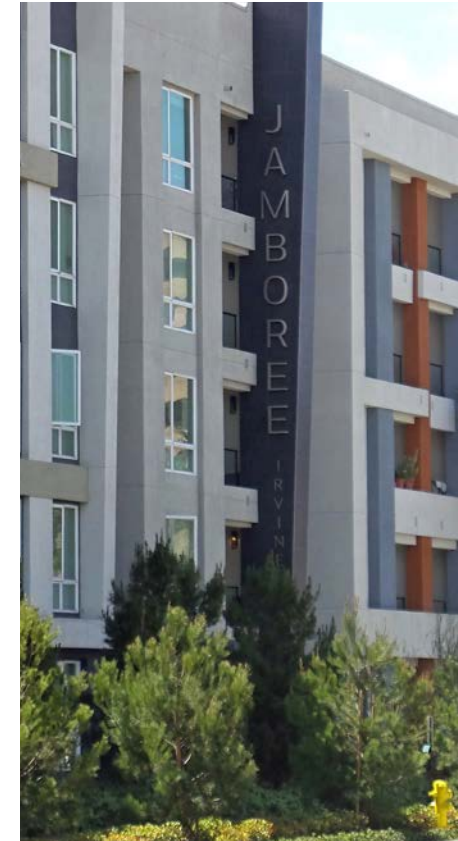


H. Community/Building Identification

A blade sign is a projecting sign mounted on a building facade or attached to a surface perpendicular to the normal flow of traffic. They may have letters or a logo advertising the name of the building or community.



Projecting blade building signage

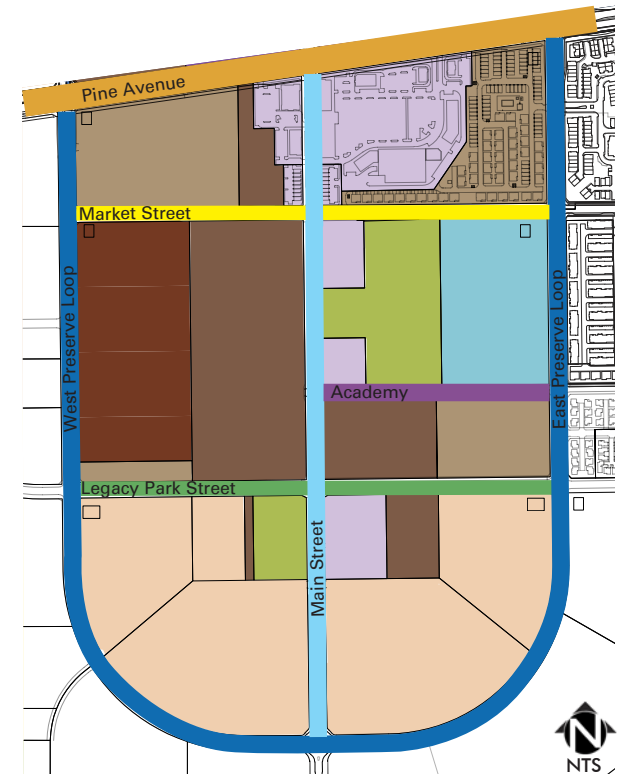


I. Residential Frontage Types

Dwellings with ground level entries should be oriented to public or private streets and paseos, and accessed individually and directly from the abutting street or pass-through with individual front stoops or porches. Dwellings may have individual entries with two (2) or more units combining walkways to the street sidewalk. Some larger building structures may have entries on a common hall or breezeway. These types of buildings will typically have a larger, more prominent common entry to the building.

- Dwellings with ground level entries should have individual entries and walkways connecting to the adjacent street unless opening onto a courtyard, greencourt, paseo or private open space.

- Parallel on-street parking should be provided along adjacent street edges in front of dwellings where possible.
- Building entries should be enhanced with stoops, porches, balconies, overhangs, door treatments or other architectural devices that define the façade and create visual interest.
- An entry on a multi-family building does not require a fully covered porch. An entry on these types of buildings only require a simple roof, eyebrow over the door, or a recessed entry to indicate its presence.
- Fences or walls defining the front yard, patio, or courtyard should not exceed 42 inches in height if encroaching into the front setback. Privacy walls must have at least a two-foot (2') landscaped setback from the back of sidewalk.



2-Foot Landscape Area Example

Frontage Legend

<p><i>Pine</i></p> <ul style="list-style-type: none"> • Primarily walled • Side/rear on conditions <p><i>Loop</i></p> <ul style="list-style-type: none"> • Primarily front-on, with limited side-on in MDR/HDR zoned areas. Limited side-on in ER/LDR with rear-on conditions being discouraged in all zones. • Side-on, cul-de-sacs, paseos, neighborhood streets allowed, no driveways <p><i>Market</i></p> <ul style="list-style-type: none"> • Front and side-on conditions, no unit driveways • Driveway entries into projects okay <p><i>Academy</i></p> <ul style="list-style-type: none"> • Front/Side-on conditions preferred • No unit driveways, neighborhood entries allowed, • Minimize rear-on conditions 	<p><i>Legacy Park</i></p> <ul style="list-style-type: none"> • Primarily walled, no unit driveways, drive & street entries in to neighborhoods allowed • Outside the loop; Side/Rear-on conditions • Inside the loop, Side/Front-on preferred, some rear on if necessary, no unit driveways, drive & street entries in to neighborhoods allowed <p><i>Main Street</i></p> <ul style="list-style-type: none"> • Primarily front-on, with limited side-on in MDR/HDR zoned areas. Limited side-on in ER/LDR with rear-on conditions being discourages in all zones. • Some walls okay south of Legacy Park Avenue
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FIGURE 4.1: BUILDING FRONTAGE



MHOA ▶ ◀ ROW



MHOA ▶ ◀ ROW



MHOA ▶ ◀ ROW

MHOA - Master Home Owners Association

TABLE 4.1: CURB-TO-BUILDING WITHIN LOOP, SOUTH OF PINE

Street	A Landscape Area within ROW	B Sidewalk width within ROW	C MHOA Landscape Lot	D Building Front Setback from Sidewalk/MHOA Lot	E Total Building Setback from Curb
Main Street - Pine Avenue to Chino-Corona Road					
Retail Segment Pine to Market	5' Tree Wells	15' with 8' Clear Path of Travel	N/A	N/A	15'
Civic Segment Market to Academy	5' Tree Wells	15' with 8' Clear Path of Travel	N/A	N/A	15' Note: 20' Wide Artwalk to be incorporated in to the Site Plan
Residential Segment Market to Legacy Park Street	5' Tree Wells	15' with 8' Clear Path of Travel	N/A	10'	25'
Residential Segment Legacy Park Street to Loop Road	5' Tree Wells	15' with 8' Clear Path of Travel	N/A	10'	25'
Residential Segment Loop Road to Chino-Corona Road	5' Tree Wells	15' with 8' Clear Path of Travel	A 6' landscape lot is only required if there is a rear-on condition with a wall	10'	25'
Market Street - within Loop Road					
Market Street North Side along Retail	7' Parkway	5' Sidewalk	6'	10'	28'
Market Street North Side along Residential	7' Parkway	5' Sidewalk	6'	10'	28'
Market Street South Side along Civic	7' Parkway	13' Sidewalk	6'	10'	36'
Market Street South Side along Residential	7' Parkway	13' Sidewalk	6'	10'	36'
Legacy Park Street - within Loop Road					
Legacy Park Street North Side	10' Parkway	5' Sidewalk	6'	10'	31'
Legacy Park Street South Side	10' Parkway	10' Sidewalk	6'	10'	36'
Loop Road - south of Legacy Park Street					
Loop Road - Inside the Loop	8' Parkway	5' Sidewalk	6'	10'	29'
Loop Road - Outside the Loop	10-11' Parkway	5-6' Sidewalk	8'	10'	34'

4.5.2 Private Drive Aisle & Drive Aisle Treatments

The use of private drive aisles has evolved from purely functional to a space that residents experience daily, and may include front doors and garage access. Design of these spaces shall address the functional and aesthetic features to create a pleasant experience for residents. Some methods to add interest to drive aisles include:

- Massing offsets (layered wall planes, recesses or cantilevers) of at least one-foot (1'),
- Window trim, colors, and selected details from the front elevation,
- Rear privacy walls and pedestrian gates,
- Planting or decorative areas between garage doors (may include pots and/or hardscape elements),
- Variety of garage doors using color or design elements,
- Trellises, or
- Balconies.



Projections, wall plane offsets and landscape in drive aisle treatments

4.5.3 Architectural Detailing

Architectural detailing of building facades is a key feature of quality design. Special attention is required in the treatment of entries (doors, vestibules, porches or courtyards) using enhanced trim or details to emphasize these as primary focal points. Articulated or unique window treatments can further enhance wall surfaces, provide shade and wind protection, and contribute to the character of the neighborhood.

- Secondary elevations of attached product that have no rear elevation (such as wrap or podium buildings) should be designed in a way that complements the architectural vernacular of its surroundings.
- All building elements, such as materials and color, detail elements (porches, balconies, courtyards, awnings, surface treatments, and materials), and functional elements (garage door lights, exterior stairs, guardrails, gutters, downspouts, screen walls, electrical enclosures, or similar features) should be integral to the buildings design, consistent with the architectural vernacular of the building, and complement the surrounding neighborhood.
- All accessory structures (including detached garages) should be compatible in design with the primary building(s), and be visually related to the development.

A. Entries

Front Entry doors and entryways should:

- Be oriented toward a street, pathway, auto court, drive aisle, or gathering space.
- Provide a focal point for each residential unit or the building as a whole.
- Be protected with overhangs, recesses, porches, awnings, trellises or other appropriate architectural element.
- Don't require large porches; they can be defined by simple eyebrow overhang elements.

Shared entries to more than one units should be oriented to the street and match the architectural style of the buildings.



Architectural detailing contributes to quality design



Front entries as focal points

Shared entries face the street and match the architectural style of the adjacent buildings

B. Windows

Typically the location of windows is determined by the practical considerations of room layout, furniture placement, views and privacy. Design emphasis here should be of particular concern as windows play an important role in the exterior architectural character of multi-family buildings.

- Within the appropriate style requirements, group and coordinate windows with other design elements to create a composition and sense of order.
- Window trim and mullion patterns vary widely by style. Some styles include trim surround while others have a more streamlined flush look. Some styles prefer smaller broken up windows, while others prefer one plane of glass.
- Use appropriate scale and proportion in window design to enhance the elevation style.

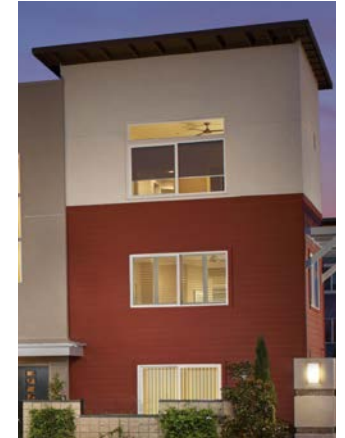
Privacy is an important consideration in residential site planning. Innovative site planning and design techniques should be used to preserve privacy while promoting social opportunities. In particular, windows of units should be located to minimize visual intrusion on neighbors' bedroom and bathroom windows. Thoughtful and innovative techniques, including landscaping, should be incorporated where appropriate to provide privacy to residents.



Examples of private spaces



Color and material variations



Style-appropriate windows;
heavier base material



Color blocking and window placement provide interest

C. Colors and Materials

The plotting of elevations, color, and material palettes should be selected with the design objectives of avoiding monotony, providing depth and interest with a variety of colorful design schemes, creating character and long-term value and promoting visual diversity along public streets.

The palette of colors and materials used for the buildings should be warm and rich in tones. Materials should be appropriately used in relation to the building style, scale, location, and function. The textures of the building materials should be used to enhance the building elevations by adding detail and richness. Building façades should be designed to incorporate the use of contrasting/complementary colors and materials. The predominant building colors should be chosen to create aesthetically pleasing building elevations with other tones/colors used to accentuate door or window openings, cornices and other architectural elements/features. However, larger buildings may have a singular character using color blocking and window placement as a design feature.

- At least three (3) distinct colors or materials should be used on a building to create variety and detail.
- Colors schemes should be harmonious; the colors of the different façade elements should be coordinated.
- Selected finish materials should be appropriate in their use and application, be durable, and of high quality.
- Heavier building materials, such as brick, stone, tile, and pre-cast concrete, shall begin at ground level to form the building base and convey a sense of durable, and balanced construction.
- Contemporary Styles provide opportunity to use materials in innovative and new ways, this is acceptable as long as it complements the community aesthetic.
- Material changes should occur at intersecting planes preferably at inside corners of walls or other meaningful locations where architecture elements intersect.
- Extend veneers down to within 4' of Finished Grade; potential conflicts with product warranty

D. Functional Elements

- All roof-mounted equipment must be screened from adjacent ground level view through the use of parapets or other effective architectural elements.
- Ground mounted equipment and meters must be considered when designing the building so as to not appear as an afterthought. This equipment shall not detract from the architecture.
- Electrical rooms shall be designed to minimize visual impact to the building, not appearing as an afterthought to the architecture.
- Where possible, group equipment.
- Electrical meters should be ganged and screened from public view, paired homes may be exempt from this requirement.
- Natural gas meters should be grouped.
- Mechanical devices such as exhaust fans, vents, pipes, gutters, and downspouts should be painted to match adjacent surface, or colored to match accent colors.

- Fire Department connections (FDC), sprinkler post indicator valves (PIV), fire hydrants, and standpipes will be installed and screened as allowed by NFPA 13, 24, and the Chino Valley Independent Fire District.
- Address Numbers need to be visible from the street and have a high level of contrast between numbers and background. They also need to be lit at night. Refer to CVIFD Standards for Detached and Attached Communities.

E. Trash Enclosures

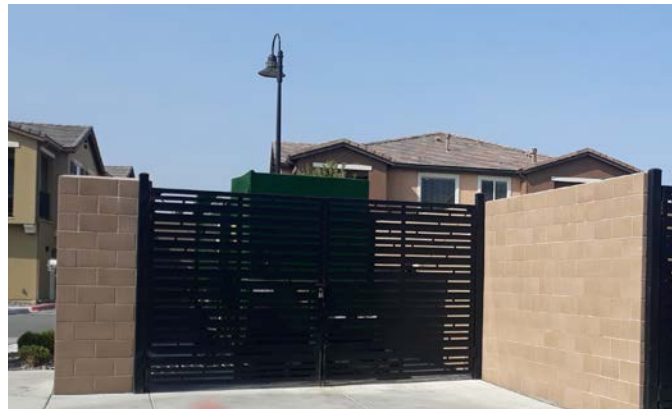
Enclosures shall be provided to accommodate the numbers and types of trash containers as required by the disposal company. These enclosures shall be positioned in a centrally convenient area for residents. Try to minimize impact on adjacent residences and neighborhood developments by keeping enclosures from the edges of the community.



Utility cabinets integrated into architecture



- Refuse and recyclable materials storage areas shall be enclosed consistent with the City's Zoning Code.
 - Storage areas that can be overlooked from above should incorporate roof structures to screen the contents of the enclosure from view. Such roof structures should be designed to allow the doors of the refuse container to fully open.
- All trash enclosures should have an open lattice or solid roof to screen the trash bins from view. The paved area below the trash bins cannot drain into the sewer line. They may be sloped to drain into storm drains. Final design to meet WQMP requirements
- All refuse/recyclable materials areas, mechanical devices, and utility area screening shall be finished using materials, vocabulary, and details compatible with the surrounding architecture.
- All trash enclosures shall be equipped with complementary gates of durable construction, hinged to self-supporting steel posts and a trellis or other covered structure overhead.
- Lighted person access is required at each enclosure.
- If Community Trash Compactors are located within a Trash Enclosure, than they may project beyond the trellis or other covered overhead structure.



Community Trash Compactor Example



Refuse enclosures should reflect the project design

4.6 URBAN HOUSING TYPES

A primary design objective is to provide a variety of home sizes and housing types to suit the needs of different life stages and market segments. These plotting concepts are provided only to illustrate a typical layout of a housing type. They are not intended to be mandatory layouts.

There are a number of attached housing types that can provide home-ownership opportunities in medium and high density settings. Described below are a few examples. Other layouts to be developed over time may also be considered.

The following additional criteria regarding plotting, massing, plans, styles and garages, is required specifically for the following attached, multi-family individual building plan types:

- Paired Homes
- Triplex, Bungalows and Autocourt Homes
- Row Townhomes
- Conventional-loaded Townhomes
- Motorcourt and Stacked Flats
- Rental Communities

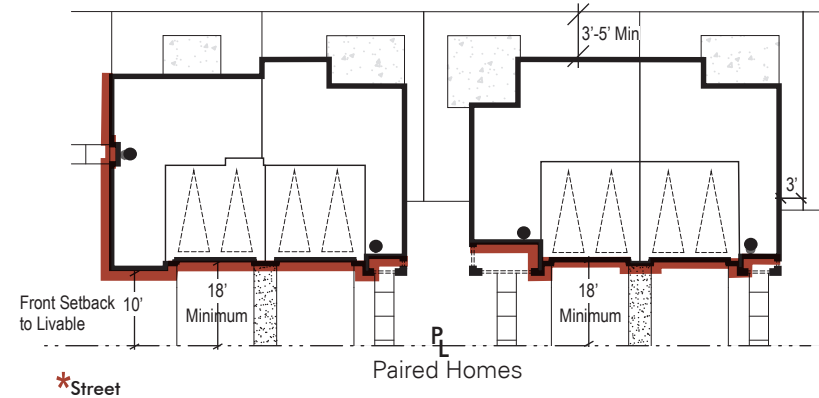


4.6.1 General Urban Neighborhood Site Planning Requirements

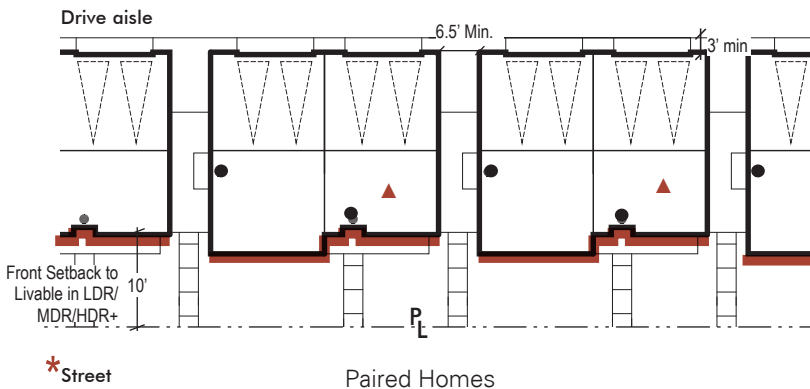
- For setbacks from Buildings to Private Drive-aisles refer to Chino ZC 20.04.040
- Sidewalks may be 4' wide if serving 1-2 units, but need to be 5' if serving three or more units.
- Setbacks from buildings to sidewalks may vary, a minimum of 2'-3' is desired in order to allow room for landscape.
- Parkways between sidewalks and drive-aisles are encouraged where ever room allows.
- Creative landscape pocket-type solutions are also encouraged to minimize long runs of curb-adjacent sidewalks.
- Private Open Spaces are required to meet the Chino ZC 20.17.050 requirements and those listed in The Preserve SP Table 3.
- Rear yard fencing also needs to allow for the Private Open Space minimum dimension requirements to be met.

4.6.2 Paired Homes

Paired homes can be designed to be drive aisle-loaded or the conventional street-loaded with private rear yards. Although their massing can appear to be similar to single family units, when plotted in a more urban setting their styles and color palette should work closely together. The neighborhood should be treated as an attached product with unit counts up to 200 Units. If the neighborhood is proposed to be a rental community, the unit counts can be even higher. For variety and interest, there should be a minimum of three (3) architectural styles represented with two (2) color schemes per building in for-sale communities. Rental communities may have two (2) architectural styles only for community cohesion.



Legend	* Entries typically located on Public Streets or Private Drive-aisles	▲ Private Open Space Located at 2nd Level	Notes: Private Open Space area needs to meet minimum dimensions. Sidewalks may be adjacent to curbs or separated, if room allows.
● Front Entry			
— Front Elevation			



4.6.3 Triplex, Bungalow and Shared Autocourt Homes

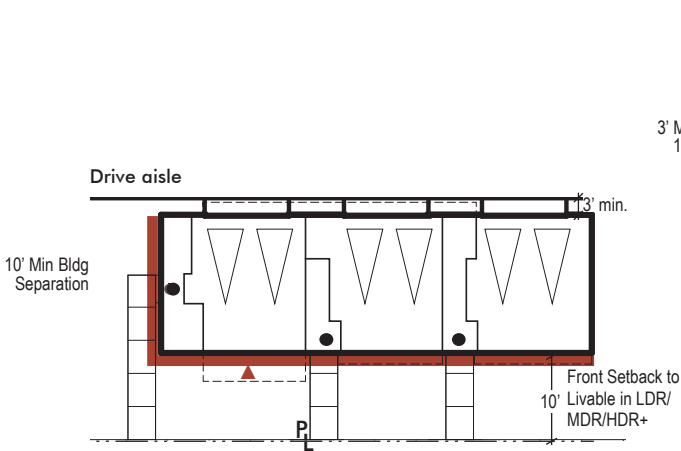
These medium sized attached product design solutions of three (3) to five (5) units can be arranged in a variety of ways. The Triplex can create the impression of a mansion home; especially if the front doors can be off-set. These homes are viewed as one building rather than individual units. Other solutions include a mix of detached and carriage units, small motorcourts and three-story row towns

Each module should receive a single architectural style, although the neighborhood should include up to three (3) styles with three (3) color schemes per style. Each module may receive one (1) color scheme, or each unit within a module can receive it's own color scheme, depending on the desired look for the neighborhood.

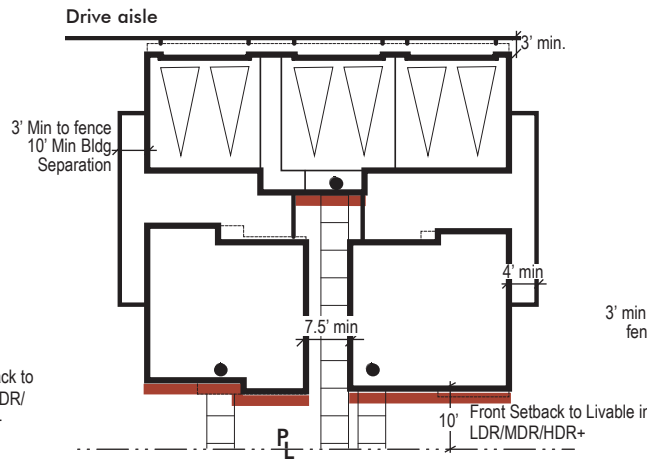


Bungalow

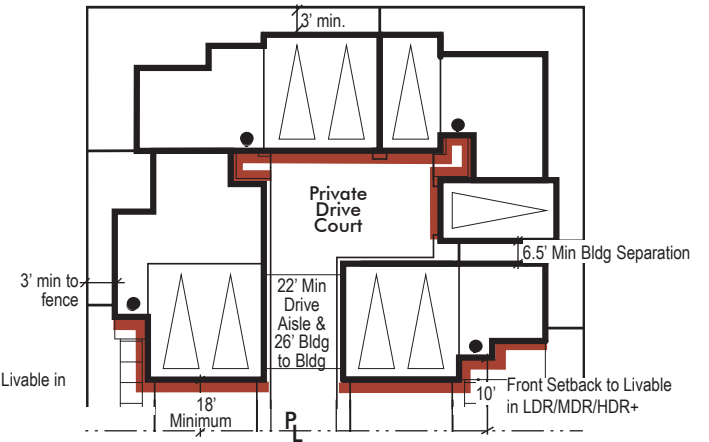
Legend		* Entries typically located on Public Streets or Private Drive-aisles	▲ Private Open Space Located at 2nd Level	Notes: Private Open Space area needs to meet minimum dimensions. Sidewalks may be adjacent to curbs or separated, if room allows.
● Front Entry	— Front Elevation			



Street Front-loaded Triplex



Street Cluster of Attached and Detached Homes with Carriage Units.



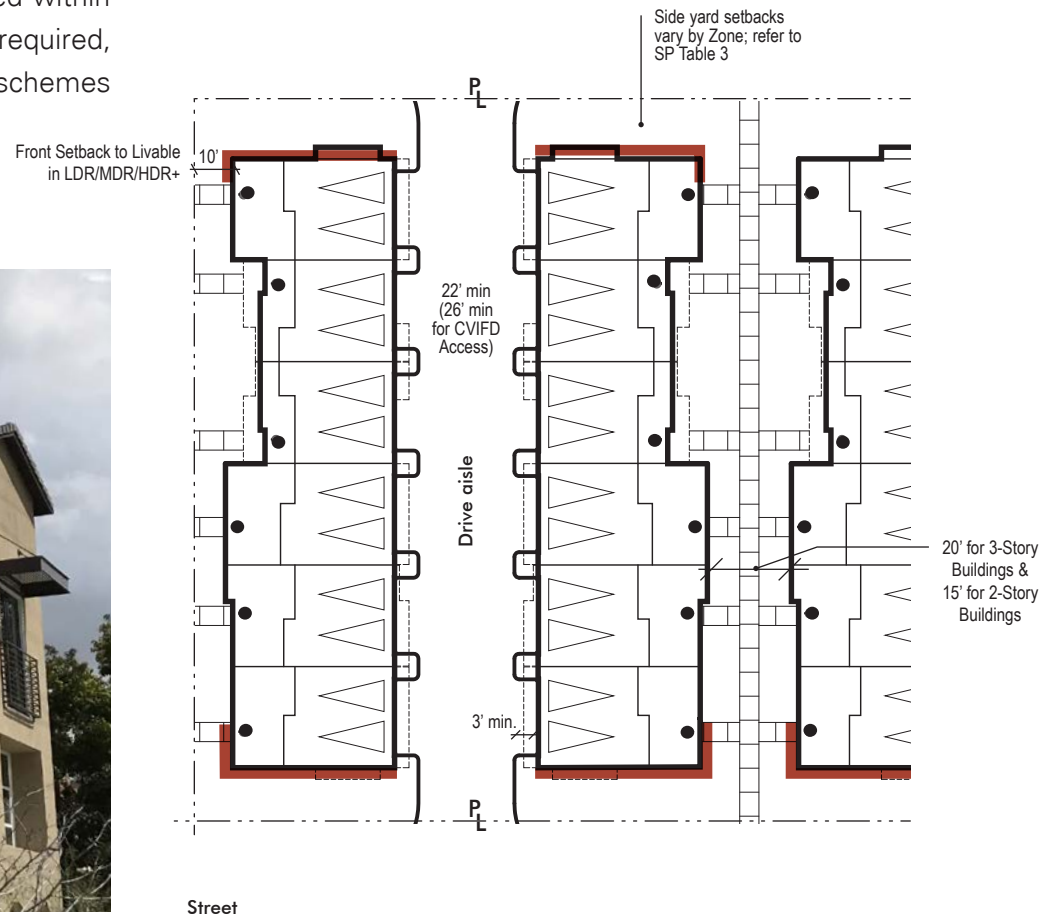
Street Shared Autocourt Concept



4.6.4 Row Townhomes (Front Entries Opposite from Garage Elevation)

Row townhomes have front doors oriented to streets or paseos, while garage access is taken from the rear alleys. They typically include anywhere from three (3) to eight (8) or more units.

Each neighborhood should include a minimum of two (2) building sizes. There should be a minimum of three (3) floor plans represented within each neighborhood. A minimum of two (2) architectural style is required, although three (3) are preferred. There should be three (3) color schemes proposed per architectural style.



