

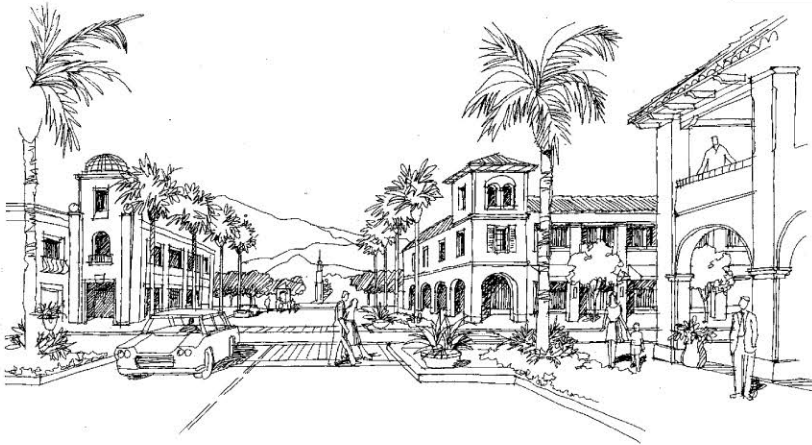
The Preserve Specific Plan

March 2003

Amended: April 2016

Amended: September 2016

Amended: December 2021



Prepared for :
City of Chino
13220 Central Ave
Chino, CA 91710

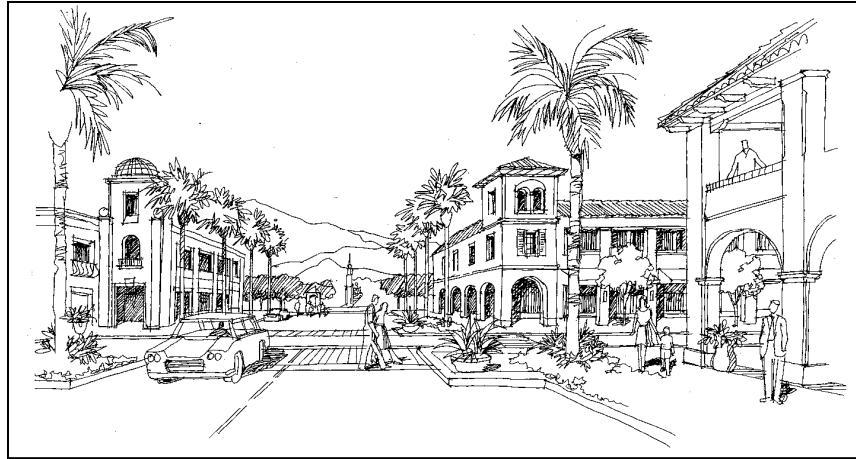
Prepared by:
The Planning Center

Amended By:
EDAW AECOM
PBR
CITY OF CHINO
PLACEWORKS

WHA

This page intentionally left blank.

TABLE OF CONTENTS



This page intentionally left blank.

TABLE OF CONTENTS

SECTION I: VISION	1
Trend Setting Living Environment.....	3
Access to the Region	3
Neighborhoods of Choice	4
The Nature of the Place	4
A Healthy Choice.....	5
Exceptional Opportunities	5
Conclusion	5
SECTION II: EXECUTIVE SUMMARY	7
SECTION III: INTRODUCTION & BACKGROUND	13
Reader's Guide To This Document.....	15
Purpose And Authority.....	15
Regulatory Authority	15
Department of the Army Corps of Engineers Jurisdiction (ACOE).....	16
Purpose and Intent	16
Relationship to the General Plan	16
Relationship to the Zoning Code	16
Environmental Review	17
Public Participation.....	17
Major Amendments	18
Location And Description	20
Location	20
Access	20
Setting.....	20
Existing Land Use	21
Adjacent Land Use	25
Opportunities And