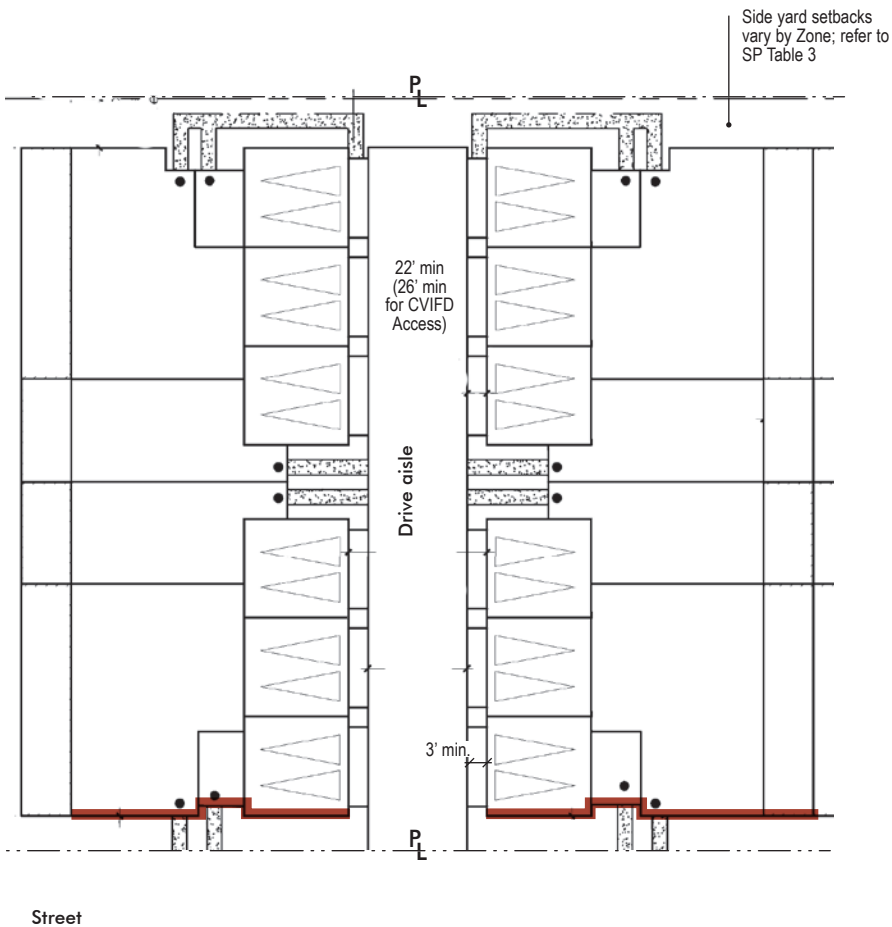


Examples of 2-3 Story Row Townhomes

4.6.5 Conventional-Loaded Townhomes (Front Entries and Garage on Same Elevation)

Conventional-loaded townhomes have the front door on the same side as the garage. This sometimes allows the opportunity to provide private rear yard spaces.

Each neighborhood should include a minimum of two (2) building sizes, although three (3) is preferred. There should be a minimum of three (3) floor plans represented within each neighborhood. A minimum of two (2) architectural style is required, although three (3) are preferred. There should be three (3) color schemes proposed per architectural style.



Legend		
●	Front Entry*	* Entries typically located on Public Streets or Private Drive-aisles
■	Front Elevation	
		Sidewalks may be adjacent to curbs or separated, if room allows



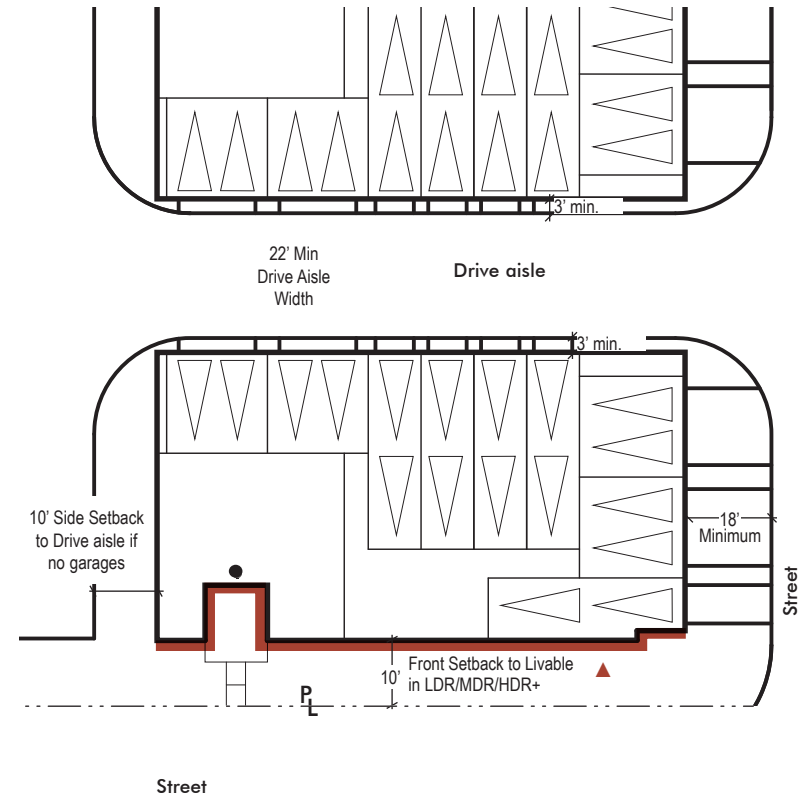
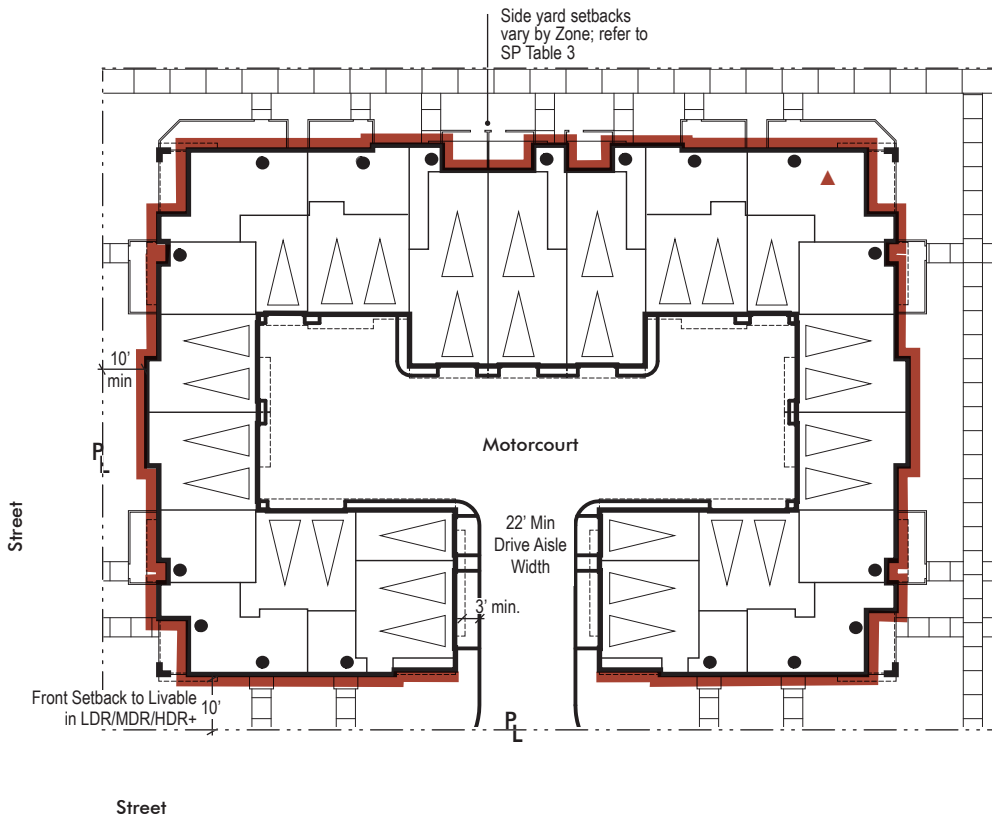
Examples of conventionally-loaded Row Townhomes

4.6.6 Motorcourt and Stacked Flats

Motorcourts include multiple units in a building. Sometimes they include both townhome and flat configurations. Generally the front doors are on the opposite side from the garage. Stacked Flats sometimes provide ground-level units. Upper level units can be served by individual or shared stairways. Sometimes elevators are also provided.

For these types of neighborhoods one (1) building size is sufficient. There should be a minimum of three (3) floor plans represented within each neighborhood. A minimum of one (1) architectural style is required, although there should be two (2) alternative elevations of this overriding style. Another alternative is to propose two (2) styles that work well together. There should be three (3) color schemes proposed per architectural style.

Legend		Notes:
● Front Entry	* Entries typically located on Public Streets or Private Drive-aisles	▲ Private Open Space Located at 2nd Level
— Front Elevation		Private Open Space area needs to meet minimum dimensions. Sidewalks may be adjacent to curbs or separated, if room allows.





Examples of Motorcourt and Stacked Flat Buildings

4.6.7 Two & Three-Story Detached Clusters

Clusters are typically viewed as a collection or grouping rather than individual homes. As a collection, massing variation and wall offsets are between the homes rather than within an individual building. Design focus should address the composition of street-front homes and the overall visual massing of the grouping.

In each courtyard/paseo cluster, homes may vary in height and grouped in a variety of ways around a paseo or courtyard. Groupings of four (4) to ten (10) homes are common. Pedestrian access is typically from the street or courtyard/paseo with vehicular access on a different elevation from an drive aisle.



Offset wall planes articulate the three-story building form. Hip roof form has intersecting gable and accent roof forms. Private open space is accommodated in first-floor courtyard and second-floor balcony.



Legend

- Front Entry*
- Front Elevation
- * Entries typically located on Public Streets, Paseos or Private Drive-aisles
- Sidewalks may be adjacent to curbs or separated, if room allows

3-Story Cluster

*Sidewalk, Parkway, setback requirements vary if condition is for a Private Drive Aisle or a Public Street

2 & 3-Story Cluster



Examples of Cluster Homes

4.6.8 Three-Story Detached Townhomes

Entries on Paseos or Streets

Detached townhomes may appear as a single townhome building with front doors facing the street, however the homes are structurally separated with no common walls or foundations. These homes have few massing breaks within each grouping.

Pedestrian access could be from a street or paseo with vehicular access from either a street or drive aisle.

Legend		Notes: Private Open Space area needs to meet minimum dimensions. Sidewalks may be adjacent to curbs or separated, if room allows.
● Front Entry	* Entries typically located on Public Streets, Private Drive-aisles, or Paseos	
— Front Elevation		



- Front Entry
- Front Elevation

Sidewalks may be adjacent to curbs or separated, if room allows



Examples Of A Detached Townhomes

4.6.9 Urban Rental Communities

Rental communities are subject to the Design Guidelines according to individual building types. Attached rental communities range in size from 100 to 800 units. The number of architectural styles and color schemes per building plan for rental communities may differ from the requirements for attached-for-sale communities.

Within rental communities it is desirable to have a cohesive look and feel. While some variation in architecture encouraged, one (1) main thematic architectural style and/or color scheme may be used for the entire development. Provide a variety of building types are utilized in the community. Ensure the style used is executed properly through form, color, massing, and architectural details to give the community cohesion and variation.

A. Plotting and Massing

- Project a front door image on units that open onto courtyard space or street front. If front doors to units are located at a drive aisle, then special attention should be paid to make these entries safe, pedestrian friendly, and attractive. In a Wrap Building Type or also on some Stacked Flat Building Types, unit entries might be located off of a shared hallway.
- Place/access garages at drive aisles or auto courts.
- Provide porches or covered entry spaces for stepped massing and transition to courtyards or public spaces.
- Vary setbacks on building elements/facades.
- Vary roof pitches, types, and directions.



B. Plans and Styles

- Provide at least one (1) building plan for 0 - 125 units; two (2) plans for 126 - 400 units.
- Provide at least two (2) elevations or color schemes per building plan.
- If a single unified theme is proposed for a “village-like” atmosphere, than a single architectural style may be proposed. Otherwise the community should have a different architectural style per 200 units.

C. Garages

- Where attached or detached garages are included at apartments, the intent is to tie these facilities into the overall project design while reducing their visual emphasis. To achieve this, these structures shall incorporate the following:
 - Utilize the same architectural style, massing elements, design details and colors as the residential dwelling units.

- Use similar or compatible roof forms.
- End wall conditions that are visually prominent from the street should receive special architectural attention.
- Provide sectional garage doors with automatic door openers. Garage door windows are permissible.
- In high traffic rental communities, driveway widths may be wider than garage doors widths to minimize impacts on landscape areas.
- Tandem garages may be used to accommodate covered parking requirements.

D. Carports

- These structures shall be compatible with the style, color and materials of the primary buildings (this may include metal supports).
- The number of continuous carport parking spaces shall not exceed 10.



THE PRESERVE

DESIGN GUIDELINES

E. Community Recreation & Common Facilities

Each attached home neighborhood shall include common recreation facilities such as pools, spas, club houses, management offices, barbecues and other facilities appropriate to the demographic profiles identified for the community by the master developer.

- Common recreation facilities shall be key character elements for the neighborhood.
- All architectural and community elements, such as street furnishings, benches, lighting standards and trash receptacles, shall be consistent with the selected overall architectural character for the neighborhood.
- Colors, massing, roof pitch and materials shall be compatible with residential buildings or project theme.
- Multifamily amenity requirements are per Chino Zoning Code.



4.7 URBAN NEIGHBORHOOD STYLES

One key to the success of this community is the appropriate architectural vocabulary and theme. Developers shall select one or more of these styles from those illustrated in this section of this document, for each attached or multi-family neighborhood.

The architectural guidelines provide design direction that will help create the development of high quality living environments. The residential architecture should demonstrate individuality, a high quality of design and construction and value added appeal.

The massing, character and detailing of an architectural style should be expressive of and inspired by that style. However, the style guidelines should be applied with flexibility to allow contemporary adaptations of traditional vernaculars. If mixing the Millennium Style Series with any of the other Style Series within the same MSA special attention must be paid to plotting adjacencies, and style compatibility.

Architectural styles within the community may include:

Modern Style Series

- Art Deco
- Contemporary
- Industrial

American Heritage Style Series

- Craftsman
- Main Street
- Santa Barbara

Millennium Style Series

- Adaptive Farmhouse
- Adaptive Italian
- Adaptive Prairie
- Adaptive Spanish

Additional Styles and Style Elements Additional styles and style elements may be proposed, such as the Suburban Neighborhood Styles. However, they must follow the same principals and attention to detail as the specific styles and style elements shown on the following pages. These additional styles and style elements may be added with the review and approval of the Lewis Review Committee and the Director of Development Services at the City of Chino.

THE PRESERVE

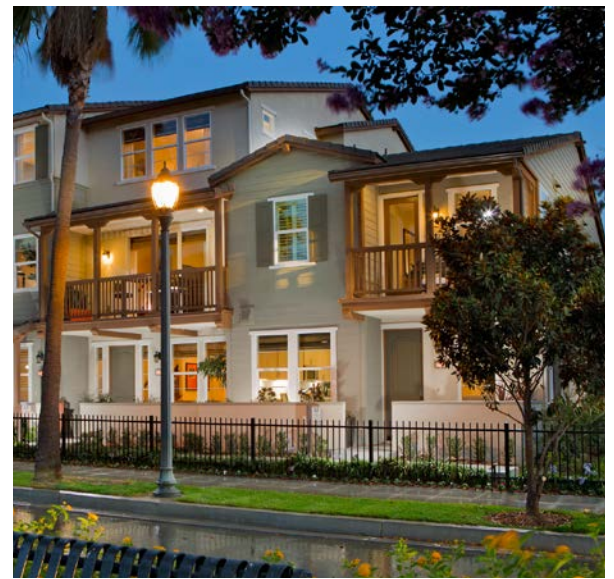
DESIGN GUIDELINES



Adaptive Prairie elevation



Contemporary elevation



Craftsman elevation



Art Deco elevation



Spanish adaptation



Adaptive Italian

A. Modern Style Series

The Modern Style Series accommodate the more urban setting. These styles are well-suited for high-density residential buildings in urban neighborhoods that blend business, industry, and housing.

These styles include simple, unadorned geometric forms detailed with materials, projections, and windows. The styles emphasize interlocking volumes with a collage of materials and colors. Architectural elements such as awnings, balconies and trellises can be appended to the volumes, allowing indoor/outdoor spaces to be created. Vertical and horizontal elements can provide interest to the residential structures. The roofs may be flat with parapets, sloped, or a combination of both.

Urban Elements

- Plan form is more cubic, expressed in bold, simplified forms.
- Roofs are typically shielded by parapets and may have accent roof features such as curves, gables, hips or sheds.
- Wall materials typically consist of stucco, metal, brick, stone and/or siding.
- Projections to articulate facades are typical and may include building wall planes, awnings, overhangs, canopies, window trim or accent roof forms.
- Windows are typically a primary feature of the elevation; design sometimes includes groupings, unique size or shape or oversized and symmetrical mullions.
- Handrails and guardrails enhance the elevations.
- Color blocking is typical.





B. Millennium Style Series

Traditional architecture is based on recognizable, authentic and historically derived forms, materials and details that reasonably express a particular style. Adapted or historically derived elevations focus on character-defining elements but allow for the integration of modern materials, colors and artistic interpretation to generate a more contemporary, yet recognizable, expression of a traditional architectural style.

Adapted elevations can incorporate new, modern or progressive forms, details and materials in the modern context of architecture. Architectural liberties are taken in interpretation and design to create an identifiable style that is not strictly historical.

Millennium Style Elements

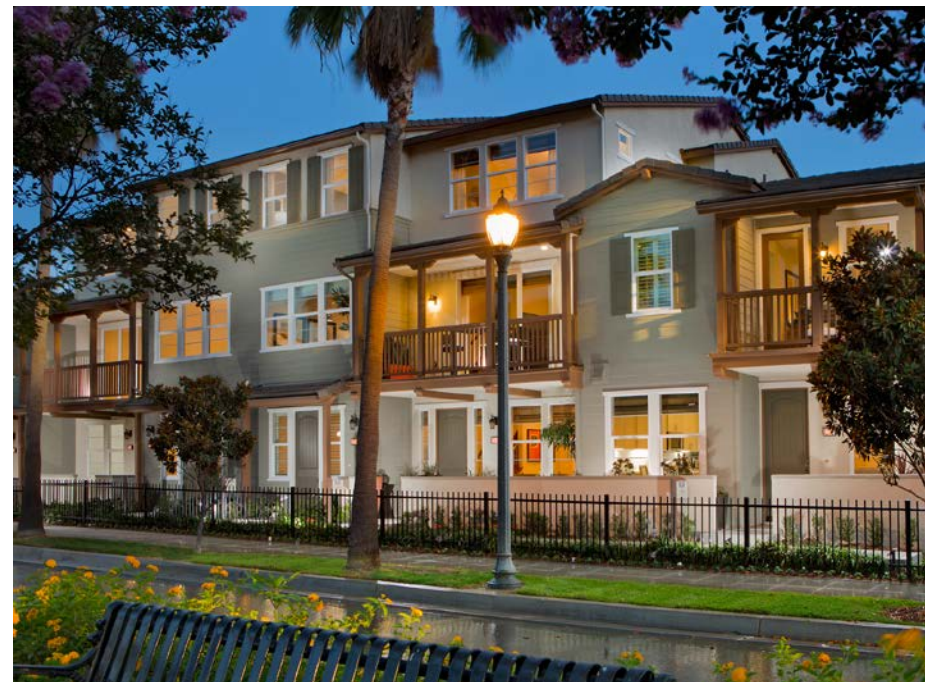
- Plan form is generally bold and simplified.
- Elevation is generally identifiable as derived from the traditional form, detail, or signature feature reflective of the style from which it is derived (i.e. balcony, brackets under eaves, entry surrounds, bay windows, porches, corbels, columns, and railing).
- Roof pitches may be exaggerated (shallower or steeper).
- Roof overhangs may be exaggerated or minimized.
- Wall materials typically consist of stucco, metal, brick, and/or siding; it is recommended that designs be comprised of two (2) different wall materials.
- Wall materials may be modern.
- Windows match the theme of the elevation in detail, size, orientation or trim.
- Details are simpler and highlighted or exaggerated to define style.

C. American Heritage Style Series

This series represents traditional American styles found in throughout the country. The architectural form and design elements of these styles are inspired by architecture of the late 19th and early 20th Centuries. Craftsman, Main Street and Santa Barbara styles compose this Heritage grouping. Craftsman is derived from the Arts and Crafts Movement, Santa Barbara is inspired by the evolved Spanish Colonial style, and the Main Street style captures the American Main Street frontages, urban environments, and relationship to the street level public realm.

American Heritage Elements

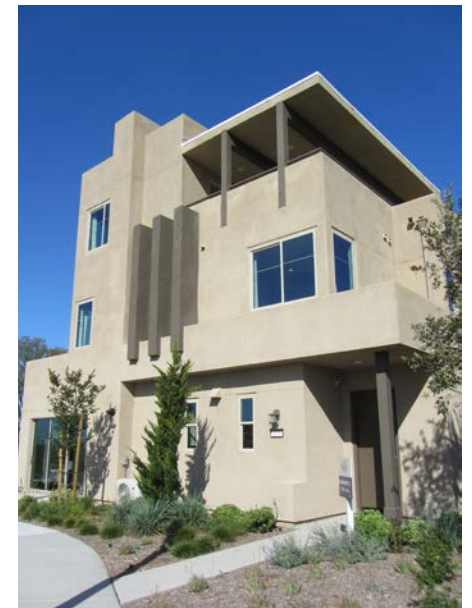
- Plan form is simplified but characteristic of the base style.
- Elevation is generally identifiable as derived from the traditional form, detail, or signature feature reflective of the style from which it is derived.
- Roof pitch shall be true to base style with complementary material.
- Wall materials typically consist of stucco, with accents of stone, brick or siding.
- Wall materials may be modern.
- Windows match the theme of the elevation in detail, size, orientation or trim.
- Projections to articulate facades are typical and may include building wall planes, awnings, overhangs, canopies, window trim or accent roof forms.
- Color blocking may be appropriate to the style.



MODERN STYLE SERIES**4.7.1 Art Deco**

The Art Deco style (including Streamline or Art Moderne subsets) was prevalent in America from the mid-1920s to mid-1940s. This style combined elements of Modern Architecture with an integration of decorative arts. There was less emphasis on asymmetrical compositions and on structural purity in favor of pattern of mass and rhythm of openings. Art Deco buildings can feature bold colors, bold geometric and rectilinear shapes, often emphasizing the vertical.

Later in this period came Streamline or Art Moderne influenced by aerodynamic principles of cars, trains, ships and even household appliances. This style has an emphasis on smooth, horizontal lines often accented by curved corner elements whether in solid walls (decorated with tiles or screed lines), windows, or glass block. Thin horizontal canopies, rounded forms, and even porthole windows are typical character-defining elements. The simple massing typology of this style is well-suited for multi-family attached and high-density homes.



ART DECO STYLE ELEMENTS

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Roof	<ul style="list-style-type: none"> · Flat roofs work well for this style · Pitched roofs allowed for added interest · Built-up roofing at flat areas · Flat or shake tile pattern for sloped areas 	<ul style="list-style-type: none"> · Decorative band or trim along parapet
Walls	<ul style="list-style-type: none"> · Stucco predominates 	<ul style="list-style-type: none"> · Foam forms for added vertical lines. · Use of control joints to add interest to large expanses
Windows	<ul style="list-style-type: none"> · Large single-paned feature windows · Vertical secondary windows · Horizontal mullions at windows exposed to view from outside · Windows can be recessed for shadow trim or no trim 	<ul style="list-style-type: none"> · Transom window accents
Doors	<ul style="list-style-type: none"> · Simple entry doors · Simple pattern garage doors 	<ul style="list-style-type: none"> · Entry doors with windows · Garage doors with windows
Details	<ul style="list-style-type: none"> · Accent colors and materials highlighting vertical elements · Square, rectangular, or curved forms highlighting vertical lines 	<ul style="list-style-type: none"> · Decorative horizontal or vertical geometric patterns · Stylized motifs as an accent just below the top of parapet · Belt line running along the wall at a height even with top of second story window header · Narrow section rectangular columns · Round slender posts at entries, decks, or shade devices
Colors	<ul style="list-style-type: none"> · Field Colors: Neutral to bold colors including whites and tints · Color blocking recommended · Trim Colors: Accent colors and/or materials highlighting vertical forms · Accent Colors: Bold, contemporary accents strategically applied 	

THE PRESERVE

DESIGN GUIDELINES



Decorative Details And Strategically Applied Color



Flat Roofs

Vertical lines

Vertical windows

Stucco predominates

Stylized motifs

Entry doors with windows



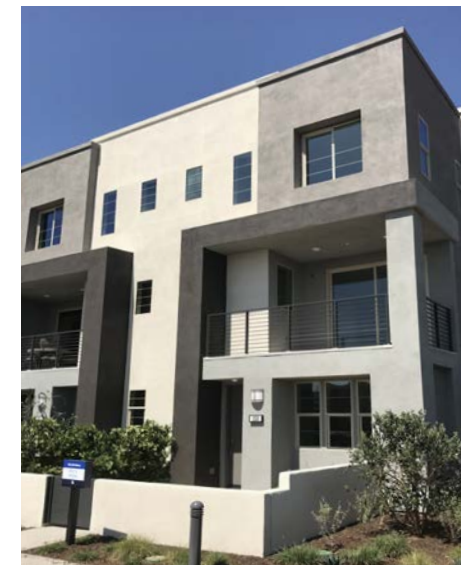
ART DECO

MODERN STYLE SERIES

4.7.2 Contemporary

The Contemporary style represents the current thinking in design. The style is composed of simple, rectangular geometric forms with generous window areas, accented by bold use of materials and colors and detailed by interesting balcony railings and canopies. Flat roofs are typical but shallow-pitched roofs may also be utilized. Windows and balconies can emphasize a corner orientation to break open the mass of the building. A combination of bold background colors can distinguish architectural features as will modern exterior materials such as fiber cement siding, panels or metal siding. Windows help articulate the form to create larger organizations, whether in horizontal or vertical compositions.

Since the Contemporary Style is an evolving style, and as such two (2) Contemporary Styles may be used together in a single community and be treated as two (2) separate styles, if the details differ sufficiently.



CONTEMPORARY STYLE ELEMENTS

ELEMENTS	MINIMUM REQUIREMENTS	ENHANCEMENTS
Roof	<ul style="list-style-type: none"> · Flat or pitched roofs · Unadorned parapet walls or eaves · Flat or shake roof tile pattern for pitched roofs 	<ul style="list-style-type: none"> · Simple roofline accents (trim, extended cap or eave) · Accent roof element (shed, hip, or gable)
Walls	<ul style="list-style-type: none"> · Predominantly stucco 	<ul style="list-style-type: none"> · Accents of metal, brick, tile or siding · Use of control joints to add interest to large expanses
Windows	<ul style="list-style-type: none"> · Vertically proportioned, stacked or purposely unbalanced placement · Large windows · Windows may be recessed or flush with either exaggerated trim or unadorned 	<ul style="list-style-type: none"> · Transom window accents
Doors	<ul style="list-style-type: none"> · Simple entry door · Simple sectional garage door 	<ul style="list-style-type: none"> · Entry door with windows · Garage door with windows
Details	<ul style="list-style-type: none"> · Streamlined railing design 	<ul style="list-style-type: none"> · Overhanging solid shade forms or attached awnings · Expansive balcony or patio
Colors	<ul style="list-style-type: none"> · Field Colors: Light values; including cool-toned neutrals · Trim Colors: Light to medium values; may contrast or complement field color · Accent Colors: Medium to dark values; vibrant and bold contrast to field color 	



Vibrant and Bold Colors

Accents of Metal Brick, tile or Siding



Flat Roofs

Accent roof element (shed, hip, or gable)

Stucco predominates

Accents of Metal Brick, tile or Siding

Expansive balcony or patio

Vibrant and Bold Colors

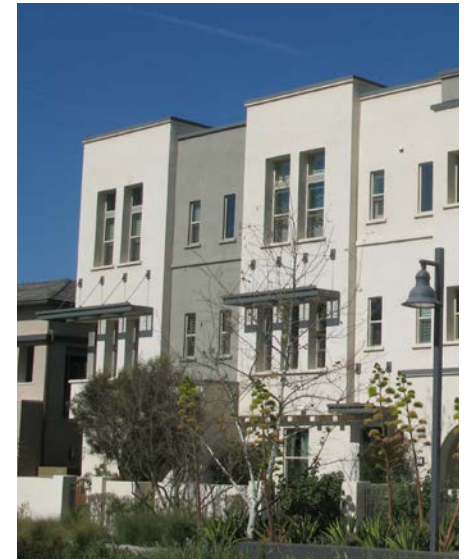
Large Windows



CONTEMPORARY

MODERN STYLE SERIES**4.7.3 Industrial**

The Industrial style has evolved from the rehabilitation and re-purposing of older industrial properties into dynamic mixed use buildings and residential loft spaces. The style includes simple and unadorned forms detailed with materials, projections and windows for indoor/outdoor living. The style emphasizes interlocking volumes with a collage of colors and materials. Architectural elements such as awnings, balconies and trellises can be appended to the volumes, allowing indoor/outdoor spaces to be created. Vertical and horizontal elements provide interest to the residential structures. The roofs may be flat with parapets, sloped or a combination of both. Windows should be placed in areas to overlook common areas and increase surveillance for these areas.



INDUSTRIAL STYLE ELEMENTS

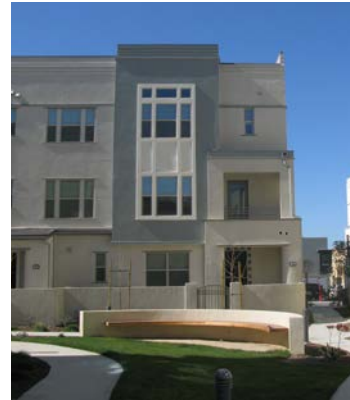
ELEMENTS	MINIMUM REQUIREMENTS	ENHANCEMENTS
Roof	<ul style="list-style-type: none"> · Flat roofs work well for this style · Pitched roofs allowed for added interest · Simple unadorned parapet walls · Built-up roofing at flat areas · Flat or shake tile pattern for sloped areas 	<ul style="list-style-type: none"> · Decorative band or trim along parapet · Accent roof element (shed, hip, or gable) · Cantilevered projections
Walls	<ul style="list-style-type: none"> · Stucco predominates · Fiber-cement siding accents · Asymmetrical facade 	<ul style="list-style-type: none"> · Accents of metal, brick, or siding · Use of control joints to add interest to large expanses
Windows	<ul style="list-style-type: none"> · Vertically proportioned · Purposely placed · Repetitive mullions · Minimal or exaggerated window trim 	<ul style="list-style-type: none"> · Simple industrial dark window trim · Large window modules · Long ribbon of windows · Non-traditional window shapes and placements
Doors	<ul style="list-style-type: none"> · Simple entry doors · Simple pattern garage doors 	<ul style="list-style-type: none"> · Entry doors with windows · Garage doors with windows
Details	<ul style="list-style-type: none"> · Projected wall planes to articulate the façade · Simple unadorned forms · Asymmetrical façade 	<ul style="list-style-type: none"> · Utilitarian style shade devices · Sleek railing lines · Metal awnings or overhangs · Metal, cable, or glass panel railings
Colors	<ul style="list-style-type: none"> · Field Colors: Neutral to bold colors including whites and tints · Color blocking recommended · Trim Colors: Contrasting neutral tones · Accent Colors: Bold, contemporary accents strategically applied 	

THE PRESERVE

DESIGN GUIDELINES



Accents of Metal Brick, tile or Siding



Vertically proportioned windows



Flat Roofs

Decorative band or trim along parapet

Asymmetrical facade

Vertically proportioned windows

Metal awnings or overhangs

Stucco predominates



INDUSTRIAL

AMERICAN HERITAGE STYLE SERIES

4.7.4 Craftsman

Influenced by the English Arts and Crafts movement of the late 19th century and stylized by California architects such as Bernard Maybeck in Berkeley and the Greene brothers in Pasadena, the Craftsman style stresses the importance of insuring that all exterior and interior elements receive both tasteful and artful attention. Originating in California, Craftsman architecture relies on the simple house tradition, combining hip and gable roof forms with livable porches and broad overhanging eaves.

The wood-working craft defines this style by carefully treating details such as windows and porches. Exposed rafter tails and knee braces below overhanging eaves and rustic-textured building materials are character defining features. Substantial, tapered porch columns with stone piers lend a Greene character while simpler double posts on square brick piers and larger knee braces make a Craftsman distinctly more Maybeck. The overall effect is the creation of a natural, warm and livable home of artful and expressive character.



CRAFTSMAN STYLE ELEMENTS

ELEMENTS	MINIMUM REQUIREMENTS	ENHANCEMENTS
Roof	<ul style="list-style-type: none"> Side-to-side gables with cross gables or a combination of hip, & gable forms with flat roofs and parapet walls Built-up roofing at flat areas Flat or shake tile pattern for sloped areas 	<ul style="list-style-type: none"> Extended eaves as an accent feature Use of outlookers or braces at extended eaves
Walls	<ul style="list-style-type: none"> Stucco predominates Horizontal siding elements Contrasting wall materials and features 	<ul style="list-style-type: none"> Shingle pattern or vertical siding accents Brick or stone veneer accents Use of control joints to add interest to large expanses
Windows	<ul style="list-style-type: none"> Vertically proportioned Mullions at upper half of windows Fully trimmed windows, upper and lower trim may overhang the sides 	<ul style="list-style-type: none"> Grouped windows with continuous header trim Vertical windows at lower level Horizontal windows at upper levels along a belt course
Doors	<ul style="list-style-type: none"> Entry doors with panel pattern Garage doors with panel pattern 	<ul style="list-style-type: none"> Entry doors with windows Garage doors with windows
Details	<ul style="list-style-type: none"> Covered porch or defined entry Use of braces Décor gable elements Columns with wide bases 	<ul style="list-style-type: none"> Heavy timber appearing columns Post & beam details Tapered or double post porch columns Brick or stone veneer at piers Shutters Potshelves
Colors	<ul style="list-style-type: none"> Field Colors: Medium light to medium dark value earth tones of brown, rust, olive, and ochre Color blocking recommended Trim Colors: Darker than field colors in browns, rusts, or olives Accent Colors: Earthy warm hues in medium to dark value, including green, rust, and burgundy tones 	



Side-to-side gables with cross gables or a combination of hip, & gable forms



- Outlookers
- Horizontal siding elements
- Grouped windows with continuous header trim
- Stucco predominates
- Covered porch or defined entry
- Columns with wide bases

AMERICAN HERITAGE STYLE SERIES

4.7.5 Main Street

In the 19th century typical Main Street architecture was built as a single building or in groups of buildings with party walls. Brick store fronts could extend up to a block in length. These buildings varied in height from one (1) to three (3) or more stories. Typically these buildings had a tripartite organization of base, middle and top. Entrances were located on- or off-center. The lower level was dominated by large windows framed by the building's corners and the panel of brick between floors. The upper levels sometimes included single or double bay windows, brick friezes, panels and decorative cornices. Other options include the use of corniced parapets, continuous sills or decorative lintels and string or belt courses dividing the wall laterally. The cornice functioned as a cap under which other elements were arranged and balanced, to give the Main Street Style cohesion.



MAIN STREET STYLE ELEMENTS

ELEMENTS	MINIMUM REQUIREMENTS	ENHANCEMENTS
Roof	<ul style="list-style-type: none"> · Flat roofs work well for this style · Built-up roofing at flat areas · Flat or shake tile pattern for sloped areas 	<ul style="list-style-type: none"> · Decorative cornice · Projecting awnings
Walls	<ul style="list-style-type: none"> · Stucco predominates · Bold trim elements · Strong base presence 	<ul style="list-style-type: none"> · Brick veneer accents · Siding or metal panels · Use of control joints to add interest to large expanses
Windows	<ul style="list-style-type: none"> · Vertically proportioned · Mullions at upper levels · Fully trimmed windows or recessed depending on chosen vernacular 	<ul style="list-style-type: none"> · Awnings at selected windows · Window pediments at focal windows · Transoms
Doors	<ul style="list-style-type: none"> · Simple entry doors · Simple garage doors 	<ul style="list-style-type: none"> · Entry doors with windows · Garage doors with windows
Details	<ul style="list-style-type: none"> · Simple box massing · Shallow recessed entries · Strong tripartite arrangement of Base-Middle-Top 	<ul style="list-style-type: none"> · Horizontal belt course · Storefront-like windows at ground level · Colonnade · Trim features borrowed from traditional main streets as appropriate to massing of building
Colors	<ul style="list-style-type: none"> · Field Colors: Neutral colors appropriate to materials selected · Color blocking recommended · Trim Colors: Neutral colors may blend or contrast per context · Accent Colors: Contrasting neutral or bold tones as appropriate 	

THE PRESERVE

DESIGN GUIDELINES



Strong base presence



Colonnade



Simple box massing



Flat roofs work well for this style

Projecting awnings

Vertically proportioned windows

Bold trim elements

Storefront-like windows at ground level



MAIN STREET

AMERICAN HERITAGE STYLE SERIES

4.7.6 Santa Barbara

The Santa Barbara style is taken from the coast town of the same name. Inspired by Spanish architectural style and details, the Santa Barbara style evolved to have its own flavor, form, and color.

Homes are a signature white stucco or a monochrome scheme highlighting the clean simple massing of the style. Spanish details such as gable end barrel tiles, metal elements and features, and arch accents offset the clean lines.

Flat front facades can highlight the clean style with the entry highlighted by pre-cast pedimentation and tile and metal details.



SANTA BARBARA STYLE ELEMENTS

ELEMENTS	MINIMUM REQUIREMENTS	ENHANCEMENTS
Roof	<ul style="list-style-type: none"> · Simple roofs of hips or gables or flat roofs with parapet walls · Tight barges at gable ends · Parapets with tile caps · Exposed rafter tails at select locations 	
Walls	<ul style="list-style-type: none"> · Stucco predominates 	<ul style="list-style-type: none"> · Brick or slump block accents · Use of control joints for added interest
Windows	<ul style="list-style-type: none"> · Vertically proportioned · Vertical window mullions · Simple or minimal trim 	<ul style="list-style-type: none"> · Recessed focal window · Recessed trim for shadow at select locations
Doors	<ul style="list-style-type: none"> · Simple entry doors · Simple garage doors 	<ul style="list-style-type: none"> · Entry doors with windows · Garage doors with windows
Details	<ul style="list-style-type: none"> · Simple massing with large clear surface areas · Detailed profile trim at entries 	<ul style="list-style-type: none"> · Gable end details · Décor iron elements · Awnings · Potshelves · Wing wall element · Corbels
Colors	<ul style="list-style-type: none"> · Field Colors: Neutral colors appropriate to materials selected · Color blocking recommended · Trim Colors: Neutral colors may blend or contrast per context · Accent Colors: Contrasting neutral or bold tones as appropriate 	



Simple or minimal trim



Detailed profile trim at entries



Awnings



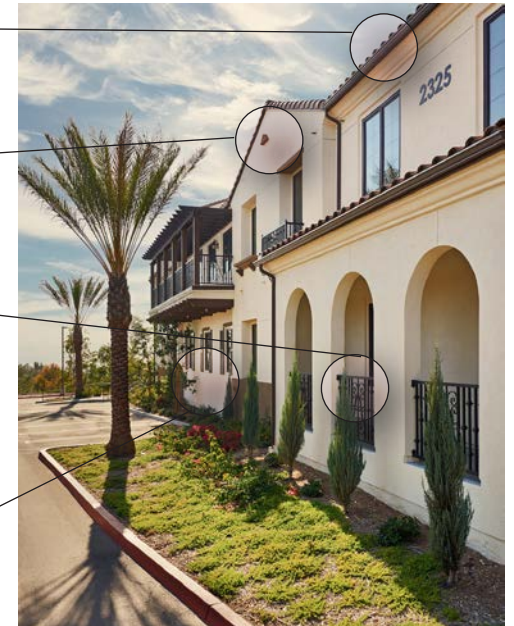
Simple roofs of hips or gables or flat roofs with parapet walls

Gable end details

Décor iron elements

Accent Colors: Contrasting neutral

Stucco predominates



SANTA BARBARA

MILLENNIUM STYLE SERIES

4.7.7 Adaptive Farmhouse

Due to the simple and honest nature of this architectural form, the Farmhouse style can easily be adapted to a more abstract solution and is appropriate within many of the higher density settings. Since this style's roof shapes, variety of textures, colors and materials can easily be extrapolated to more contemporary applications, one can find many examples of this transformation throughout the West.

The Adaptive Farmhouse style blends the sleek clean lines of contemporary design with warm farmhouse charm to create a uniquely fresh take on this country living inspired style.



FARMHOUSE STYLE ELEMENTS

ELEMENTS	MINIMUM REQUIREMENTS	ENHANCEMENTS
Roof	<ul style="list-style-type: none"> · Main gable roof with intersecting gables or pitched forms · Roof pitches 4:12 to 7:12 on selected elements · Flat or shake roof tile pattern 	<ul style="list-style-type: none"> · Simplified traditional gable accents (knee brace, outrigger, pediment, louvered roof vent) · Roofline articulation (dormer, segments with higher heel, intersecting roofs) · Exposed eaves
Walls	<ul style="list-style-type: none"> · Predominantly stucco with siding accents 	<ul style="list-style-type: none"> · Tile, stone or brick accents
Windows	<ul style="list-style-type: none"> · Vertically oriented windows, often single-hung where operable 	<ul style="list-style-type: none"> · Dormers or bay window · Exaggerated expanse of windows · Window mullion break-ups · Recessed focal window
Doors	<ul style="list-style-type: none"> · Raised panel entry door · Simple raised panel sectional garage door 	<ul style="list-style-type: none"> · Entry door with windows · Garage door with windows
Details	<ul style="list-style-type: none"> · Trim may be wide, omitted or recessed according to chosen vernacular and surrounding material 	<ul style="list-style-type: none"> · Wood or metal awning, canopy or trellis · Fully trimmed windows with wide sills · Plank shutters · Post and beam details
Colors	<ul style="list-style-type: none"> · Field Colors: Palette may be monochromatic or rich with color in medium-light to medium values; including subdued hues of taupe, warm gray, yellow and green and warm-toned whites · Trim Colors: Medium to dark values; including warm tones of gray, blue-gray, brown and gray-green · Accent Colors: Medium to medium-dark values; including muted shades of blue, green, gray and red 	

THE PRESERVE

DESIGN GUIDELINES



Post and beam details



Raised panel entry door



Predominantly stucco with siding accents



Simplified traditional gable accents (knee brace, outrigger, pediment, louvered roof vent)

Main gable roof with intersecting gables or pitched forms

Fully trimmed windows with wide sills

Wood or metal awning, canopy or trellis

Predominantly stucco with siding accents



ADAPTIVE FARMHOUSE

MILLENNIUM STYLE SERIES

4.7.8 Adaptive Italian

The Italian style is a good example of a transplanted style developed in a climate zone similar to the Southern California climate. In the 1860s, the Italianate Villa was one of the fashionable architectural styles in the United States based on the formal and symmetrical palaces of the Italianate Renaissance. Italianate homes are straightforward and boxy, with only window crowns and cornice moldings as ornamentation.

This old world prototype has been refined, adapted and embellished into a truly eclectic classic style. The shallow pitched hipped roof, often with decorative brackets, identifies this style. As it became a popular building material, wrought iron expanded the Italianate style vocabulary to include a variety of embellished designs for porches, balconies, railings and fences.

An off-shoot of this style, Italianate, emerged in the row houses of San Francisco with amplified Italianate Renaissance characteristics including the emphasis on use of classic Roman orders in columns, decorative motives along the exaggerated cornice line and projecting bay windows under hip roofs.



ITALIAN STYLE ELEMENTS

ELEMENTS	MINIMUM REQUIREMENTS	ENHANCEMENTS
Roof	<ul style="list-style-type: none"> · Main roof hip or flat roofs with parapet or mansards 	<ul style="list-style-type: none"> · Decorative cornice trim · Enclosed eaves at select locations
Walls	<ul style="list-style-type: none"> · Stucco predominates · Bold trim elements 	<ul style="list-style-type: none"> · Stone or brick accents · Use of control joints for added interest
Windows	<ul style="list-style-type: none"> · Vertical window mullions · Fully trimmed windows or recessed depending on chosen vernacular · Symmetrically ordered groupings 	<ul style="list-style-type: none"> · Window boxes or shed roofs with braces over windows
Doors	<ul style="list-style-type: none"> · Simple entry doors · Simple garage doors 	<ul style="list-style-type: none"> · Entry doors with windows · Garage doors with windows
Details	<ul style="list-style-type: none"> · Formal trim surround at entries · Symmetrical arrangements · Horizontal belt course 	<ul style="list-style-type: none"> · Simulated pre-cast columns · Quoins · Scalloped details · Medallions · Pediments · Use of reglets for simulated cut-block details
Colors	<ul style="list-style-type: none"> · Field Colors: Medium to medium-dark value saturated colors in earth tones, especially yellow, orange and red · Trim colors: Medium to dark values in browns, grays, or warmed tone whites · Color blocking recommended · Accent Colors: Vibrant shades of medium to dark value blues, greens, oranges, and reds 	



Decorative cornice trim

Horizontal belt course

Fully trimmed windows or recessed

Symmetrical arrangements

Stucco predominates

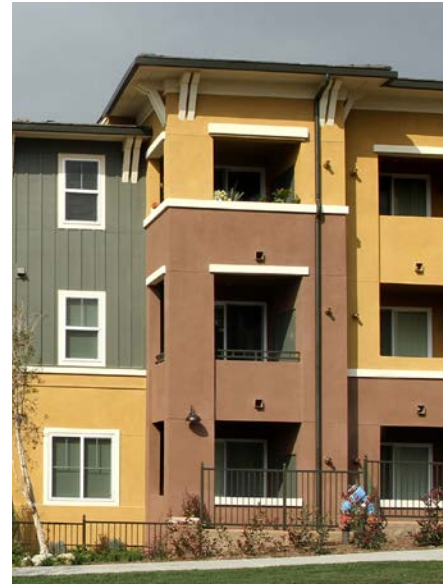


ITALIAN

MILLENNIUM STYLE SERIES**4.7.9 Adaptive Prairie**

The roots of Prairie architecture began in the late 1800s with the Oak Park and River Forest houses of Frank Lloyd Wright. The Prairie School of architecture came to California with its own unique interpretation. The style is characterized by horizontal expressions and proportions. Horizontal proportions provide an earthy feel while the lower pitched roof often seems to float with its deep overhangs over banded windows. Porte-cochère or raised porches extend out from the entry of the house as a typical feature of this style.

This first purely American style included new decorative motifs and details. The Prairie style in its vernacular form spread throughout the Midwest and to California and New York, along with Wright's belief that a building should fulfill its primary function, but also exude character, life, spirit, beauty and a vibrant environment.



PRAIRIE STYLE ELEMENTS

ELEMENTS	MINIMUM REQUIREMENTS	ENHANCEMENTS
Roof	<ul style="list-style-type: none"> · Pitched roof, hip required at focal areas · Overhanging eaves, 12" minimum · Flat or shake roof tile pattern for pitched roofs 	<ul style="list-style-type: none"> · Extended eave overhangs at focal areas · Braces at wide overhangs adjacent to corners
Walls	<ul style="list-style-type: none"> · Predominantly stucco with siding accents 	<ul style="list-style-type: none"> · Brick or stone accents near base of building · Use of control joints for added interest
Windows	<ul style="list-style-type: none"> · Symmetrically ordered · Horizontally grouped row of windows at focal areas 	<ul style="list-style-type: none"> · Window mullions on top pane only · Strong unifying band or trim at grouped windows · Clerestory windows
Doors	<ul style="list-style-type: none"> · Multiple raised panel entry door · Simple raised panel sectional garage door 	<ul style="list-style-type: none"> · Entry door with windows · Garage door with windows
Details	<ul style="list-style-type: none"> · Balcony and patio walls to have horizontal emphasis, either solid or open rail · Horizontal banding at focal areas · Wide columns 	<ul style="list-style-type: none"> · Enhanced material at base of columns · Metal awnings with horizontal lines
Colors	<ul style="list-style-type: none"> · Field Colors: Light to medium values; warm neutrals or toned whites · Trim colors: Medium to dark values; warm neutrals · Accent Colors: Medium to dark values; including earthy greens, oranges, reds, and browns 	

THE PRESERVE

DESIGN GUIDELINES



Predominantly stucco with siding accents



Windows Horizontally grouped row of windows at focal areas



Overhanging eaves, 12" minimum

Windows Horizontally grouped row of windows at focal areas

Strong unifying band or trim at grouped windows

Predominantly stucco with siding accents

Balcony and patio walls to have horizontal emphasis, either solid or open rail

Brick or stone accents near base of building



Windows Horizontally grouped row of windows at focal areas

ADAPTIVE PRAIRIE

MILLENNIUM STYLE SERIES

4.7.10 Adaptive Spanish

The Adaptive Spanish style was established concurrently with Panama-California Exposition (1915-1916) and throughout Southern California most notably through the work of Irving Gill. This style represents what a popular feeling of the day exalted, a new beginning in life and art. This movement opposed historic architectural design reference and embraced simplicity and form minimalism. Aesthetically, it is identified usually by flat roofs, with no eaves, unity of material, windows in ribbon patterns, light exterior wall colors, cube or rectangular massing, accent color at doors and windows, frequent ground level arches or a series of arches creating transitional breezeways in the manor of California missions. Most notable examples being La Jolla's Women's Club and Horatio West Court in Santa Monica.



SPANISH STYLE ELEMENTS

ELEMENTS	MINIMUM REQUIREMENTS	ENHANCEMENTS
Roof	<ul style="list-style-type: none"> Simple roofs of hips or gables or flat roofs with parapet 	<ul style="list-style-type: none"> Barrel tile caps at parapets Exposed rafter tails at select locations
Walls	<ul style="list-style-type: none"> Stucco predominates Large clean white expanses are allowed 	<ul style="list-style-type: none"> Decorative Spanish tile details Brick accents Wing walls Use of control joints for added interest
Windows	<ul style="list-style-type: none"> Vertically proportioned windows Simple/minimal trim Window trim at top & bottom or recessed depending on chosen vernacular Asymmetrically ordered groupings 	<ul style="list-style-type: none"> Recessed focal window
Doors	<ul style="list-style-type: none"> Panel pattern entry doors Panel pattern garage doors 	<ul style="list-style-type: none"> Entry doors with windows Garage doors with windows
Details	<ul style="list-style-type: none"> Full-arched or eyebrow-arch elements Simple asymmetrical massing Detailed profile trim at entry 	<ul style="list-style-type: none"> Window boxes Shed roof with braces over windows Potshelves Corbels Iron elements Gable end details
Colors	<ul style="list-style-type: none"> Field Colors: Toned whites and light to medium value warm colors Trim colors: Medium to dark browns reminiscent of stained wood Color blocking recommended Accent Colors: Clear to muted browns, rust and burgundy in medium to dark value range or dark browns 	



Simple asymmetrical massing



Simple roofs



Simple roofs of hips or gables or flat roofs with parapet

Potshelves

Iron elements

Use of control joints for added interest

Decorative Spanish tile details



ADAPTIVE SPANISH

CHAPTER 4 CHECKLIST

<input type="checkbox"/>	Pedestrian Circulation Solution:	Section 4.2.1
<input type="checkbox"/>	Height Variation: 24" in 240'	Page 4-6
<input type="checkbox"/>	Wall Plane Variation: 12" per 40' in Length	Page 4-6
<input type="checkbox"/>	Massing Offsets:	Page 4-6
<input type="checkbox"/>	Frontage Priority:	Page 4-11
<input type="checkbox"/>	Entry Detailing: Per Page Urban Rental Community Requirements:	Page 4-14
<input type="checkbox"/>	Styles per Product Type:	Section 4.7
<input type="checkbox"/>	Color Schemes per Product Type:	Page 4-21, 22, 23, 24, 25, 27, 29



SECTION 5 - LANDSCAPE DESIGN

5.1 INTRODUCTION

The Landscape Design Section of the guidelines gives an overview of the Guest Builder's responsibilities for landscaping front yards, side yards, streetscapes, entries and pocket parks. These guidelines ensure a continuity within the community through planting schemes, and the use of materials, color and character that enhances both planning and architecture.

The Landscape Design Section works in conjunction with the planning and architectural portion of the design guidelines. Reference these sections for pertinent information.

These design standards are intended to supplement The Preserve Specific Plan, which provides the development regulations for The Preserve community and supersedes provisions of the City of Chino Municipal Code. In certain instances, the following standards may be more restrictive than those contained in The Preserve Specific Plan. If a conflict should arise between the Specific Plan and these regulations, the more restrictive shall apply.

5.1.1 Community Context

The underlying design philosophy has been to create a community character and quality that reflects the context of the community and its surrounding region. The integration of site planning, architecture and landscape principles into neighborhood design is a fundamental goal for The Preserve.

5.1.2 Landscape Concept Statement

The landscape concept for The Preserve community is inspired by the on-site native habitat and nostalgic agricultural heritage of the land. The landscape concept has been designed to celebrate these elements while creating a “community of trees” that looks forward into a new era inspired by the past. The edges of The Preserve are defined with a singular landscape character, including an informal meandering grove of evergreen and deciduous canopy trees, giving the project a unique image.

The open space to the south is drawn into the internal community landscape through paseos, streets, and median landscaping. The north/south streets include a framework of deciduous accent trees and evergreen screen trees that have a rustic but elegant landscape character. The east/west streets are patterned with a grid-like fabric of urban evergreen orchard plantings in parkways and medians. All streets however, north/south and east/west, will have a distinct appearance apart from each other. Different deciduous and evergreen street trees will punctuate the landscape framework giving diversity and interest among the two distinct directional groups within the community. This diversity within the community creates a combination of streets that compliment one another through contrasting texture, forms, and structures which knit the community together while also preserving the open space heritage and nostalgic agricultural roots of Chino.

LEGEND

Street and Tree Type	Street Concept
 Euclid, Kimball & Hellman Avenues <i>Eucalyptus spp.</i> (Eucalyptus Species)- Evergreen Parkway/Median Street trees <i>Grevillea robusta</i> (Silk Oak) & <i>Tristania conferta</i> (Brisbane Box) -Evergreen Backdrop & Parkway trees <i>Platanus racemosa</i> (California Sycamore) - Deciduous Accent tree <i>Pinus eldarica</i> (Mondell Pine) - Backdrop Screen tree	These Avenues will feature an informal meandering display of evergreen and deciduous canopy trees set against an evergreen backdrop.
 Icon Streets <i>Magnolia grandiflora</i> (Southern Magnolia) - Parkway tree <i>Magnolia grandiflora</i> (Southern Magnolia) - Backdrop Screen tree	The Icon Streets will include a formal display of broad-canopy, evergreen street trees.
 Edison Utility Easement <i>Lagerstroemia indica (var.)</i> (Crape Myrtle) or approved alternative -along streets crossing easement <i>Laurus nobilis</i> 'Saratoga' - Evergreen Tree	The utility easement includes an informal display of evergreen and deciduous trees and shrubs. Variety of shrubs and trees not to exceed 14' in height.
 Bickmore Avenue & Legacy Park Street <i>Quercus agrifolia</i> (Coast Live Oak)- Parkway tree <i>Pinus eldarica</i> (Mondell Pine) - Backdrop Screen tree	These primary roads will have a formal display of broad-canopy, evergreen street trees with an evergreen backdrop.
 Pine Avenue (Outside loop) <i>Pinus pinea</i> (Italian Stone Pine)- Parkway/Median/Backdrop Street trees	Pine Avenue outside of the Loop will display a formal massing of evergreen spine street trees in the parkway, and median areas.
 Pine Avenue (inside loop) <i>Pinus canariensis</i> (Canary Island Pine)- Parkway/Median/Backdrop Screen trees	Pine Avenue inside of the Loop will also display a formal massing of evergreen spine street trees in the parkway, and median areas.
 Market Street & Discovery Park Avenue <i>Melaleuca linarifolia</i> (Flax Leaf Paperbark)- Parkway tree <i>Melaleuca linarifolia</i> (Flax Leaf Paperbark)- Backdrop Screen tree	A Street will include a formal display of broad-canopy, evergreen street trees.
 Chino-Corona Road (East/West) <i>Populus nigra 'italica'</i> (Lombardy Poplar)- Accent tree <i>Platanus racemosa</i> (California Sycamore) - Street tree <i>Geijera parviflora</i> (Australian Willow) or approved alternative - Backdrop Screen tree	Chino-Corona Road will include an informal, meandering display of deciduous street and accent trees that blend with the open space elements. Backdrop trees will be used at side/back yard conditions.
 Mayhew Avenue <i>Pistache chinensis</i> (Chinese Pistache)- Parkway Street tree <i>Geijera parviflora</i> (Australian Willow) or approved alternative - Backdrop Screen tree	Mayhew Avenue will display an informal deciduous accent street trees set against a broad-canopy evergreen backdrop.
 Rincon Meadows Avenue <i>Zelkova serrata</i> (Japanese Zelkova) 'Village Green' - Parkway Street tree <i>Geijera parviflora</i> (Australian Willow) or approved alternative - Backdrop Screen tree	Rincon Meadows Avenue will include an informal deciduous accent trees set against a broad-canopy evergreen backdrop.
 Mill Creek Avenue/Chino-Corona(North/South) <i>Koelreuteria bipinnata</i> (Chinese Flame Tree)- Parkway Street tree <i>Geijera parviflora</i> (Australian Willow) or approved alternative - Backdrop Screen tree	Mill Creek Avenue/Chino-Corona will have a formal display of accent deciduous street trees set against an evergreen, broad-canopy screen backdrop.
 East/West Preserve Loop <i>Platanus racemosa</i> (California Sycamore)or approved alternative - Parkway Street tree <i>Platanus racemosa</i> (California Sycamore) or approved alternative - Median Street tree <i>Geijera parviflora</i> (Australian Willow) or approved alternative -Backdrop Screen/Parkway/Median tree	The East and West Preserve Loop will feature an informal, meandering display of deciduous accent trees set against an evergreen backdrop.
 Main Street (Pine to Legacy Park) <i>Platanus racemosa</i> (California Sycamore) - At select locations <i>Tristania conferta</i> (Brisbane Box) - In tree wells <i>Phoenix dactylifera</i> (Date Palm) - as entry-point accent trees	Main Street from Pine to Legacy Park will have an formal urban character with tree wells.
 Main Street (Legacy Park to Chino Corona) <i>Platanus acerifolia</i> (London Plane Tree) - Parkway Street tree <i>Platanus acerifolia</i> (London Plane Tree) - Median tree	Main Street will have a formal display of a broad canopy, deciduous tree
 Flight Avenue <i>Gleditsia triacanthos var. inermis</i> 'Shademaster' (Shademaster Honeylocust) - Parkway Street tree <i>Geijera parviflora</i> (Australian Willow) or approved alternative - Backdrop Screen tree	Flight Avenue will have an informal display of deciduous street trees set against an evergreen, broad canopy backdrop.

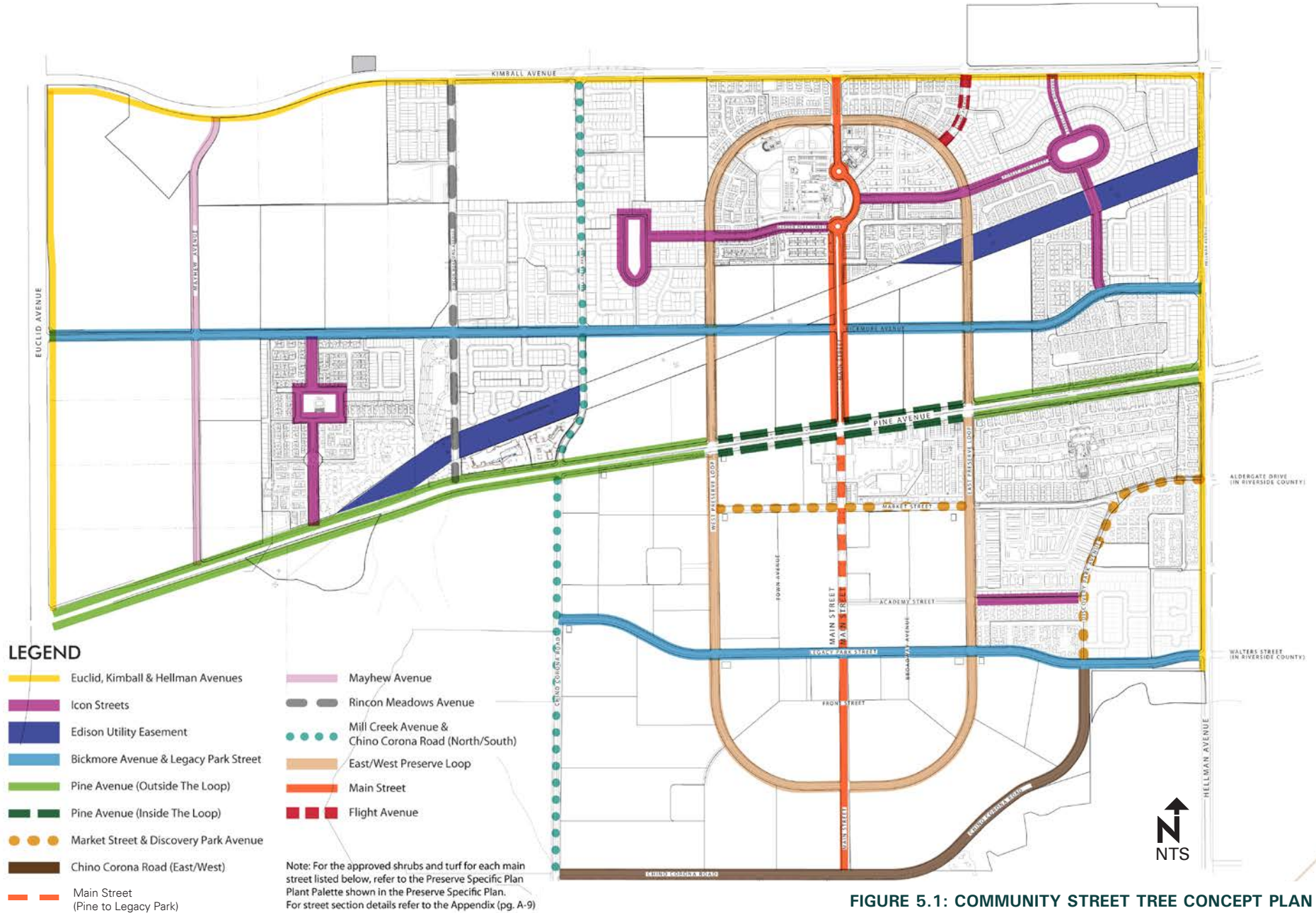


FIGURE 5.1: COMMUNITY STREET TREE CONCEPT PLAN

THE PRESERVE

DESIGN GUIDELINES

Primary Street Trees

Koelreuteria bipinnata

Populus nigra 'Italica'

Geijera parviflora

Quercus agrifolia

Eucalyptus spp.

Melaleuca linariifolia

Platanus racemosa

Tristania conferta

Grevillia robusta

Liquidambar styraciflua

Platanus acerfolia

Gleditsia tricanthos

Pistache chinensis

Lagerstroemia indica 'Muskogee'

Quercus ilex

Magnolia grandiflora

Pinus pinea

Zelkova serrata

Pinus elderica

**The Preserve
Lewis Operating Corp.
Chino, California**

**Tree Image Board
Community Landscape Character**

EDAW

Street Tree Sample Image Board

5.1.3 Scope of Work

This section defines the areas of responsibility regarding the installation and maintenance of landscape for the Guest Builder. The Guest Builder is required to irrigate and maintain areas during construction, even if these areas eventually fall under a different jurisdiction subsequent to installation.

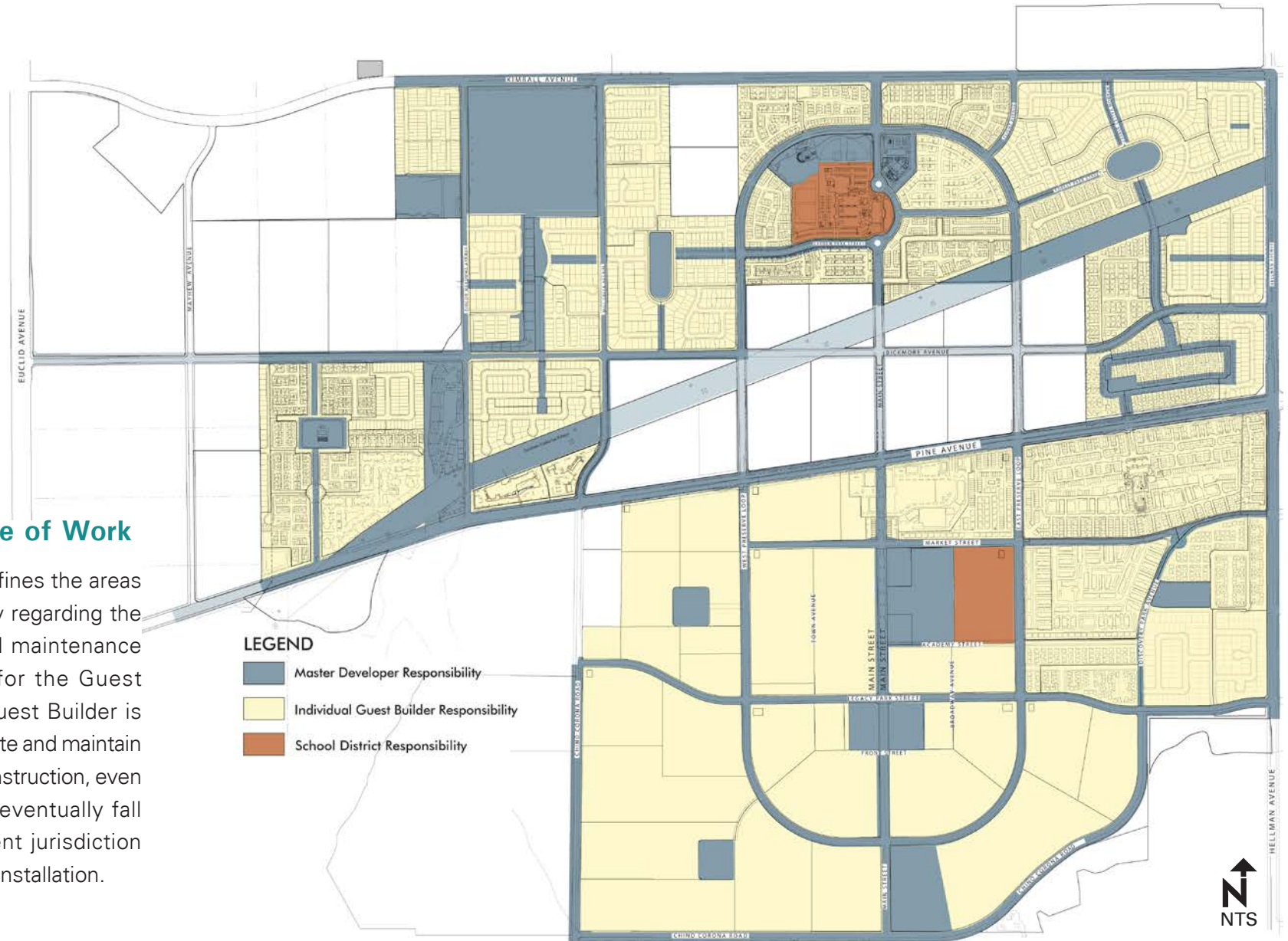


FIGURE 5.2: NEIGHBORHOOD INSTALLATION RESPONSIBILITY PLAN

THE PRESERVE

DESIGN GUIDELINES

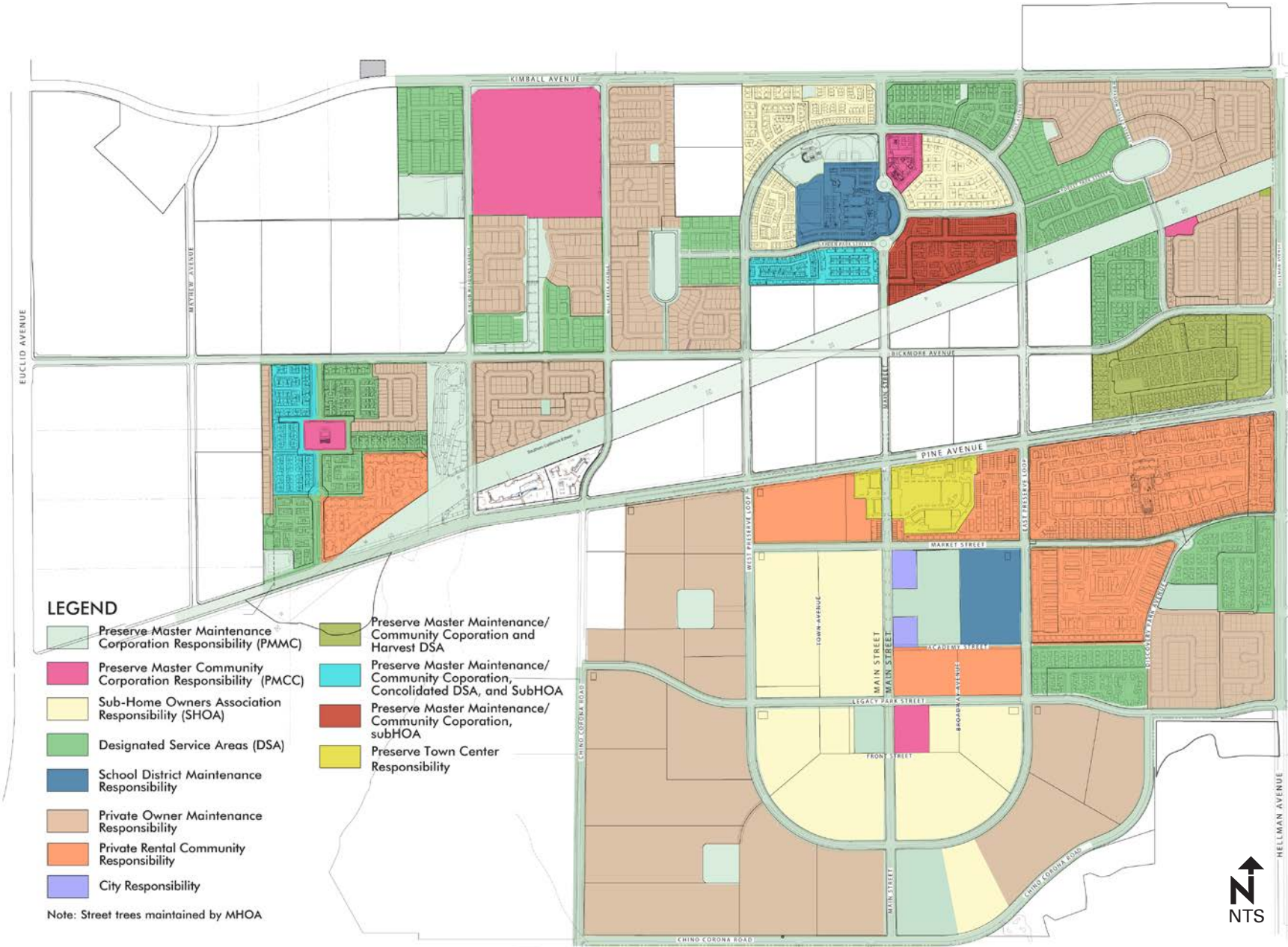


FIGURE 5.3: NEIGHBORHOOD MAINTENANCE RESPONSIBILITY PLAN

5.2 NEIGHBORHOOD CHARACTER AND LANDSCAPE DESIGN CONCEPTS

The planning and landscape on the community level promotes a strong feeling of unity throughout the project. Individual expression at the neighborhood level allows for diversity and thus gives a sense of place. The Preserve's neighborhoods are organized into a unique mix of landscape character, product types, architectural styles, and orientation to site features. The unique character in each neighborhood is displayed primarily through a variety of architecture and product types.

The unique character of each neighborhood may also be reflected in certain aspects of the following elements, although many design elements will be consistent throughout The Preserve giving the community an overall character and uniqueness.

- Neighborhood entries and gateways
- Neighborhood streetscape concepts
- Parkways
- Product specific landscape conditions
- Walls and fencing

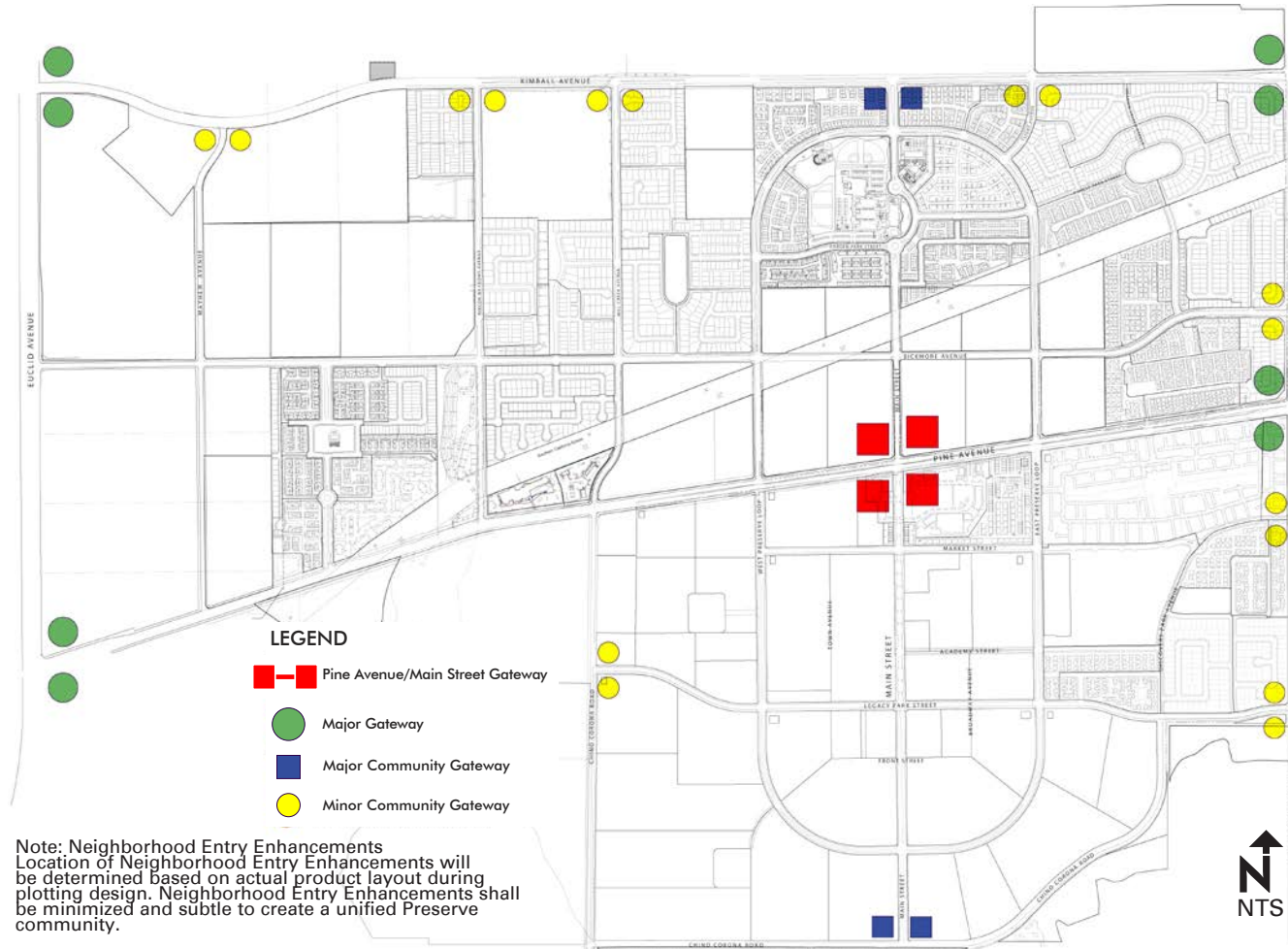
The following section will provide criteria to guide the Guest Builder in the development and establishment of the residential landscape components for the various development types of Preserve neighborhoods.

- Single-Family type homes
- Multi-Family type homes
- Parkway design criteria
- Landscape design criteria

5.2.1 Entries

Where gateways, major and minor community entries or community intersections occur, Guest Builders may be affected by special setback requirements. The Master Developer will be responsible for these entries. Guest Builders are to build the Neighborhood Entry Enhancements where

appropriate. In residential areas, traditional "Neighborhood Entries" where large, individualized developer sign monumentation is used to mark "corners" will be discouraged and is not appropriate. Guest Builders should review plans with Master Developer prior to developing a site plan



Conceptual Example Image: Major Gateway



Conceptual Example Image: Minor Gateway

FIGURE 5.4; MASTER PLAN COMMUNITY GATEWAYS AND ENTRIES PLAN

to assure design conformance and space reservation at specified entry locations. Temporary recognition of model complexes through the use of signage and other techniques (to be determined in marketing program) are encouraged, but permanent “entry” definition to all projects is not encouraged.

A. Neighborhood Entry Enhancements

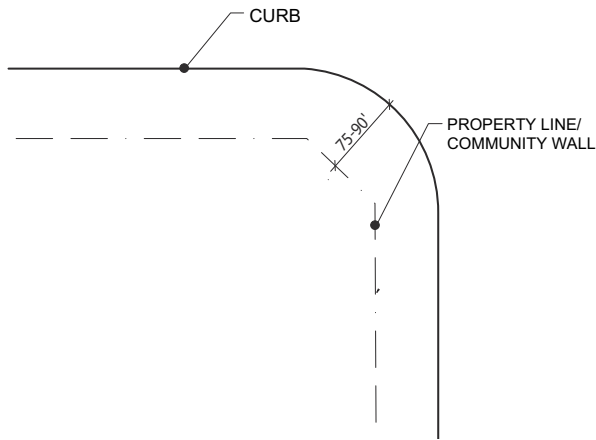
- Neighborhood entry enhancements are intended to announce arrival into several key areas within the interior of the project; however, the definition and separation between neighborhoods are purposefully blurred and blended.
- Neighborhood entries are not to be placed at all entries to each project. The exact location of neighborhood entries will be determined during neighborhood lotting design when project entry locations will be known.
- Interior neighborhood entry enhancements shall be minimal, subtle and nondescript. The entries shall speak to and enhance The Preserve character as a whole and focus on creating one Preserve community as opposed to many individual walled neighborhoods. These gateways could occur at apartment entries, entries to major commercial areas, entries into major activity areas and into large districts of SFD residential.
- Neighborhood entry enhancements may include identification signs, themed lighting, The Preserve character elements, enhanced hardscape and plantings which draw from the palette of adjoining streets.
- Neighborhood entry enhancements are the smallest in scale and can be incorporated into the entry points of projects as a form of identification.
- Marking project boundary corners with traditional large individualized developer signage will be discouraged. Instead, if it is necessary to name and identify a project, we will encourage this to happen along the entry drive, not at the corners of the specific project.

B. Major and Minor Community Gateways

- Community gateways are intended to highlight major intersections within The Preserve and announce arrival into major districts.
- Community gateways may include signs identifying the district or community, but should include themed lighting, enhanced hardscape elements, a lush landscape understory and distinct use of the planting palettes which wrapped from the adjoining streets.
- Major/minor gateways typically range from 2,500 to 4,000 square feet. The minor community gateways generally have a dimension of 55'-70' measured back from the apex of the curb to the community wall which defines the back edge of the gateway. The major community gateways generally have a dimension of 75 -90 feet measured back from the apex of the curb to the community wall which defines the back edge of the gateway.



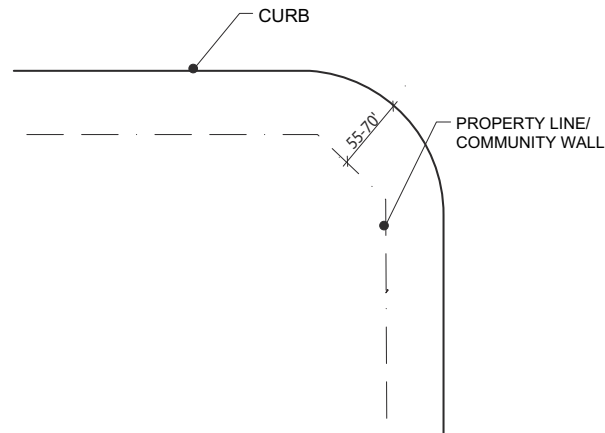
Conceptual Example Image: Neighborhood Entry Enhancement



TYPICAL MAJOR COMMUNITY GATEWAY

NOTE: DESIGN TO BE DUPLICATED ON OPPOSITE CORNER WHERE SHOWN IN GATEWAY DIAGRAM

Major community gateway detail plan



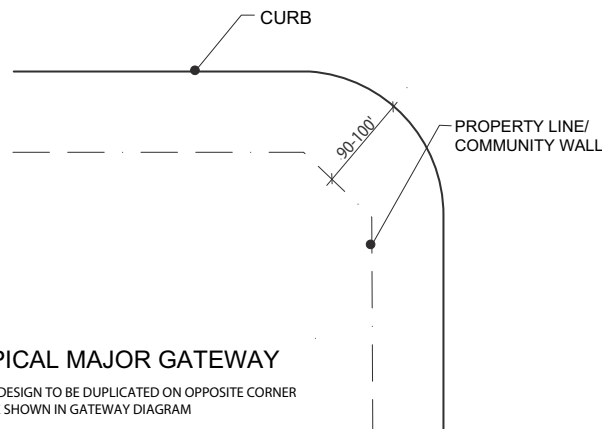
TYPICAL MINOR COMMUNITY GATEWAY

NOTE: DESIGN TO BE DUPLICATED ON OPPOSITE CORNER WHERE SHOWN IN GATEWAY DIAGRAM

Minor community gateway detail plan

C. Major Gateways

- Major gateways announce entry into The Preserve through a visual statement and unique design features.
- Major gateways shall include signs identifying The Preserve, themed lighting, enhanced hardscape elements, Chino and Preserve character elements, a lush landscaping understory, and distinct use of the planting palette which wrapped from the adjoining streets. The use of special specimen trees at gateways is discouraged. Instead, allow the gateway to become subtle and blend with adjacent plant palettes.
- Major gateways should be the largest of the gateways in size and scale to distinguish arrival into The Preserve.
- Major gateways typically range from 3,500 to 4,500 square feet They generally have a dimension of 90-100 feet measured back from the apex of the curb to the community wall which defines the back edge of the gateway.
- In addition to The Preserve community, City of Chino identification will be displayed on the signage at the major gateways.



TYPICAL MAJOR GATEWAY

NOTE: DESIGN TO BE DUPLICATED ON OPPOSITE CORNER WHERE SHOWN IN GATEWAY DIAGRAM

Major gateway detail plan

5.2.2 Neighborhood Streetscapes

The following neighborhood streetscape section identifies the various place making elements that will lead to a unique and distinctive neighborhood character.

Each neighborhood shall be organized around a street system of a traditional public street character. The design of the street system will include street tree planting strips adjacent to the curb, parkway-separated sidewalks and “house-forward” architecture. Landscaping will be reviewed by the Master Developer. Sun exposure and the ability for trees to provide shade in the summer and allow penetration of the sun in the winter should also be a determining factor.

The parkway, which is defined by the space between the curb and sidewalk, is a key element to the overall neighborhood street scene. A variety of street trees species for these parkways have been selected by the Master Developer for each neighborhood. These species were chosen for their ability to reinforce the neighborhoods and complement the architectural scale of the neighborhood.

- The Guest Builder will be responsible for the installation of the street trees, groundcover, under trees, limited sodded turf and an automatic irrigation system.
- The irrigation and maintenance of the trees and groundcover during their construction period is also the responsibility of the Guest Builder.
- Sidewalks and driveway aprons are to receive a medium broom finish (or other approved type) and approved score pattern to reinforce the village and neighborhood character. Corners are to be designed to minimize hardscape while allowing accessibility



- Reinforce the historical character of the architecture with the overall planting schemes.
- Evenly space street trees on parkways.
- Plant background trees, shrubs and ground covers in masses to create a dynamic rhythm and avoid the monotony of evenly spaced trees.
- Use continuous foundation shrub planting for all homes. Shrubs are to be selected from the approved palette and help to reinforce the character of the distinct and neighborhood architecture.
- The Guest Builder is to incorporate planned surprises. Specimen trees, tree clusters or other landscape elements such as thematic fencing, arbors and seating areas can provide these neighborhood enhancements. If a street island is not present, the Guest Builder is to install specimen trees at the end of each cul-de-sac.
- All tree and shrub plant type and locations shall adhere to vehicular sight line requirements.

A complete plant palette can be found in Section 5.6 Neighborhood Plant List.

THE PRESERVE

DESIGN GUIDELINES

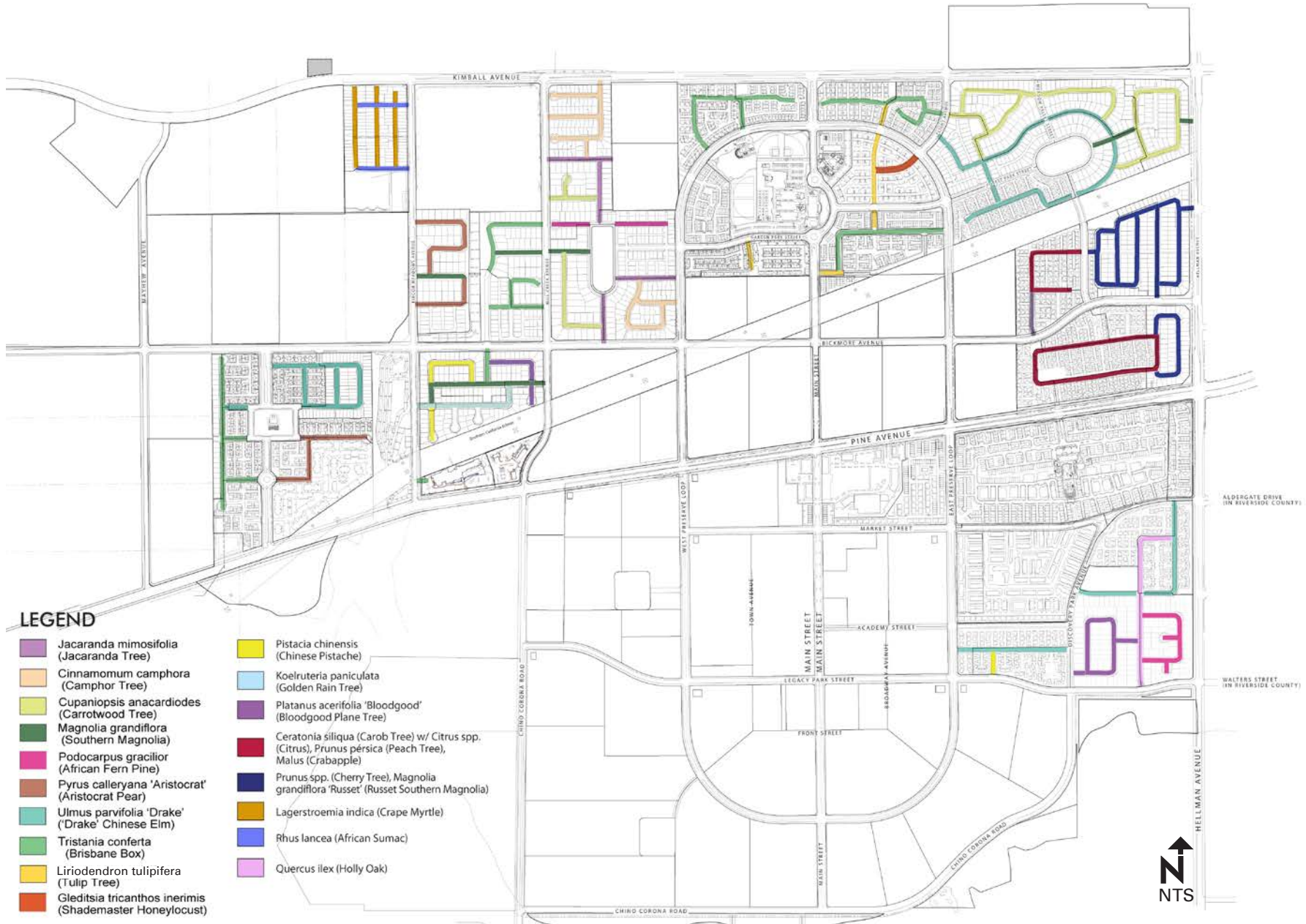
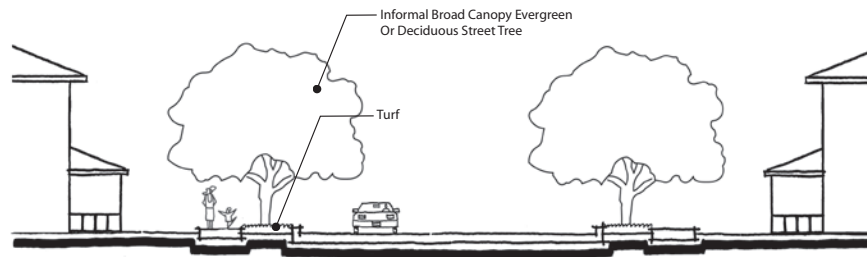


FIGURE 5.5: NEIGHBORHOOD STREET TREE CONCEPT PLAN

PARKWAY PLANTING EXHIBIT



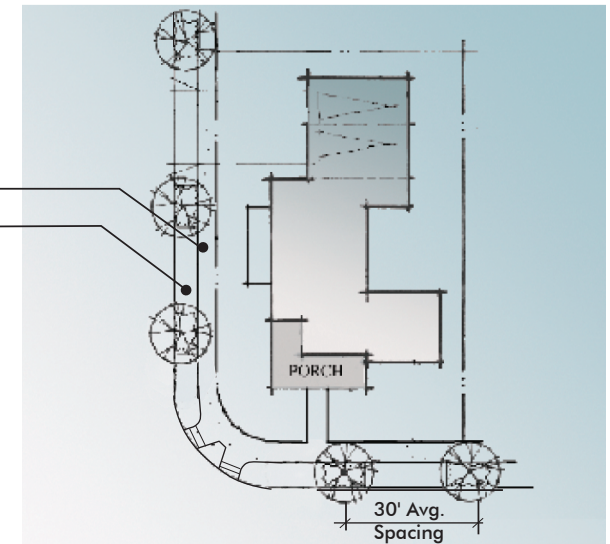
Typical neighborhood parkway and walk

A. Parkways

The Preserve's strong landscape character, consisting of a formal street tree theme in an expansive landscaped parkway system, creates a strong neighborhood identity. The streetscapes respond to the different street types, contextual settings and functions. Plant materials utilized in the streetscapes have been selected to enhance the image of the neighborhoods. The parkway is a key element to the overall neighborhood streetscene. The street trees for each residential neighborhood will be selected by the Master Developer based on their ability to reinforce the neighborhood theme and compliment the architectural style of the homes. Development of the neighborhood parkways will be the responsibility of the Guest Builder.

- All street trees shall remain in the right of way.
- Groundcover shall be low growing, drought tolerant planting that thrives in The Preserve.
- Parkway shall be maintained by Preserve Master Maintenance Corporation.
- Where line of sight precludes installation of trees within the parkway and landscape setback, enhanced shrub planting shall be provided. No shrub can exceed 30" in height.
- All parkways shall be provided with a layer of mulch as a top dressing.
 - For additional parkway information, refer to section 5-27.

Typical 5' Walk
Typical 7' Parkway



Parkway Criteria

- The Master Developer shall choose the community and neighborhood trees to maximize visual neighborhood identity.
- Plant a minimum of one 24-inch box street tree in the right-of-way for each home site.
- Plant a minimum of one 24-inch box street tree in front and two 24-inch box street trees in the side right-of-way for each corner home site yard (three parkway street trees total for each corner lot).
- Provide an average tree spacing of 30 feet on center, with a 40-foot maximum spacing. Variations in spacing may occur in some neighborhoods or streets depending on mature canopy size of selected tree species.
- Install automatic irrigation systems.

Private Drive Aisle Criteria

Private Drive Aisles sometimes are used to access garages in: Fee Simple SFD neighborhoods; detached condo units; and attached multi-family neighborhoods.

Fee Simple SFD neighborhoods typically fall in to LDR zoned areas and sometimes in the lower density range of MDR. These neighborhoods should allow for drive aprons between 3'-5' deep. The separation between homes should also allow for tree placements between units.

Detached condominium neighborhoods can fall into the high end of the LDR range and throughout the MDR and low end of the HDR range of units per acre. In higher zoned areas the homes are placed closer together. They can be placed sometimes as close as 6'-7' apart. In these neighborhoods drive aprons should strive



Detached Homes with 3' Aprons



Detached Condo homes with 3' Aprons



SFD Drive-aisle loaded homes with trees shown between homes



SFD Drive-aisle loaded homes without trees shown between homes



Vines on Trellis



MF with Décor Pots & inert ground material



MF with 3'-5' Aprons



MF Attached homes with 3' Aprons

to provide a 3' drive apron. Acceptable solutions may include a trellis element for vine growth over the garage doors, special potted plants, decorative hardscape, and specially trimmed shrubs, like the boxwood hedge.

Multi-family neighborhoods may fall into a wide range of densities in the MDR and HDR zoned areas. The higher the density, the tighter the buildings are to each other and may result in drive aprons of 3'. Special attention needs to be placed on the landscape solution for these shallower aprons. Acceptable solutions may include a trellis element for vine growth over the garage doors, special potted plants, decorative hardscape, and specially trimmed shrubs, like the boxwood hedge.



Unsuccessful Drive-aisle treatment in limited space



MF Attached homes with 3' Aprons with Trellis enhancement



Successful Drive-aisle treatment in limited space

5.2.3 Residential Landscape

The planning, architectural styles and landscape theme on the community level promotes a strong feeling of unity throughout the project. Reflecting the different product types allows for Individual expression at the neighborhood level creating diversity and thus a sense of place. The Preserve's neighborhoods are organized into a unique mix of product types, architectural styles and orientation to site features. This individual character in each of the neighborhoods is enhanced primarily through its unique planting theme.

Each neighborhood planting theme is created to allow for diversity between the neighborhoods, while design tools, features, techniques and a comprehensive plant palette promote project wide cohesion.

Below is a description of each development type's unique features to help designers have insight into individual features and create a consistent "starting point".

Development Types

Single-Family Type Homes

This includes the following product types:

- Cottage Home (Suburban) Criteria
- Drive-aisle Home (Suburban) Criteria
- Bungalow (Urban) Criteria
- Paired Homes – (Urban) Criteria
- Paired Homes – "Zero Lot Line" (Urban) Criteria

The unique landscape designs should reflect the individual character of the differing product and development types. It is important to note that this design should be approached in a holistic "neighborhood wide" sense and not "piece mealed" within each development. Each product type should have a consistent landscape theme and not be chopped up to reflect the individual architecture of each home. Adhering to the master plant list will provide the necessary community cohesion between each of these product types.

Cottage Home (Suburban) Criteria

Typical Landscape Design Criteria

- Select approved plant species from The Preserve Plant Matrix based on neighborhood product style.
- For a small lot (< 4,000 s.f.), use approximately 75% to 100% shrubs with an option of up to 25% (typ.) decorative inert alternative materials in designed areas.
- For a large lot(> 4,000 s.f.), use approximately 70% to 100% shrubs with an option of up to 25% (typ.) turf and/or decorative inert alternative materials in designed area.
- Decorative inert alternative material is encouraged to provide an additional layer of texture and color to the ground plane. These materials must be permanently installed over native soil to allow for natural percolation in these areas. For additional information, refer to section 5-29.
- Provide a minimum of one 24-inch box backdrop accent tree per unit (front yard).
- Install foundation shrubs (min. 24" high) around base of the home. Use varying species types and forms to complement home's front façade.
- Use large shrubs at base of fences, walls, and home façades.
- Keep turf limited or alternative material approximately four feet from the house edge and from any side yard property line walls to allow for foundation shrub planting.
- Plant accent shrubs to highlight home's entries.
- Provide access walks to home front entry. Connect walk to sidewalk or home's driveway.
- AC units in Fee Simple neighborhoods should be placed behind private yard fencing, so as not to be visible from the street..

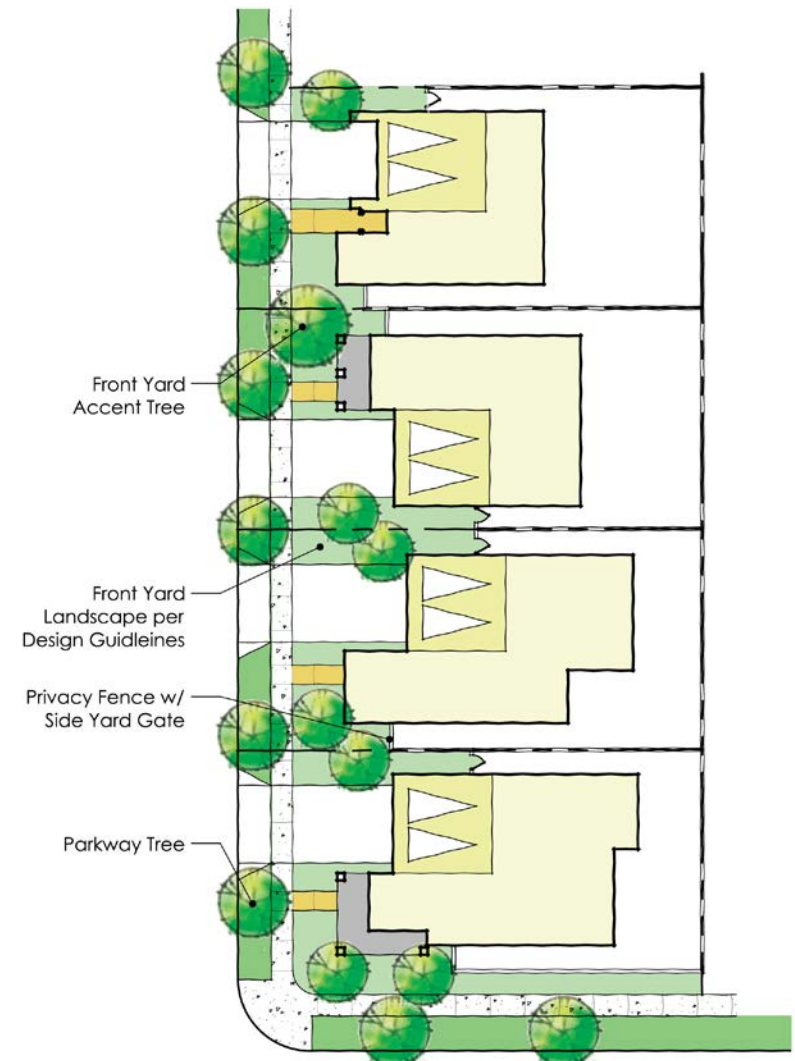


FIGURE 5.6: COTTAGE HOME (SUBURBAN) CRITERIA

- Provide tiered planting whenever possible. Planter with a width of 3 to 5 feet shall have a minimum of two (2) tiers of planting. Over 6' wide shall have three (3) tiers of planting.
- "Outdoor rooms": Encourage creating front yard private spaces as "outdoor rooms" in an effort to "capture" opportunities to create usable, human spaces. Through the use of decorative pavement, low planting, seat walls and appropriate furniture, the "outdoor rooms" will activate the streetscape and provide continual visual interest. "Outdoor rooms" shall have a buffer and plant material screening from any adjacent property line.
- All planting areas shall receive decorative top dressing to help retain moisture and limit weed growth. Top dressing shall be a minimum 3" depth of organic mulch or decorative fractured rock.
- Plant slopes over 3:1 surface gradient with groundcover and shrubs.
- Install automatic irrigation system in the front yard of each residential home site.
- A large yard is defined as being greater than 60 feet wide; or greater than 15 feet deep as measured from the back of sidewalk to the building face nearest the street.

Typical Corner/Side Yard Landscaping Criteria

Use all requirements under the Typical Landscaping Criteria section with section with the following

Additions when it occurs:

- Provide an additional 24-inch box vertical backdrop or accent canopy tree at corner lots (two (2) trees total).

Rear-Loaded Home (Suburban) Criteria

Typical Landscape Design Criteria

- Select approved plant species from The Preserve Plant Matrix based on neighborhood product style.
- For a small lot (< 4,000 s.f.), use approximately 75% to 100% shrubs with an option of up to 25% (typ.) decorative inert alternative materials in designed areas.
- For a large lot (> 4,000 s.f.), use approximately 70% to 100% shrubs with an option of up to 25% (typ.) turf and/or decorative inert alternative materials in designed area.
- Decorative inert alternative material is encouraged to provide an additional layer of texture and color to the ground plane. These materials must be permanently installed over native soil to allow for natural percolation in these areas.
- Provide a minimum of one 24-inch box backdrop accent tree per unit (front yard).
- Install foundation shrubs (min. 24" high) around base of the home. Use varying species types and forms to complement home's front façade.
- Use large shrubs at base of fences, walls, and home facades.
- Keep turf limited or alternative material approximately four feet from the house edge and from any side yard property line walls to allow for foundation shrub planting.
- Plant accent shrubs to highlight home's entries.
- Provide access walks to home front entry. Connect walk to sidewalk or home's driveway.
- A.C. units visible from street shall be screened by a 36" high hedge or located in private areas when possible. Maintain hedge at 36" high

to avoid overgrown/rangy hedges. A.C. units also have the potential to be screened with decorative walls.

- Provide tiered planting whenever possible. Planter with a width of 3 to 5 feet shall have a minimum of two (2) tiers of planting. Over 6' wide shall have three (3) tiers of planting.
- "Outdoor rooms": Encourage creating front yard private spaces as "outdoor rooms" in an effort to "capture" opportunities to create usable, human spaces. Through the use of decorative pavement, low planting, seat walls and appropriate furniture, the "outdoor rooms" will activate the streetscape and provide continual visual interest. "Outdoor rooms" shall have a buffer and plant material screening from any adjacent property line.
- All planting areas shall receive decorative top dressing to help retain moisture and limit weed growth. Top dressing shall be a minimum 3" depth of organic mulch or decorative fractured rock.
- Plant slopes over 3:1 surface gradient with groundcover and shrubs.
- Install automatic irrigation system in the front yard of each residential home site.

Typical Corner/Side Yard Landscaping Criteria

Use all requirements under the Typical Landscaping Criteria section with the following

Additions when it occurs:

- Provide an additional 24-inch box vertical backdrop or accent canopy tree at corner units, if space allows.

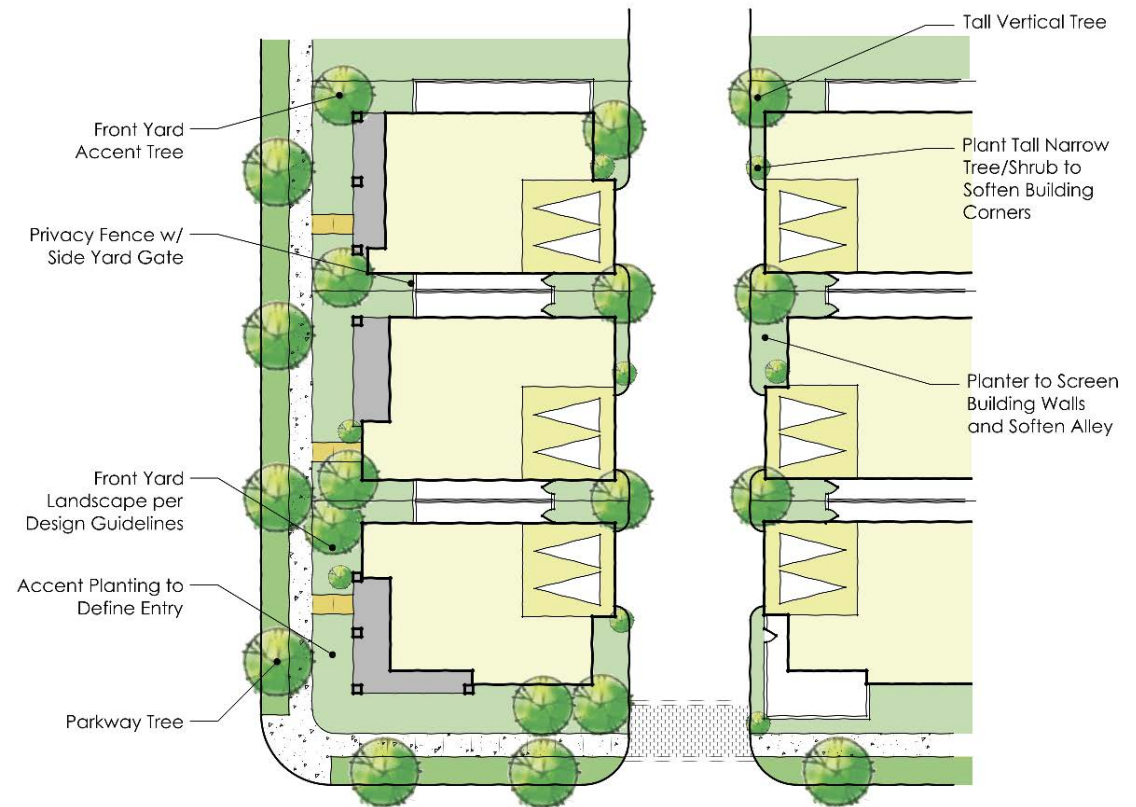


FIGURE 5.7: REAR-LOADED HOME (SUBURBAN) CRITERIA



Drive aisle tree example

Bungalow (Urban) Criteria

Typical Landscape Design Criteria

- Select approved plant species from The Preserve Plant Matrix based on neighborhood product style.
- Decorative inert alternative material is encouraged to provide an additional layer of texture and color to the ground plane. These materials must be permanently installed over native soil to allow for natural percolation in these areas. For additional information, refer to section 5-29.
- Provide a minimum of one 24-inch box backdrop accent tree per unit (front yard).
- Install foundation shrubs (min. 24" high) around base of the home. Use varying species types and forms to complement home's front façade.



Cable Trellis Example

- Use large shrubs at base of fences, walls, and home facades.
- Keep turf or alternative material approximately four feet from the house edge and from any side yard property line walls to allow for foundation shrub planting. For additional information, refer to section 5-29.
- Plant accent shrubs to highlight home's entries.
- Sidewalks may be 4' wide if serving 1-2 units, but need to be 5' if serving more than two units. Connect walk to sidewalk or home's driveway.
- A.C. units visible from street shall be screened by a 36" high hedge or located in private areas when possible. Maintain hedge at 36" high to avoid overgrown/rangy hedges. A.C. units also have the potential to be screened with decorative walls.
- Provide tiered planting whenever possible. Planter with a width of 3 to 5 feet shall have a minimum of two (2) tiers of planting. Over 6' wide shall have three (3) tiers of planting.
- All planting areas shall receive decorative top dressing to help retain moisture and limit weed growth. Top dressing shall be a minimum 3" depth of organic mulch or decorative fractured rock.

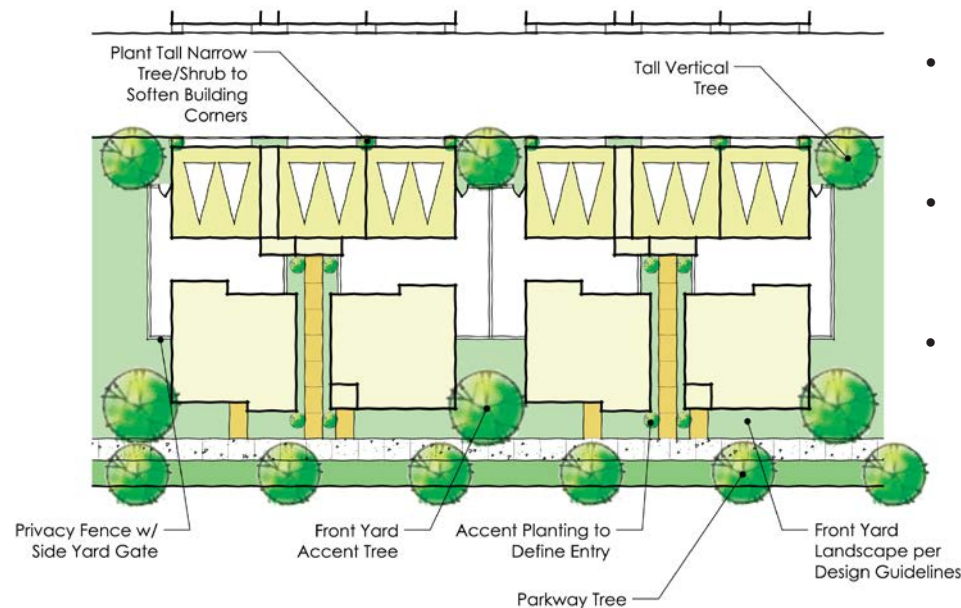


FIGURE 5.8: BUNGALOW (URBAN) CRITERIA

- Plant slopes over 3:1 surface gradient with groundcover and shrubs.
- Install automatic irrigation system in the front yard of each residential home site.
- Accent the entry process to the carriage unit (unit over garage) with vertical landscape elements.

- Minimum planter width is 24" wide.
- Locate mailbox cluster units within or adjacent to recreation/park areas, if possible.

Typical Corner/Side Yard Landscaping Criteria

Use all requirements under the Typical Landscaping Criteria section with the following additions when it occurs:

- Provide an additional 24-inch box vertical backdrop or accent canopy tree at corner units, if space allows (two (2) trees total).

Paired Homes – (Urban) Criteria and Paired Homes – “Zero Lot Line” (Urban) Criteria

Typical Landscape Design Criteria

- Select approved plant species from The Preserve Plant Matrix based on neighborhood product style.
- Decorative inert alternative material is encouraged to provide an additional layer of texture and color to the ground plane. These materials must be permanently installed over native soil to allow for natural percolation in these areas.
- Provide a minimum of one 24-inch box backdrop accent tree per unit (front yard).
- Install foundation shrubs (min. 24" high) around base of the home. Use varying species types and forms to complement home's front façade.
- Use large shrubs at base of fences, walls, and home facades.
- Keep turf or alternative material approximately four feet from the house edge and from any side yard property line walls to allow for foundation shrub planting.

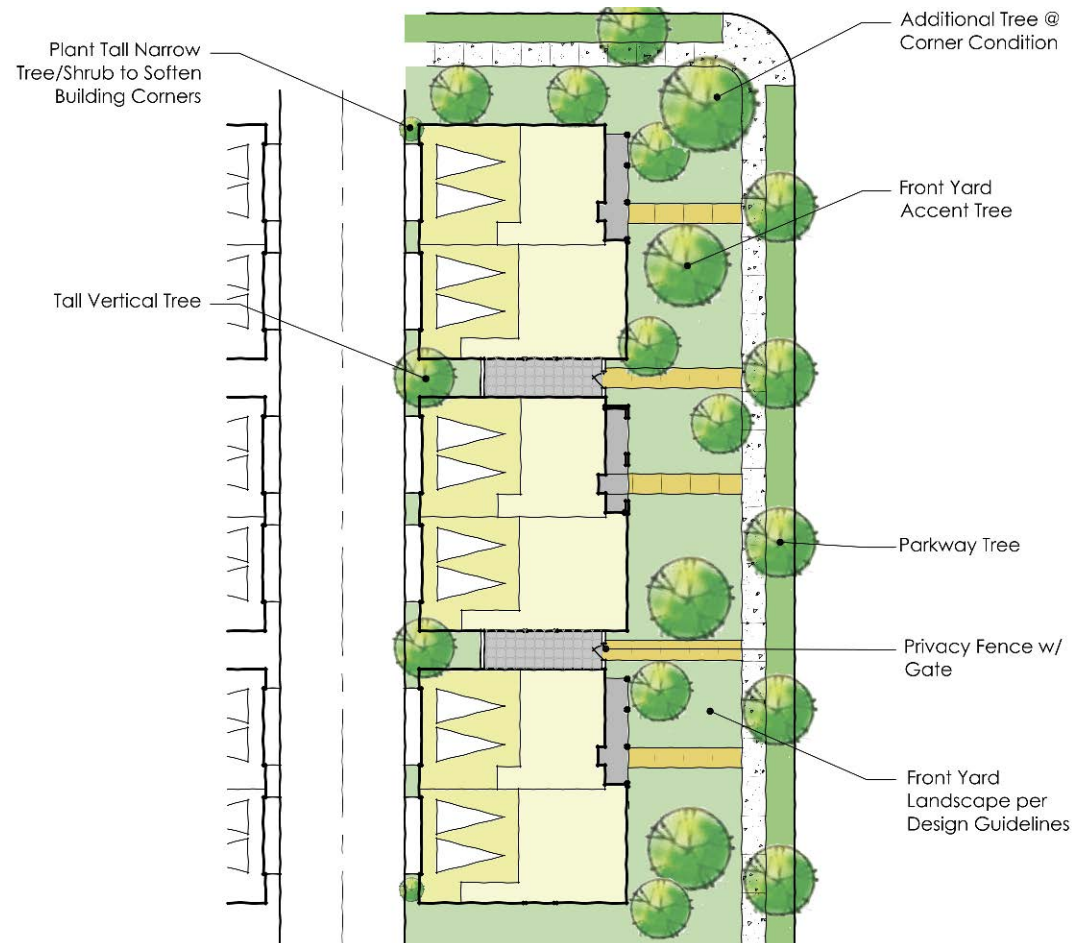


FIGURE 5.9: PAIRED HOME (URBAN) CRITERIA

- Plant accent shrubs to highlight home's entries.
- Provide access walks to home front entry. Connect walk to sidewalk or home's driveway.
- A.C. units visible from street shall be screened by a 36" high hedge or located in private areas when possible. Maintain hedge at 36" high to avoid overgrown/rangy hedges. A.C. units also have the potential to be screened with decorative walls.

- Provide tiered planting whenever possible. Planter with a width of 3 to 5 feet shall have a minimum of two (2) tiers of planting. Over 6' wide shall have three (3) tiers of planting.
- "Outdoor rooms": Encourage creating front yard private spaces as "outdoor rooms" in an effort to "capture" opportunities to create usable, human spaces. Through the use of decorative pavement, low planting, seat walls and appropriate furniture, the "outdoor rooms" will activate the streetscape and provide continual visual interest. "Outdoor rooms" shall have a buffer and plant material screening from any adjacent property line.
- All planting areas shall receive decorative top dressing to help retain moisture and limit weed growth. Top dressing shall be a minimum 3" depth of organic mulch or decorative fractured rock.
- Plant slopes over 3:1 surface gradient with groundcover and shrubs.
- Install automatic irrigation system in the front yard of each residential home site. Irrigation must comply with Chapter 20.19 of the City's Zoning Ordinance and the requirements of MWEL0.

- A large yard is defined as being greater than 60 feet wide; or greater than 15 feet deep as measured from the back of sidewalk to the building face nearest the street.
- Minimum planter width is 24" wide.
- Locate mailbox cluster units within or adjacent to recreation/park areas, if possible.

Typical Corner/Side Yard Landscaping Criteria

Use all requirements under the Typical Landscaping Criteria section with section with the following

Additions when it occurs:

- Provide an additional 24-inch box vertical backdrop or accent canopy tree at corner lots (two (2) trees total).

Rear-Loaded Home (Suburban) Criteria

- Minimum planter width is 24" wide in suburban conditions.
- A 3" layer of mulch/fractured rock is required on all exposed soil surfaces.

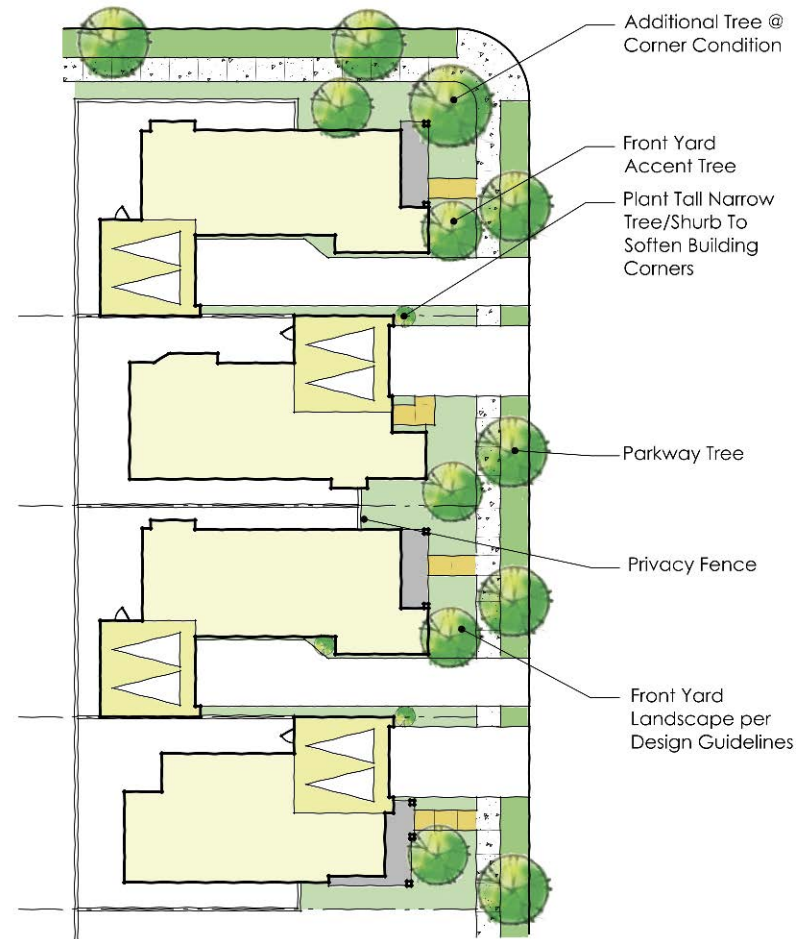


FIGURE 5.10: PAIRED HOME (ZERO LOT LINE) CRITERIA

- Install automatic irrigation system in the front yard of each residential home site. All irrigation must comply with the City's Zoning Ordinance and the requirements of MWEL0.

B. Multi-Family and Urban Detached Type Homes

This includes the following product types:

- Row Townhome (Urban) Criteria
- Motor Court Cluster Urban Criteria
- Green Court Urban Criteria
- Paseo Cluster Urban Criteria

Each of these product types allows for a unique application of “front yard” landscape design. This design should be reflective of the individuality of the particular development type. It is important to note that this design should be approached in a holistic “neighborhood wide” sense and not “piecemealed” within each development. Each product type should have a consistent landscape theme and not be chopped up to reflect the individual architecture of each home. Adhering to the master plant list will provide the necessary community cohesion between each of these product types.

Row Townhome (Urban)

A program of enhanced walk nodes and low walls creates a synergistic design within the space defined between two buildings. Planting creates and defines spaces within the courtyard and provides privacy between the buildings. (See Figure 5.11).

Typical Landscape Design Criteria

- Select approved plant species from The Preserve Plant Matrix based on neighborhood product style.
- Use approximately 75% to 100% shrubs with an option of up to 25% decorative inert alternative materials in designed areas.
- Decorative inert alternative material is encouraged to provide an additional layer of texture and color to the ground plane. These

materials must be permanently installed over native soil to allow for natural percolation in these areas.

- If room allows, provide a minimum of one 24-inch box tree per unit. This is a recommendation, not a requirement, however some form of plant material is required.
- If room allows, provide one 5 gallon minimum vertical accent shrub at corner. See Neighborhood Plant List for shrub species with a **.
- Install foundation shrubs (minimum 30” high) around base of the building. Use varying species types and forms to complement home’s front façade.
- Use large shrubs at base of fences, walls, and building facades.
- Keep turf or alternative material approximately four feet from the building edge and from any side yard property line walls to allow for foundation shrub planting.
- Plant accent shrubs to highlight each home’s entries.
- A.C. units visible from street shall be screened by a 36” high hedge or located in private areas when possible. Maintain hedge at 36” high to avoid overgrown/rangy hedges. A.C. units also have the potential to be screened with decorative walls.
- Provide tiered planting schemes for all planting areas over 36” wide.
- All planting areas shall receive decorative top dressing to help retain moisture and limit weed growth. Top dressing shall be a minimum 3” depth of organic mulch or decorative fractured rock.
- Install automatic irrigation system in the front yard of each residential home site.
- Planters should be a minimum of 2’ deep. Planters less than 2’ deep should be limited in length or provide vines along walls or alternate decorative feature.

- Hardscape - Common area walks shall have change in directions and finishes to promote interest, highlight entries to individual front doors and/or create small public gathering spaces.
- Provide vertical accent elements to define pedestrian entrance points leading into paseo common areas.
- Provide a minimum 24" wide planter 30% around any portion of any private patio wall adjacent to paseos and facing streets for adequate screening.
- Align trees within the paseo to help screen/soften second floor "window-to-window" views.
- Screen grouped building utilities from common areas, paseos and streetscape views by the use of vertical hedges.
- Use planting to screen cars when parking is located adjacent to a public street.
- Screen carports and parking stalls with landscape planters.
- Enclose trash bins with a six feet CMU wall. CMU walls need to be decorative. Use landscape buffers/vines on three sides of trash enclosures.
- Locate trash bins for ease of maintenance and trash location. Recommended locations include inside parking courts at the end of parking bays. Screen trash bins from off-site views.
- All trash bins need to be accessible and provide accessible pathways to the enclosures.
- Locate mailbox cluster units within or adjacent to recreation/park areas, if possible.



FIGURE 5.11: ROW TOWNHOME (URBAN) CRITERIA

Urban Detached Criteria

- Motorcourt Cluster
- Greencourt
- Paseo Cluster

Motorcourt Cluster: Each building cluster is situated around a common “Motor Court” as its common space. The landscape accents each entry to each individual unit to create a “sense of place” for each individual homeowner.

Greencourt: A common interior courtyard space creates a sense of community within each cluster. The landscape design enhances this interior room as well as creating opportunities for neighbor interaction.

Paseo Cluster: A common walk with enhanced nodes at key intersections elevate each resident’s entry experience. The goal is to give each homeowner their own sense of “entry”. Design elements and plant selection help to better this experience.

Typical Landscape Design Criteria for Urban Detached (See Figure 5.12)

- Select approved plant species from The Preserve Plant Matrix based on neighborhood product style.
- Use approximately 75% to 100% shrubs with an option of up to 25% decorative inert alternative materials in designed areas.
- Decorative inert alternative material is encouraged to provide an additional layer of texture and color to the ground plane. These

materials must be permanently installed over native soil to allow for natural percolation in these areas.

- Provide a minimum of one 24-inch box tree per unit.
- Install foundation shrubs (minimum 30” high) around base of the home. Use varying species types and forms to complement home’s

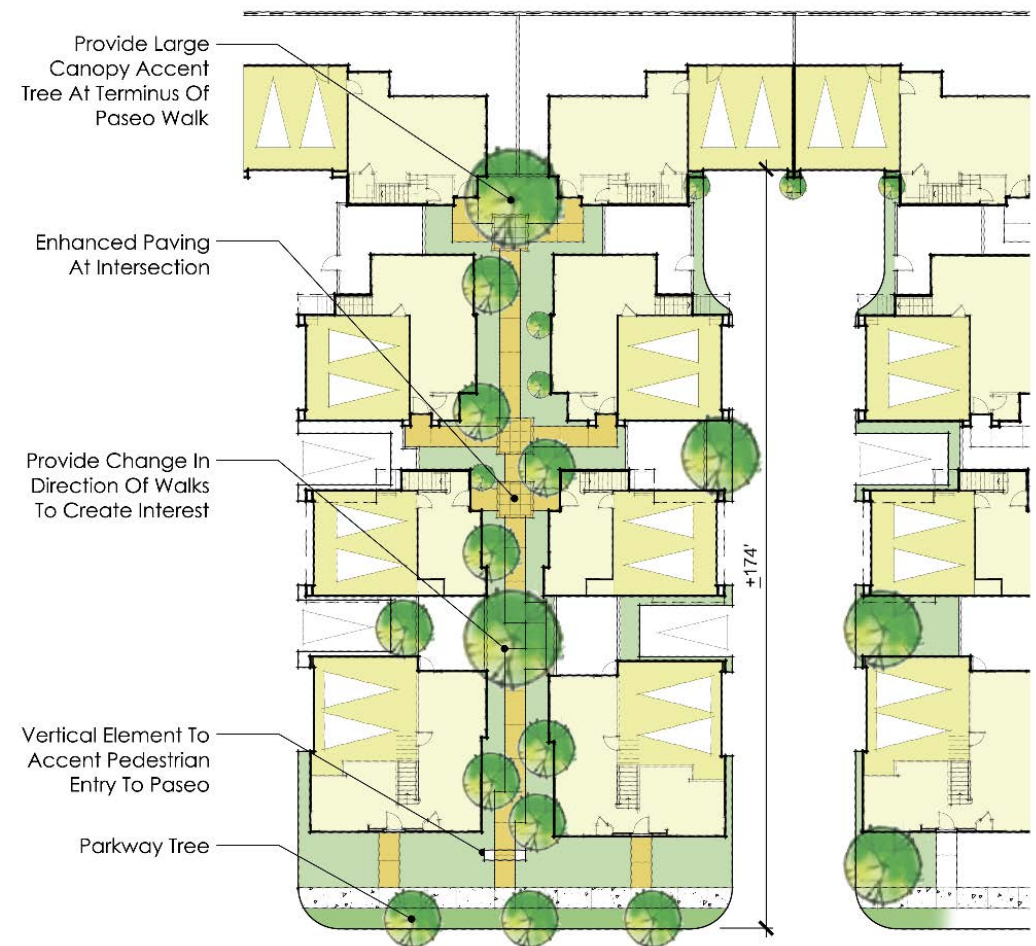


FIGURE 5.12: TYPICAL URBAN DETACHED CRITERIA

- Use large shrubs at base of fences, walls, and home facades.
- Keep turf or alternative material approximately four feet from the house edge and from any side yard property line walls to allow for foundation shrub planting.
- Plant accent shrubs to highlight each home's entries.
- Provide access walks to home front entry.
- A.C. units visible from street shall be screened by a 36" high hedge or located in private areas when possible. Maintain hedge at 36" high to avoid overgrown/rangy hedges. A.C. units also have the potential to be screened with decorative walls.
- Provide tiered planting schemes for all planting areas over 24" wide.
- All planting areas shall receive decorative top dressing to help retain moisture and limit weed growth. Top dressing can be organic mulch or decorative fractured rock.
- Install automatic irrigation system in the front yard of each residential home site.
- Planters should be a minimum of 2' deep. Planters less than 2' deep should be limited in length or provide vines along walls or alternate decorative feature.
- Add pots or vertical hardscape elements to help announce/define home entries that open off of the motor court.
- Encourage enhanced motor court walkway experience by varying hardscape materials
- Provide focal elements or large tree at terminus of motor court entry.
- Special attention is to be given to entry throats of motor courts to provide softening of building corners.
- Use planting to screen cars when parking is located adjacent to a public street.
- Install one parking lot tree for every four spaces excluding carports and garage parking.
- Screen carports and parking stalls with landscape planters.
- Locate mailbox cluster units within or adjacent to recreation/park areas, if possible.

In addition, the character of each neighborhood may also be reflected in certain aspects of the following elements:

- Neighborhood entries and gateways
- Neighborhood streetscape concepts
- Neighborhood street furniture (entry trellis', pilasters, lighting, etc.)
- Parkways
- Walls and fencing

At the same time, the repetition of these elements throughout the community will provide a consistent thread throughout The Preserve, giving the community its overall character and uniqueness.

C. Parkway Design Criteria

Sidewalk Layout

The sidewalk shall be 5-feet wide and laid out to run parallel with the curb with a minimum distance of 7' from face of curb.

Parkway Planting:

All parkways shall be continuously planted with low groundcover plant material. The parkway planting design shall be created by alternating two types of plant material in the following manner: There will be a major

plant that will represent 75% of the parkway planting and a minor plant representing 25% of the planting. This shall be comprised of two of the four following plants:

- Myoporum parvifolium (Myoporum) from 1-gallon containers at 36" max. o.c.
- Trachelospermum asiaticum (Asian Jasmine) from 1-gallon containers at 36" max. o.c.
- Carex divulsa (Berkley Sedge) from 1-gallon containers at 30" max. o.c.
- Dianella revoluta 'Little Rev' (Little Rev Flax Lily) from 1-gallon containers at 24" max. o.c.

These plants may be used in three different schemes:

Scheme 1 – Unbroken Parkway or Multi-Family Development:

Plants may be used in an alternating massings with separations between the two, running perpendicular to the curb. The plants are to be arranged

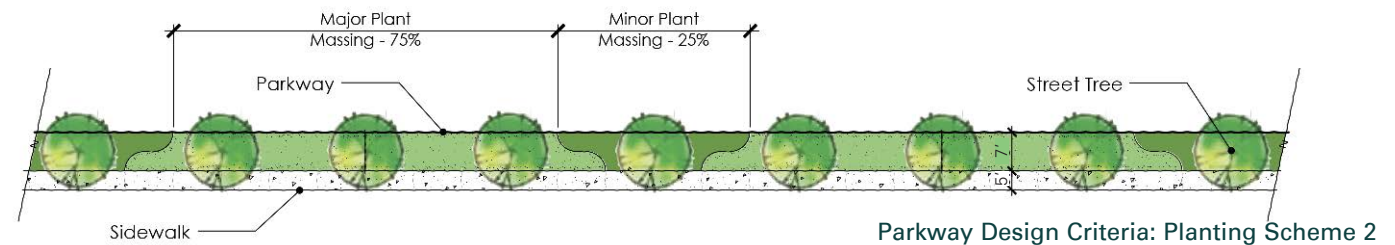
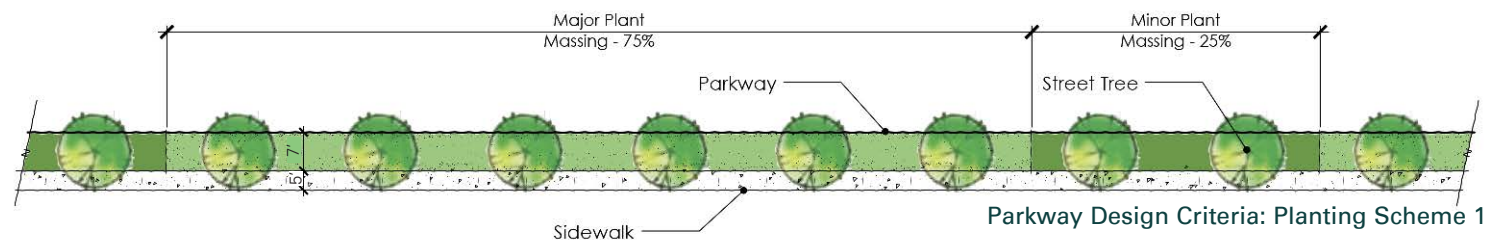


FIGURE 5.13: PARKWAY DESIGN CRITERIA SCHEMES 1 & 2

in “major” and “minor” massings. The minor massings should be oriented around the street tree placement as a unifying element. ((See Figure 5.13)

Scheme 2 - Unbroken Parkway or Multi-Family Development:

Plants may be used in an alternating massing with the major and minor plants overlapping and running parallel with the curb. The overlapping form should be curved and the minor plant should be adjacent to the curb for a minimum distance of 10-feet. The plants are to be arranged in “major” and “minor” massings. The minor massings should be oriented around the street tree placement as a unifying element. ((See Figure 5.13)

Scheme 3 - Broken Parkway or Single-Family Development:

Plants may be used in an alternating massing with the major and minor plants overlapping and running parallel with the curb. The overlapping form should be curved and the minor plant should be adjacent to the curb for a minimum distance of 10-feet. These massings should only occur where the larger “front” yards of adjoining properties are next to each other. The plants are to be arranged in “major” and “minor” massings.

The minor massings should be oriented around the street tree placement as a unifying element. ((See Figure 5.14)

In all schemes, the scale of the mass planting of same species should consider the design speed of the adjacent road and not fluctuate too often. Encourage massing groups to be no less than twenty lineal feet of curb face.

All parkways shall be provided with a minimum 3” layer of decorative rock as a top dressing.

Line of sight in parkways: Tree installation is not allowed in areas of the parkway where line of sight guidelines require clear visibility. In areas where trees are not allowed there would be enhanced shrub planting. All plant material in these areas shall not exceed 30” in height.

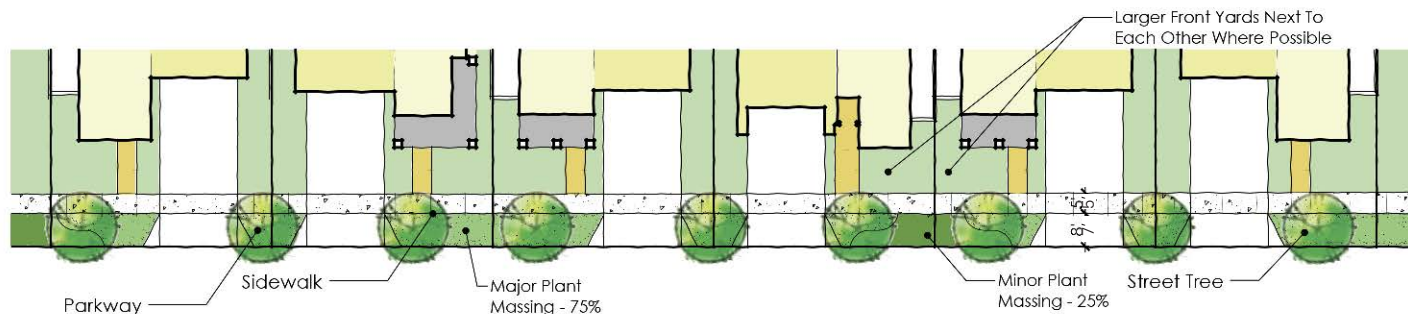


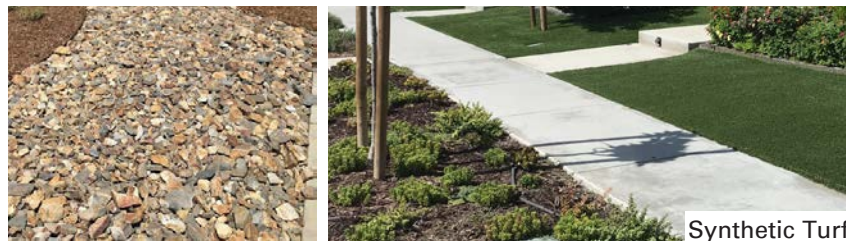
FIGURE 5.14: PARKWAY DESIGN CRITERIA: PLANTING SCHEME 3

Landscape Design Criteria

Inert Alternative Materials

Individual residents will be encouraged to utilize alternative landscaping techniques to reduce turf and enhance the overall appearance throughout the Preserve. These alternative techniques include, but are not limited to:

- Synthetic (Artificial) Turf: Can be used as a substitute for turf. Color of material must mimic natural turf and must be permanently installed over native soil.
- Fractured Rock: Must be a minimum of 1" up to 6" maximum in size. It must be laid in a continual layer over native soil so that no soil is visible. Color of material may not be gray.
- Planter width to be 24" minimum.
- Decorative gravel: Must be a minimum of 3/8" up to 1" maximum in size. It must be laid in a continual layer over native soil so that no soil is visible. Gravel must be confined by an appropriate edging material on all sides. Color of material may not be gray.
- Decomposed Granite (DG): It must be laid in a continual layer and compacted over native soil.



Inert Material Examples

Vertical Landscape Application

- Vertical Landscaping: Encourage orienting landscape vertically rather than just horizontally. Vertical landscaping requires less ground space and concentrates required watering. Vertical plantings help reduce visual harshness of blank walls and can enhance perceived depth in open spaces. Such techniques in vertical plantings can include vines, trellises, narrow vertical shrubs or large pots with small trees.
- When a landscape wall or blank building façade wall over 8' long occurs, a vine on trellis or a series of narrow vertical shrubs shall be provided to soften appearance. Plant varieties and spacing shall ensure that at least 25% of the bottom 6' of the wall shall be screened.

Planting Constraints

- There are several planting and hardscape restrictions, constraints and consideration which occur as follows:
- Solar Orientated Landscaping: organize landscape based on sun exposure (west/south side requires direct sun and tolerated reflected heat, east side should have plants that require filtered or moderate sunlight, and north side needs shade tolerant plants).
- Turf Limitations: Limit amount of turf in front yards based on yard size (i.e. 20% of total square footage with an 8' minimum dimension – per AB 1881, Model Water Efficient Landscape Ordinance). Developer may choose to have the front yards to be turf-free. The turf list should include drought tolerant options (i.e. 'Buffalo Grass' or others). And encourage use of various groundcover, inert alternative materials, and/or native grasses instead.
- Sight lines: All tree and shrub plant type and locations shall adhere to vehicular sight line requirements. Enhanced shrub planting to be provided in these areas and shall not exceed 30" high.

- Trees shall not be planted closer than four-feet from building wall and hardscape and must have a clear growth path from roof eaves at maturity. Refer to specific product type for species and plant location criteria.
- Trees planted in small areas (less than 10' wide) require an 8-foot linear-type root barrier.
- Trees shall be located with respect to the required clearances from utility/service structures as required by local codes.
- Coordinate utility locations to ensure that a minimum 48" square unencumbered opening is available for each required tree placement.
- Front courtyard/outdoor room walls may be no closer than twelve inches (12") to adjoining hardscape/sidewalk. In conditions where a sidewalk needs to abut a courtyard wall, the design of the wall should be enhanced and/or tie to the architecture of the adjacent unit.
- Planter in drive-aisles adjacent to garage doors: Planters in these locations must be large enough to contain the required soil volume to adequately sustain a viable plant that will soften the architecture. Planters in drive-aisles, at sides of garage door or between garages must be a minimum of six square feet with a minimum dimension of three feet deep for Suburban and two feet for Urban products. If architecture or site plan does not allow for the minimum required square footage or dimensions, then it is encouraged that no planter be installed for long term sustainability reasons.

Sustainability

- Long term health and maturity is the goal for all planted areas. Over time, landscape area's aesthetic appeal and function should increase without adding unreasonable burden of maintenance.
- Limit large amounts of fast growing hedges as the green waste is a burden on local landfills.
- Plant material shall be selected depending on the size of the planter. Use +75% of the mature size of each specific species to determine its spacing and/or appropriateness for the proposed location so as not to create overcrowding or require excessive trimming.
- Short-lived plant species shall be avoided. Exception: Within a three or more-tiered landscape scenario one (1) species may be a short-lived plant species. Do not mix annuals with short-lived or deciduous perennials.
- Landscape zones: Group plants with similar watering needs together to create distinct and defined watering hydrozones.

Tiered Planting

- Tiered Planting. Using different scales, forms, colors, and/or textures of plant materials tiered – or layered – planting visually increases the depth of planters and promotes interest and diversity.
- The tiered planting landscape program will be based upon product type. This is intended to reaffirm the unique differences between the "Suburban" and "Urban" settings defined within this specific plan. Each different product type shall follow a tiered planting design program unique to its type/group type. The different plant material groups from which to build each tier are defined in the table below.

The application of tiered planting is required to enhance the visual character of the project by softening the appearance of walls and fencing along major community roadways.

- Shrubs shall be a minimum of 5-gallons in size; in any “multi-layer” scheme. For shrubs serving as the first (shortest) layer, a 1-gallon shrub size or rooted cutting is acceptable. When four or more layers are used, shrubs serving as the first two layers may be a minimum of 1-gallon in size.
- Accent planting is encouraged depending on length of planter and could, depending on its use, count as a layer.

TABLE 5.1 GENERAL TIERED LANDSCAPING REQUIREMENTS

Layer	Description	Size
Layer A	Low spreading groundcover (<i>including turf or inert alternative material</i>)	Under 12” height
Layer B	Low mounding shrub/groundcover (<i>informal mass planting</i>)	12” – 30” height
Layer C	Grass or grass like shrub (<i>informal mass planting</i>)	12” – 24” height
Layer D	Low hedge (<i>formal – linear</i>)	18” – 30” height
Layer E	Medium shrub (<i>Informal mass or hedge</i>)	24” – 48” height
Layer F	Vertical (<i>growth habit in columns rather than horizontal and vines on trellis</i>)	42” – 72” height
Layer G	Large shrub (<i>Informal mass or hedge</i>)	42” – 60” height
Layer H	Strategically located specimens	Varies

TABLE 5.2 SPECIFIC TIERED LANDSCAPING REQUIREMENTS

Product Type	Planter Size						
	12” - 18”	18” - 24”	24” - 36”	36” - 60”	60” - up	5’ - 12’	12’ - up
Cottage Homes (Suburban)	•	•	Min. 1 tier C, D or E	Min. 2 tiers A – F	Min. 2 tiers A – F	Min. 3 tiers A – G	Min. 3 tiers A – H
Drive-aisle Loaded (Suburban)	•	•	Min. 1 tier C, D or E	Min. 2 tiers A – F	Min. 2 tiers A – F	Min. 3 tiers A – G	Min. 3 tiers A – H
Paired Homes (Urban)	1 Tier C or D	1 or 2 Tiers Optional C, D or E Or (C & F)”	1 or 2 Tiers Optional C, D or E Or (C & F)”	Min. 2 tiers A – F	Min. 2 tiers A – F	Min. 3 tiers A – G	Min. 3 tiers A – H
Paired Homes-Zero Lot Line (Urban)	1 Tier C or D	1 or 2 Tiers Optional C, D or E Or (C & F)	1 or 2 Tiers Optional C, D or E Or (C & F)	Min. 2 tiers A – F	Min. 2 tiers A – F	Min. 3 tiers A – G	Min. 3 tiers A – H
Row Townhomes (Urban)	1 Tier C or D	1 or 2 Tiers Optional C, D or E Or (C & F)”	1 or 2 Tiers Optional C, D or E Or (C & F)”	Min. 2 tiers A – F	Min. 2 tiers A – F	Min. 3 tiers A – G	Min. 3 tiers A – H
Motor Court Cluster (Urban)	1 Tier C or D	1 or 2 Tiers Optional C, D or E Or (C & F)	1 or 2 Tiers Optional C, D or E Or (C & F)	Min. 2 tiers A – F	Min. 3 tiers A – F	Min. 3 tiers A – G	Min. 3 tiers A – H
Bungalow/Front Loaded Triplex (Urban)	1 Tier C or D	1 or 2 Tiers Optional C, D or E Or (C & F)”	1 or 2 Tiers Optional C, D or E Or (C & F)”	Min. 2 tiers A – F	Min. 3 tiers A – F	Min. 3 tiers A – G	Min. 3 tiers A – H
Paseo Cluster (IDN)	1 Tier C or D	1 or 2 Tiers Optional C, D or E Or (C & F)	1 or 2 Tiers Optional C, D or E Or (C & F)	Min. 2 tiers A – F	Min. 3 tiers A – F	Min. 3 tiers A – G	•
Motor Court Cluster (IDN)	1 Tier C or D	1 or 2 Tiers Optional C, D or E Or (C & F)	1 or 2 Tiers Optional C, D or E Or (C & F)	Min. 2 tiers A – F	Min. 3 tiers A – F	Min. 3 tiers A – G	•

This table provides details on how to approach multi-layered landscaping in front and side yards for all product types and slopes and large open spaces. The information shown is presented in a manner intended to communicate the design application from “front to back”. (example: curb to house).



5.3 PARKS AND RECREATION

Pocket parks and formative parks are intended for the use of neighborhood residents and are designed to be the focal points of each neighborhood. Recreational opportunities provided in the parks should reflect the residential neighborhoods which they serve. Each park should have a unique form and character while also displaying unifying design elements that knit the parks together. The central location of these parks is designed such that everyone is generally within a few blocks of a park or open space, creating a human-scale and opportunity for social interactions. Park designs will incorporate the thematic concept of adjoining residential areas using specimen trees, flowering shrubbery and sodded turf to set these spaces off as focal elements. Additional elements such as tree groves, thematic shade structures and special hardscape treatments will further tie these spaces into the neighborhood character. Pocket parks shall be installed by the Guest Builders and maintained by the Master Association.

Plans developed for City Parks shall be submitted to the Community Services Department for review and approval.



FIGURE 5.15: POCKET PARKS/RECREATION AREAS LOCATION PLAN

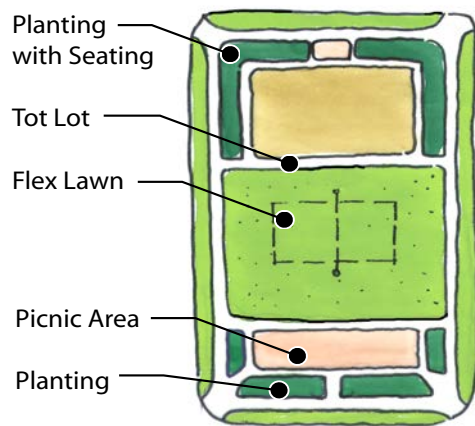
5.3.1 Pocket Park and Formative Park Criteria

Park amenities may include, but are not limited to: open turf flex areas, tot lots, picnic areas, ornamental gardens, passive meditative features, nature trails, active sports areas, BBQ's, swimming pools, benches, shade structures and water fountains. (See Section 2: Neighborhood Crafting for additional discussion.)

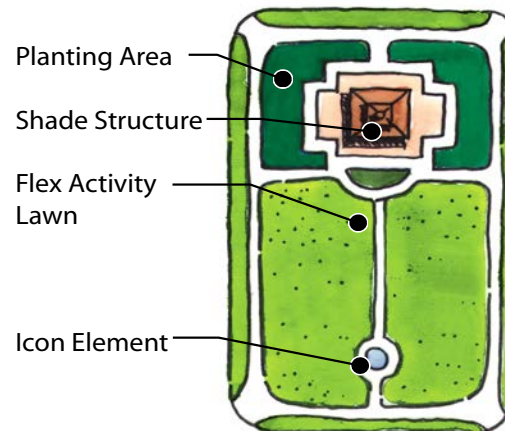
- Use vertical trees to provide privacy for adjacent homes.
- Plant shrubbery along perimeters where walls or slopes occur.
- Apply all general residential landscape requirements.

- Opportunity for neighborhood park signage is encouraged.
- Use site furnishings proposed in site furnishings section.
- Site lighting shall be consistent with the lighting plan and City of Chino.
- Use of canopy trees and shade structures to provide adequate shade in park area

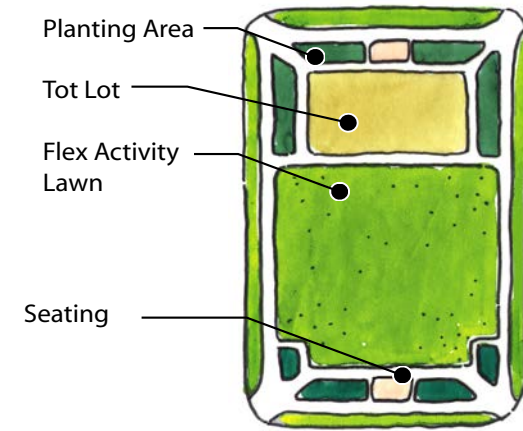
The pocket parks should emphasize flex spaces, passive uses and tot lots, while the formative parks could provide more active uses, such as swimming pools and sports areas, in addition to the program uses of the pocket parks.



A. TYPICAL .3-.5 ACRE POCKET PARK-
Emphasis on Combination Active/ Passive Uses



B. TYPICAL .3-.5 ACRE POCKET PARK-
Emphasis on Passive Uses



C. TYPICAL .3-.5 ACRE POCKET PARK-
Emphasis on Large Active Flex Lawn

FIGURE 5.16: POCKET PARK PLANS AND PROGRAMS

Note: Pocket Park Concepts built by guest builder

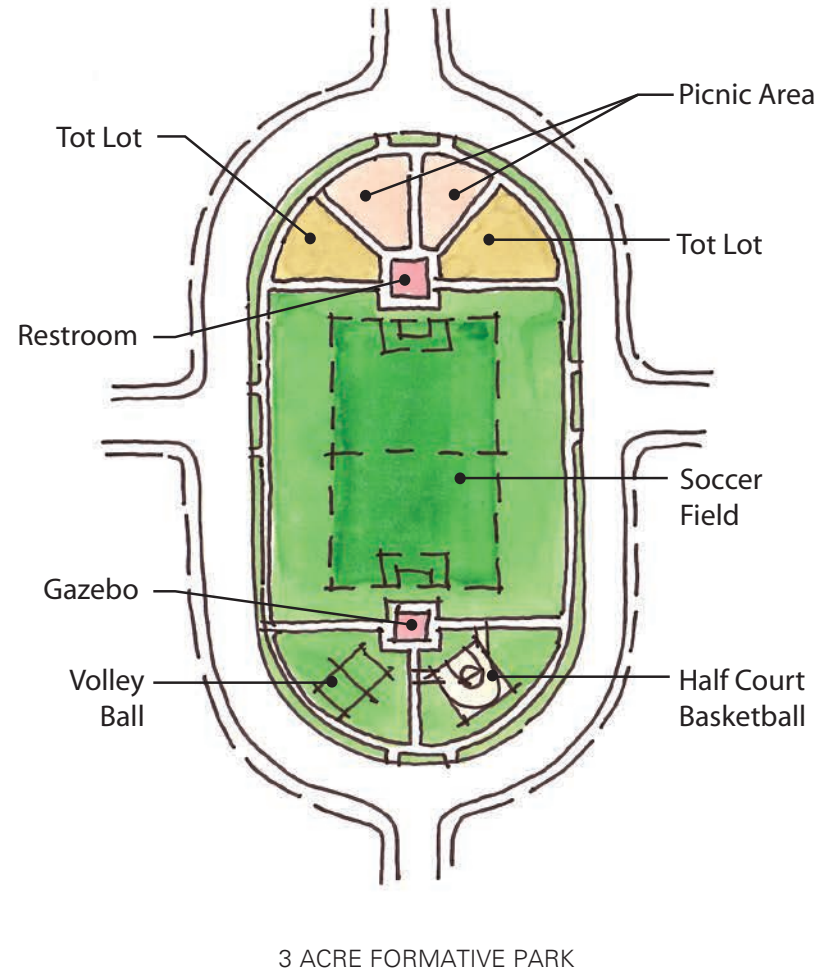
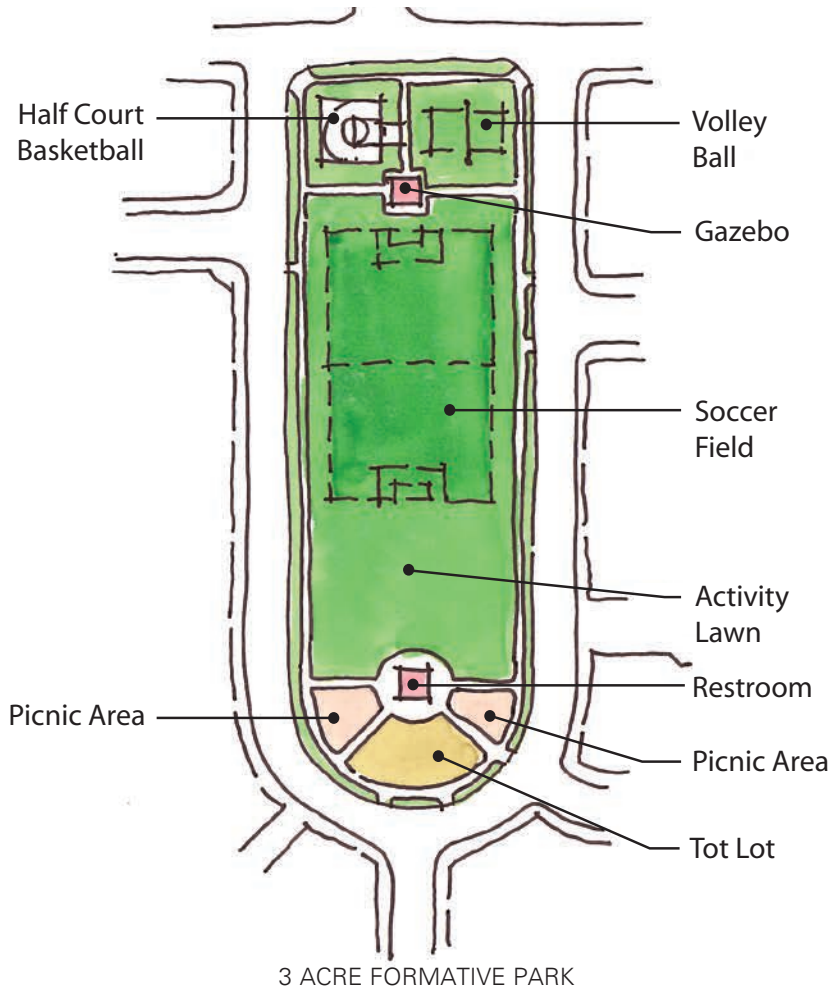


FIGURE 5.17: FORMATIVE PARK PLANS AND PROGRAM

Note: Neighborhood Park designs built by Master Developer

5.4 WALLS AND FENCING

Walls and fences are an integral component and extension of the building designs and surrounding landscape. They define community boundaries and limits of property ownership and create exterior privacy while providing unity within a product area. Walls and fences shall be constructed of materials that match the community walls and fence details. The colors and textures shall be similar and harmonious with the architectural expression of adjacent homes. For details, refer to Landscape Design Section 4.2, Material List, Elevations, Sections and Details.

There are three wall programs within the community as follows:

- Community Theme Walls
- Neighborhood Walls
- Low Court Walls
- Private fencing

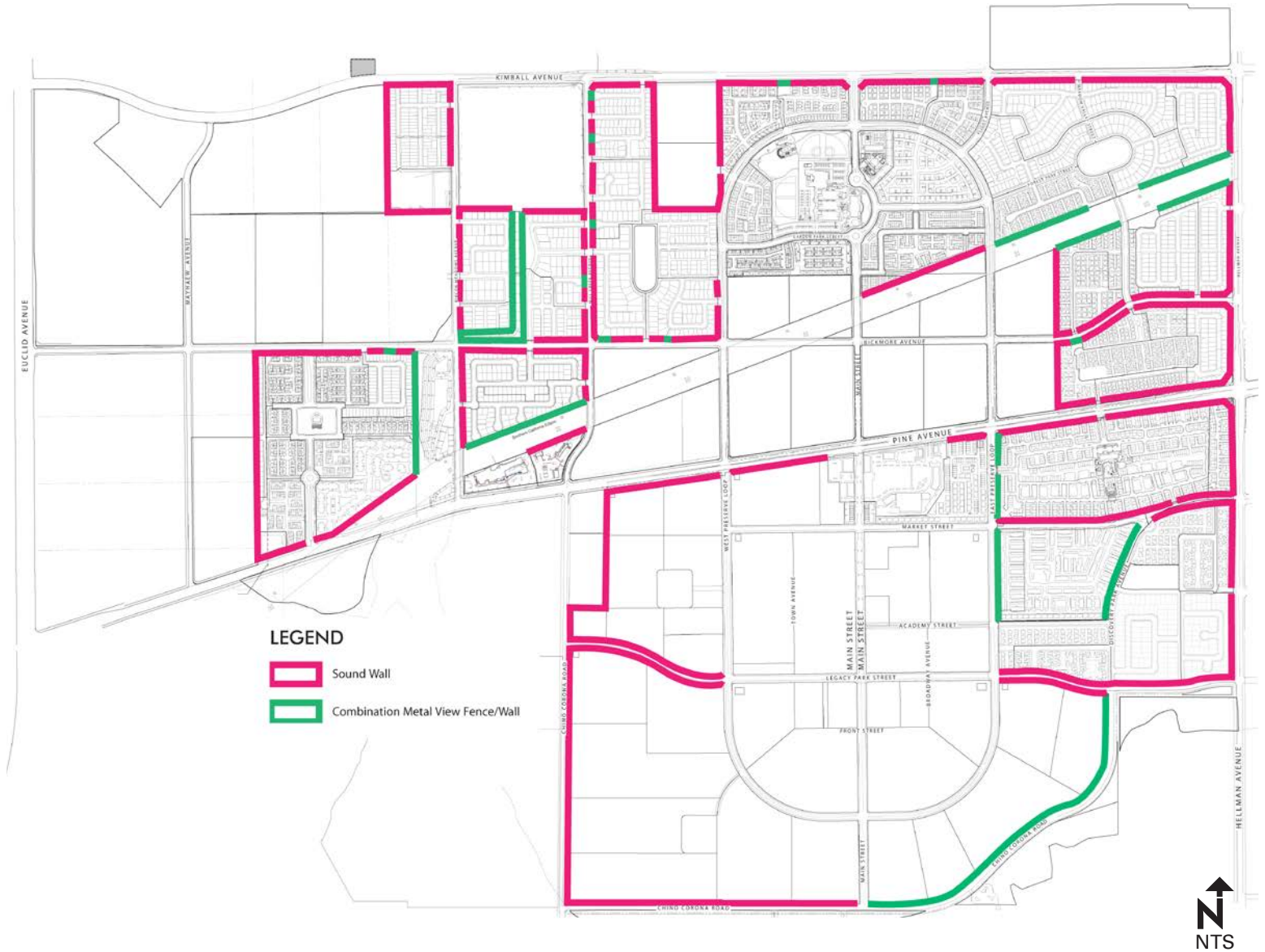


FIGURE 5.18: NEIGHBORHOOD FENCE AND WALLS PLAN

5.4.1 Criteria

Community Theme Walls

- Integrate, if possible, periphery walls and fences with adjacent structures and extend into the landscape areas to help blend the buildings into their environments.
- Give particular importance to railing and cap details.
- Prohibit walls and fences within public or private street rights-of-way.
- Walls exposed to public edges must be decorative block per approved design.
- Walls adjacent to all streets shall be minimized to produce an open feel to the community. Please refer to the neighborhood Crafting Section 2.5, Neighborhood Edges and Wall Treatment.
- Columns along neighborhood perimeters shall be 24" square.
- Walls shall be split-face block walls (public view side only) with a precision wall cap.
- Walls shall have a maximum height of 8' if the wall is a combo wall (block and tubular steel fence). Walls that vary in height due to grade differences shall have a minimum 2' elevation difference between the levels (See Figure 5.19).



16" Square Column at exposed side yard and in between homes



24" Columns along Perimeters

Neighborhood (Internal) Walls

- Interior walls and backyard and side yard fencing may use a variety of materials (wood, vinyl, decorative block or tubular steel) and heights to enhance adjacent architecture.
- Use walls and fencing to define the limits of property ownership, as well as for the creation of exterior privacy.
- Expose the finished side of fencing to public view.



Neighborhood Wall Examples

- No wall or fence shall exceed six feet in height (except at certain combination retaining wall/fencing combination where the combination is not to exceed eight feet), unless a higher wall is specifically required for sound attenuation purposes. The height of the wall or fence shall be measured from the highest ground level immediately adjacent to the base of the wall. Pilasters for fencing shall not exceed seven feet in height (except at certain neighborhood gateway locations).
- Walls adjacent to public streets shall match community walls, color, texture and materials, including community wall returns.
- The use of a single color and texture of fencing within a Guest Builder product area is encouraged for unity, although diversity may appear in distinct fencing selected for different product areas within The Preserve.
- Columns at exposed side yards, in between homes, and private courts may be reduced to 16" square to better match the scale of the adjacent homes.

Low Court Walls

- In front yard setback areas, solid walls and fences shall not exceed 36 inches high.

- Walls adjacent to public streets shall match community walls, color, texture and materials, including community wall returns.

The following is a description of the construction methods and materials to be used in the construction of the interior fences, walls and pilasters for this community. The essential aspects of the fences, walls, pilasters and caps, and their finished dimensions, exterior colors and exterior finishes are also discussed, but are to be determined per further design development.

Private Yard Fencing

Private yard fencing that is hidden from public view can be simple in design.

Vinyl fencing and wood fencing with steel support columns are acceptable solutions.



Private Yard Fencing Example

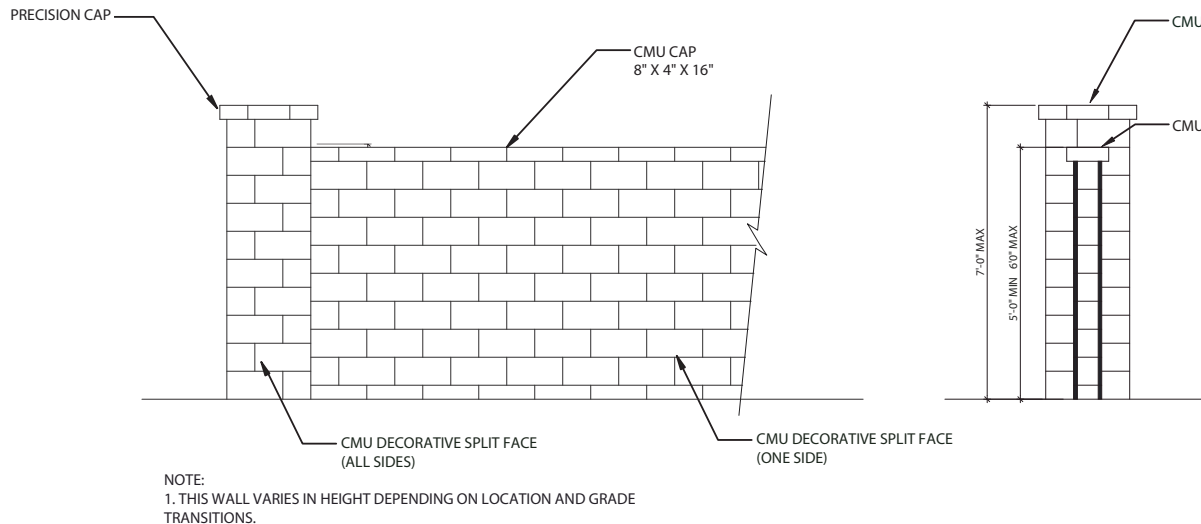


Low Court Wall Examples

5.4.2 Material List, Elevations, Sections and Details

Concrete Masonry Unit (CMU) Wall and CMU Pilasters Community (Perimeter) Walls

- Split-Face Block walls (public view side only) with a precision wall cap.
- Community Walls adjacent to public streets shall have split-face decorative block on the public wall side.
- Walls shall be a maximum height of six feet.
- Any proposed alternative block or material on Community Walls shall be reviewed and approved by the Community Development Director.
- Where tiered walls are required due to site conditions, walls will be 8' high max with a 2-foot min. setback between faces of the walls. (See Figure 5.19)



CMU Wall

Block size:
Finish: Decorative Split-Face Block one side (public side)
Color: Orco #201
Jointing: Color to match block

CMU Wall Cap

Cap size: 8"x4"x16"
Finish: Precision Block
Color: Orco #208
Jointing: Color to match block

CMU Block Pilaster

Block size: 16" & 24" Square Columns
Finish: Decorative Split-Face Block one side (public side)
Color: Orco #201
Jointing: Color to match block

CMU Pilaster Cap

Cap size: 27"x4"x27"
Finish: Precision
Color: Orco #201
Jointing: Color to match block

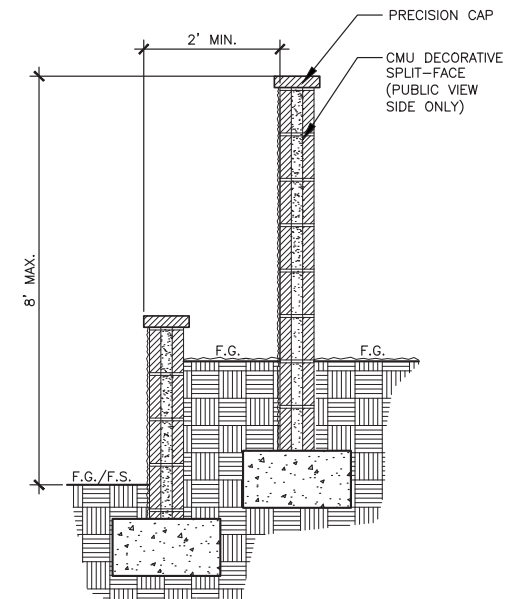
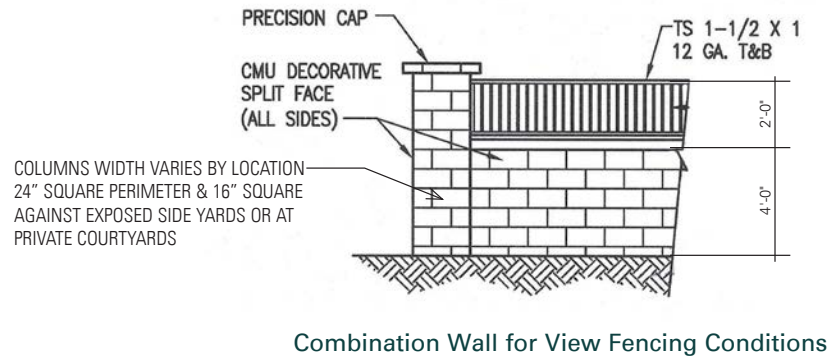
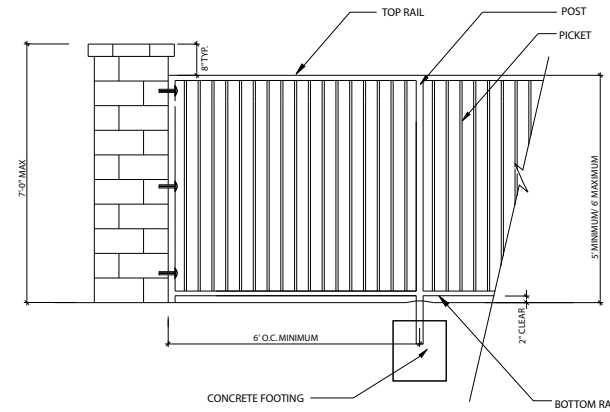


FIGURE 5.19: CMU PRIVACY BLOCK WALL AT CMU PILASTER

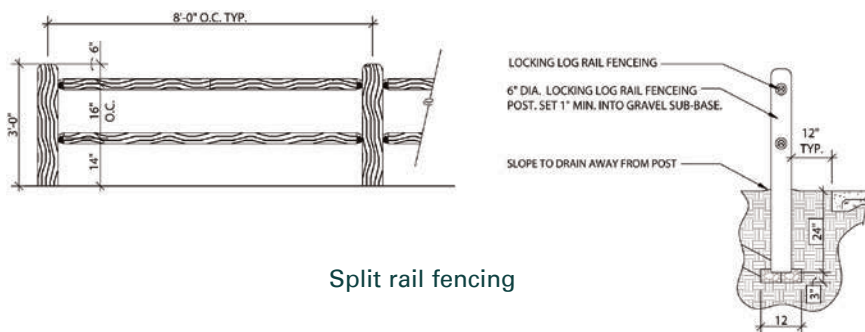
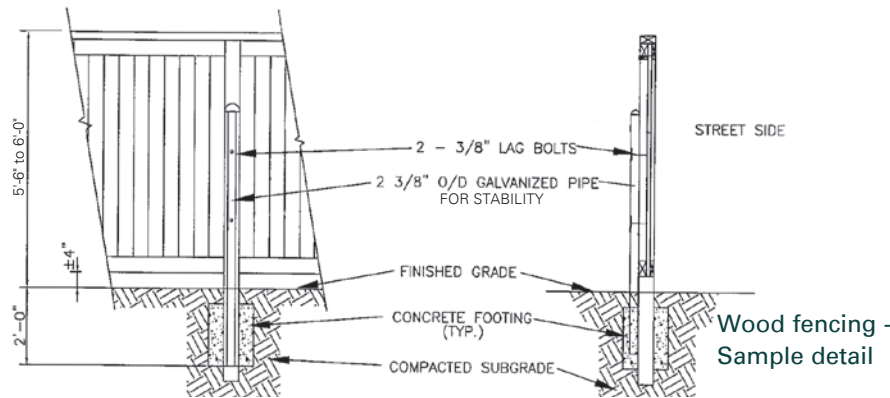
Tiered block wall



Combination Wall for View Fencing Conditions



Full Height View Fence Conditions



Split rail fencing

FIGURE 5.20: FENCING DETAILS

Neighborhood (Internal) Walls Low Court Walls

- Internal Walls have more flexibility. These walls are to match the neighborhood theme or individuality by home style.
- Walls shall be a maximum height of six feet.
- Pilasters shall be 16" wide at side yard walls.
- Walls can have a combination of materials such as CMU block and metal fences
- Fencing materials can be vinyl, wood or tubular steel.
- 5'-6" high front court walls are allowed as long they meet front yard setbacks.
- Refer to Section 5-39 for wall and fence details/elevations.
- Walls and fences shall not exceed 36" for solid walls and 42" in height for walls with 90% openings, allowing for columns to be 42" in height.
- Pilasters shall not exceed 18" square and shall have a max height of 40"
- Solid walls materials can be the following:
 - CMU (Split-face, precision, burnished block or stucco) with decorative cap.
- Fence materials can be the following:
 - Split rail fencing, horizontal wood slats or tubular steel

5.5 IRRIGATION STANDARDS AND WATER USAGE

The plant palette and irrigation systems for The Preserve have been designed to ensure maximum water conservation. Considerations should be given to selecting plant materials that are drought-tolerant while maintaining the integrity of the overall community. Irrigation practices employing state-of-the-art equipment can further ensure that water is being consumed conservatively.

5.5.1 Criteria

- Design irrigation systems to conform to the CALGreen requirements and the City of Chino Water Conservation Ordinance.
- Install irrigation systems for Chino Community Services Department maintained areas per Chino Community Services Department standards.
- Irrigate all landscaped areas with a permanent, underground automatic system.
- Ensure complete water coverage between adjoining maintenance responsibility areas.
- Separate irrigation systems for turf, shrub, tree and other hydrozones.
- Design and install irrigation systems that consider the climate extremes of The Preserve area.
- Design irrigation systems for Chino Community Services Department and Homeowners Association maintained areas to be capable of conversion to treated water irrigation systems (per IEUA's standards) when treated water becomes available.
- Design irrigation systems to be compliant with the most recent State of California MWELo and the City of Chino's Landscape Ordinance.
- Separate irrigation systems for turf, shrub, tree and other hydrozones.
- Where feasible, use recycled water. This may be in limited locations due to potential conflicts with potable water systems in rear yards.
- Design irrigation systems to be compliant with the most recent State of California MWELo, and the City of Chino's Landscape Ordinance.

5.6 NEIGHBORHOOD PLANT LIST

TABLE 5.3 PRESERVE PRODUCT PLANT LIST MATRIX

SCIENTIFIC NAME	COMMON NAME	Suburban F/Y	Drive aisle	Urban Comm.	Pocket Park
EVERGREEN TREES					
<i>Arbutus marina</i>	Strawberry Tree		X	X	
<i>Bauhinia purpurea</i>	Orchid Tree	X		X	X
<i>Callistemon viminalis</i>	Weeping Bottlebrush		X	X	
<i>Cedrus deodara</i>	Deodar Cedar	X			X
<i>Cinnamomum camphora</i>	Camphor Tree				X
<i>Citrus sinensis</i>	Orange Tree	X		X	X
<i>Cupaniopsis anacardiodes</i>	Carrot Wood	X			X
<i>Cupressus sempervirens</i>	Italian Cypress	X	X	X	
<i>Geijera parviflora</i>	Australian Willow	X		X	X
<i>Juniperus s. 'Skyrocket' **</i>	Skyrocket Juniper		X	X	
<i>Laurus nobilis 'Saratoga'</i>	Saratoga Laurel			X	
<i>Magnolia grandiflora (Std.) Large</i>	Southern Magnolia	X		X	X
<i>Magnolia grandiflora 'St. Mary' (Multi)</i>	St. Mary Magnolia			X	
<i>Melaleuca linariifolia</i>	Flaxleaf Paperbark	X		X	

*Additional plants may be used within the Harvest neighborhood, see Section 6 for additional plants.

**Maybe be used as vertical accent

SCIENTIFIC NAME	COMMON NAME	Suburban F/Y	Drive aisle	Urban Comm.	Pocket Park
<i>Michelia champaca</i> 'Alba'	White Fragrant Himalayan Champaca				
<i>Pinus eldarica</i>	Afghan Pine				X
<i>Pinus pinea</i>	Italian Stone Pine				X
<i>Podocarpus henkelii</i>	Long-Leaf Yew Pine			X	
<i>Pyrus kawakamii</i>	Evergreen Pear			X	
<i>Quercus ilex</i>	Holly Oak	X			X
<i>Quercus virginiana</i>	Southern Live Oak				X
<i>Raphiolepis i.</i> 'Majestic Beauty' (Std.)	India hawthorn (std.)		X	X	
<i>Rhus lancea</i>	African Sumac	X			X
<i>Tristania conferta</i>	Brisbane Box		X	X	
<i>Ulmus parvifolia</i> 'Drake'	Chinese Evergreen Elm	X		X	X
<i>Olea europaea</i>	Olive Tree			X	X
<i>Strelitzia nicolai</i>	Giant Bird-of-Paradise		X	X	

*Additional plants may be used within the Harvest neighborhood, see Section 6 for additional plants.

**Maybe be used as vertical accent

SCIENTIFIC NAME	COMMON NAME	Suburban F/Y	Drive aisle	Urban Comm.	Pocket Park
DECIDUOUS TREES					
<i>Chitalpa taskentensis</i> 'Pink Dawn'	Chitalpa		X	X	
<i>Gleditsia triacanthos inermis</i>	Thornless Honey Locust	X			X
<i>Jacaranda mimosifolia</i>	Jacaranda	X			X
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree	X		X	X
<i>Koelreuteria paniculata</i>	Goldenrain Tree			X	X
<i>Liriodendron tulipifera</i>	Tulip Tree				X
<i>Pistacia chinensis</i>	Chinese Pistache				X
<i>Platanus racemosa</i>	California Sycamore	X		X	X
<i>Populus fremontii</i>	Western Cottonwood				X
<i>Populus nigra</i> 'Italica'	Lombardy Poplar				X
<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Pear		X	X	
<i>Robinia ambigua</i> 'Idahoensis'	Idaho Locust				X
<i>Tipuana Tipu</i>	Tipu Tree	X		X	X
<i>Ulmus parvifolia</i>	Evergreen Elm	X		X	X
<i>Vitex agnus castus</i>	Chaste Tree			X	
<i>Zelkova serrata</i> 'Village Green'	Sawleaf Zelkova	X		X	X

*Additional plants may be used within the Harvest neighborhood, see Section 6 for additional plants.

**Maybe be used as vertical accent

THE PRESERVE

DESIGN GUIDELINES

SCIENTIFIC NAME	COMMON NAME	Suburban F/Y	Drive Aisle	Urban Comm.	Pocket Park
SHRUBS					
<i>Acacia cognata</i> 'Cousin Itt'	Little River Wattle	X		X	
<i>Acacia redolens</i>	N.C.N.				X
<i>Aeonium arboreum</i>	Tree Aeonium	X			X
<i>Agapanthus africanus</i>	Lily-of-the-Nile	X	X	X	X
<i>Agave</i> 'Blue Flame'	Blue Flame Agave	X	X	X	X
<i>Agave desmettiana</i> 'Variegata'	Variegated Dwarf Century Plant	X			X
<i>Aloe arborescens</i>	Tree Aloe	X			X
<i>Aloe striata</i>	Coral Aloe			X	
<i>Aloe vera</i>	Medicinal Aloe			X	
<i>Asparagus d.</i> 'Myers'	Myer's Asparagus	X	X	X	X
<i>Asparagus d.</i> 'Sprengeri'	Sprenger Asparagus	X	X	X	X
<i>Bougainvillea</i> 'La Jolla'	Bougainvillea	X			X
<i>Buddleja davidii</i>	Butterfly Bush			X	
<i>Buxus microphylla japonica</i>	Japanese Boxwood	X	X	X	X
<i>Callistemon viminalis</i> 'Little John'	Dwarf Bottlebrush	X		X	X
<i>Carex species</i>	Sedge	X	X	X	X
<i>Carissa macrocarpa</i> 'Green Carpet'	Green Carpet Natal Plum	X			X
<i>Chondropetalum tectorum</i>	Cape Rush	X	X	X	X
<i>Citrus Kumquat Hybrid</i> 'Tavares'	Kumquat			X	
<i>Cordyline australis</i> 'Red Star'	Giant dracaena	X		X	
<i>Dianella revoluta</i> 'DR5000'	Little Rev Flax Lily		X	X	
<i>Dianella tasmanica</i> 'Silver Streak'	Silver Streak Flax Lily	X		X	X
<i>Dietes grandiflora</i>	Fortnight Lily	X	X	X	X

*Additional plants may be used within the Harvest neighborhood, see Section 6 for additional plants.

**Maybe be used as vertical accent

SCIENTIFIC NAME	COMMON NAME	Suburban F/Y	Drive Aisle	Urban Comm.	Pocket Park
<i>Feijoa sellowiana</i>	Pineapple Guava	X			X
<i>Grevillea 'Noellii'</i>	N.C.N.	X			X
<i>Hemerocallis species</i>	Daylily	X	X	X	X
<i>Ilex crenata 'Sky Pencil' **</i>	Sky Pencil Ilex		X	X	
<i>Lantana montevidensis 'Alba'</i>	White Trailing Lantana	X			X
<i>Lavandula species</i>	English Lavender	X		X	X
<i>Lavatera maritima</i>	Tree Mallow				X
<i>Leymus condensatus 'Canyon Prince'</i>	Canyon Prince Wild Rye	X		X	X
<i>Ligustrum lucidum</i>	Glossy Privet	X	X	X	X
<i>Lomandra longifolia 'LM300'</i>	Breeze Dwarf Mat Rush	X	X	X	X
<i>Muhlenbergia rigens</i>	Deer Grass	X			X
<i>Myrtus communis</i>	True Myrtle	X		X	X
<i>Nandina domestica 'Compacta' **</i>	Heavenly Bamboo 'Compacta'			X	
<i>Olea europaea 'Montra' PP#6266</i>	Little Ollie Dwarf Olive			X	
<i>Pennisetum 'Fairy Tails'</i>	Fairy Tails Fountain Grass			X	X
<i>Phormium species</i>	Flax	X			X
<i>Pittosporum tobira 'Variegata'</i>	Variegated Tobira	X		X	X
<i>Pittosporum tobira 'Wheelerii'</i>	Wheeler's Dwarf Tobira	X		X	X
<i>Pittosporum tobira</i>	Tobira	X		X	X
<i>Podocarpus macrophyllus 'Maki' **</i>	Shrubby Yew Pine			X	
<i>Portulacaria afra</i>	Elephant's Food		X	X	
<i>Raphiolepis indica species</i>	India hawthorn	X		X	X
<i>Rosa f. 'Trumpeter'</i>	Trumpeter Rose	X		X	X
<i>Roasa x 'Noare'</i>	Flower Carpet Red Groundcover Rose	X			X

*Additional plants may be used within the Harvest neighborhood, see Section 6 for additional plants.

**Maybe be used as vertical accent

SCIENTIFIC NAME	COMMON NAME	Suburban F/Y	Drive Aisle	Urban Comm.	Pocket Park
<i>Salvia greggii</i>	Red Salvia	X		X	X
<i>Senecio mandraliscae</i>	Blue Chalk Sticks	X		X	X
<i>Strelitzia reginae</i>	Bird-of-Paradise	X	X	X	X
<i>Tecoma stans</i> 'Sierra Apricot'	Sierra Apricot				X
<i>Xylosma congestum</i>	Xylosma	X			x
<i>Yucca gloriosa</i>	Spanish Dagger			X	
<i>Yucca recurvifolia</i>	Pendulous Yucca			X	
VINES					
<i>Clematis armandii</i>	Evergreen Clematis	X		X	
<i>Clytostoma callistegioides</i>	Lavender Trumpet Vine	X		X	X
<i>Distictis buccinatoria</i>	Blood Red Trumpet Vine	X		X	X
<i>Ficus pumila</i>	Creeping Fig		X	X	
<i>Gelsemium sempervirens</i>	Carolina Jessamine	X		X	X
<i>Grewia caffra</i>	Lavender Star Vine		X		
<i>Jasminum grandiflorum</i>	Jasmine	X		X	X
<i>Pandorea jasminoides</i>	Bower Vine	X		X	X
<i>Parthenocissus tricuspidata</i>	Boston Ivy		X		
<i>Passiflora jamesonii</i>	Passion Vine	X		X	X
<i>Rosa banksiae</i>	Lady Bank's Rose				X
<i>Solanum jasminoides</i>	Potato Vine		X	X	
<i>Trachelospermum jasminoides</i>	Star Jasmine		X	X	
<i>Wisteria floribunda</i>	Japanese Wisteria			X	X
<i>Wisteria sinensis</i>	Chinese Wisteria			X	X

*Additional plants may be used within the Harvest neighborhood, see Section 6 for additional plants.

**Maybe be used as vertical accent

SCIENTIFIC NAME	COMMON NAME	Suburban F/Y	Drive Aisle	Urban Comm.	Pocket Park
GROUNDCOVER AND TURF					
<i>Artemisia schmidtiana</i>	Angels Hair			X	
<i>Baccharis 'Centennial'</i>	Centennial Desert Broom				X
<i>Diplacus hybrids</i>	Monkey Flower				X
<i>Eschscholzia californica</i>	California Poppy				X
<i>Festuca ovina glauca</i>	Blue Fescue			X	
<i>Festuca rubra</i>	Creeping Red Fescue			X	
<i>Festuca spp.</i>	Marathon	X			X
<i>Heuchera maxima</i>	Island Alum Root	X			X
<i>Hedera Helix</i>	English Ivy	X		X	X
<i>Lonicera japonica</i>	Honeysuckle	X			X
<i>Myoporum parvifolium 'Pink'</i>	Creeping Myoporum	X	X	X	X
<i>Sisyrinchium bellum</i>	Blue-Eyed Grass	X		X	X
<i>Trachelospermum jasminoides</i>	Star Jasmine				X
<i>Trachelospermum asiaticum</i>	Asian Jasmine	X	X	X	
<i>Vinca major</i>	Periwinkle	X	X	X	

*Additional plants may be used within the Harvest neighborhood, see Section 6 for additional plants.

**Maybe be used as vertical accent

5.7 NEIGHBORHOOD SITE FURNISHINGS

Site furnishings shall be designed to coordinate in design, style and color with the principal architectural themes and/or architectural details of the primary structures and homes in the neighborhoods.

5.7.1 Benches



Bench Examples

5.7.2 Picnic Tables



5.7.3 Light Standard for Public Local Streets

Refer to conceptual lighting plan for locations.



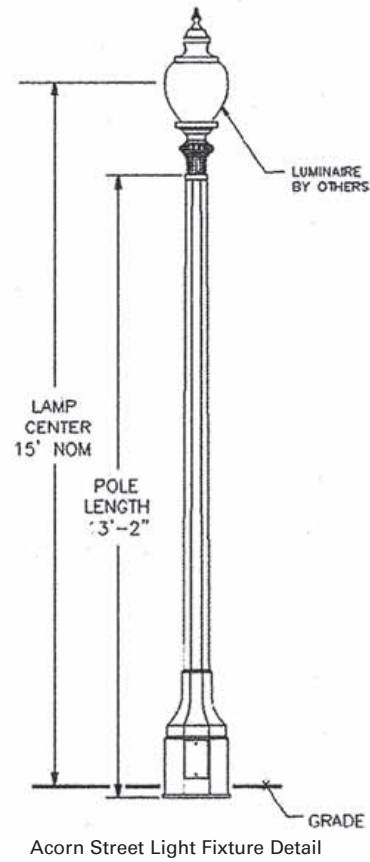
Main Street, Town Center Fixtures



Collector Street Light, Cobra Fixture



Local Street, Acorn Fixture



5.7.4 Preserve MBU Look



Sample Private Area Light Standard



Sample Light Bollard



Cluster mailboxes

5.7.5 Drinking Fountain



Sample drinking fountain

5.7.6 Bike Racks



Sample bike racks

5.7.7 Public and Private Street Sign



Sample Street signs

5.7.8 Trash Receptacles



Sample trash receptacles

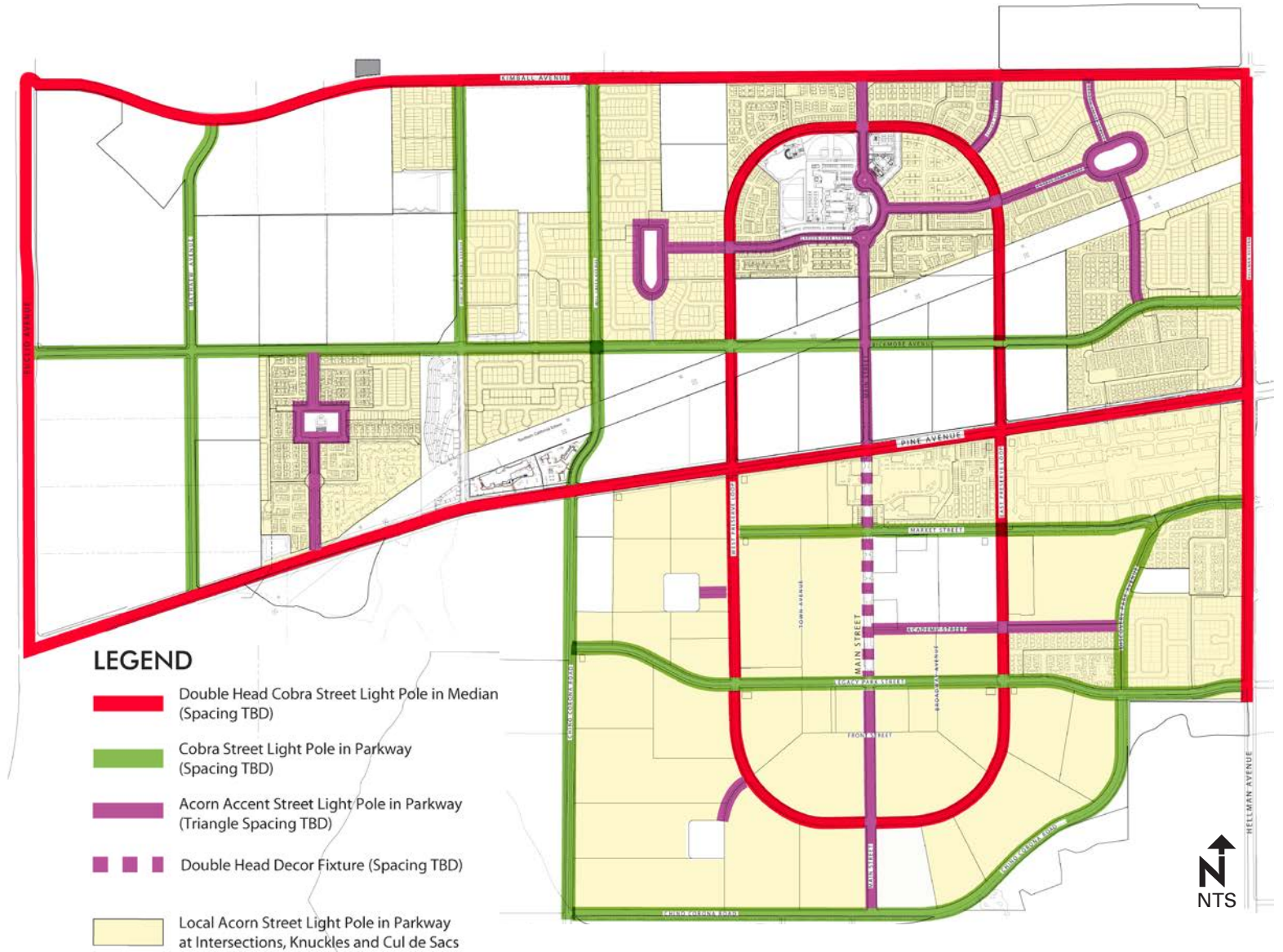
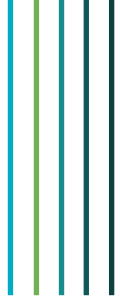


FIGURE 5.21: CONCEPTUAL LIGHTING PLAN



APPENDIX

Glossary of Terms

Architecture Forward - Residential units that place the garages farther away from the street.

Articulation - In this document articulation refers to the expression of a certain level of dimension, elements and details as they relate to the form and surface of a building.

Attached Product - A multi-family residential product type.

Balcony - A platform that projects from the exterior wall of a building and is surrounded by a railing.

CBC - California Building Code.

Chino Community Services Department - 1-909-591-9831

City of Chino Post Office Guidelines - For information call: U.S. Postal Service, Chino Main Office, Customer Service Supervisor 1-909-364-1361.

CIMIS - California Irrigation Management Information System. Information can be found at: <https://cimis.water.ca.gov/>

Corner Home - A home located on a corner lot with both front and a side elevations exposed.

Corner Lots - A lot located at the intersection of two or more streets at an angle not more than 135°. If greater than 135°, it is considered an interior lot. Corner lots have additional side yard setbacks and wrap around architecture.

Corner Plan - A home plan that is designed for a corner lot that has a significant architectural element or massing form located at or wrapping around the front corner of the building.

CRC - California Residential Code.

Design Review Committee - Master developer appointed committee to review project. Submittals for conformance with the design guidelines and other standards may apply.

DU - Dwelling Unit. One or more habitable rooms (including living, sleeping and sanitary facilities and no more than one kitchen) which are intended or designed for occupancy by a single household.

Easement - The granting of one or more property rights by the property owner for use by the public, a corporation or another person or entity.

Elevation - In this document elevation refers to an external building facade - as in front, side or rear elevations. In the case of single family dwellings these correspond with the relationship of the building to the property line of the lot. In the case of multi-family buildings, this also corresponds to the front, side or rear face of the building regardless of how it relates to the parcel.

Enhanced - In reference to individual style-appropriate requirements refers to added elements or details that exceed those required.

Formative Parks - Minimum 3.0 acres in size, that are more passive in character and provide flexible play, picnic and tot lot space at the local neighborhood level. They also play an important role in creating individual neighborhood identity and “place making”.

Guest Builders - Residential builders selected to prepare sites and construction specific residential product(s) within the Preserve (specifically Phases I and II).

Icon Street - The enhanced outside and core connector streets with wider parkways, enhanced character, two to three story dwellings, porches and raised building pads.

Individual Builder - Those parties responsible for the building of parcels which includes houses, landscapes, and local residential streets, and pocket parks.

Living Space - Residential - Habitable living space, not including garages

Master Developer - Chino Development Corp and/or Chino Preserve Development Corp.

Master Plan - The overall plan for all of Lewis Holdings within The Preserve, to include Phase I and II holdings north of Pine Avenue and Phase III and IV holdings south of Pine Ave.

Member Residents - Residents residing in Lewis sponsored/ owned residential projects

Mid Block Pass Through - Pedestrian connections within a block that allows access to parks and other amenities.

Mixed Use - The combining of retail, commercial and medium to high density residential into one localized area.

Multi-family - Buildings intended for use by two or more families.

Municipal Code - Located at https://library.municode.com/ca/chino/codes/code_of_ordinances

Neighborhood - An area generally including two or more residential projects oriented around a park or other common gathering place.

Parkway - The area of a public street right-of-way that lies between the curb or edge of a street and the adjacent property line.

PCRC - Private Community Recreation Center. Provides a center of community and social activity within walking distance of most residents. This center is open to use by all member residents from Lewis sponsored “for-sale” communities and select Lewis “for-rent” communities.

Plan package - A collection of architectural floor plans provided by a builder for each neighborhood parcel.

Pocket Parks - .3 to .5 acre parks that include tot lots, free play, and flex play area. Generally serves residents within a two block area.

Porte-cochere - A porch roof that projects over the driveway at the entrance to a building, providing shelter for those getting in and out of vehicles.

Project - An individual Lewis or guest builder residential development of a specific product type on a particular parcel/lot.

Sensitive Edges - Certain residential edges which are highly visible from perimeter streets and external view points.

SFD - Single family detached home. A residential product type.

Signature Lots - Lots surrounding neighborhood parks in each neighborhood that receive special treatment because of their unique location and prominence.

Streetscape /Street scene - The visual image one perceives looking down the front facing street of a neighborhood including homes, sidewalks, streets and landscape.

The Preserve Specific Plan - The adopted zoning document for the area. It includes development standards and guidelines, capital improvement programs and financing methods. It establishes the planning concept, design and development guidelines as well as administrative procedures necessary to achieve an orderly and compatible development or project area.

Town Green - North Main Street public gathering space with proposed amphitheater.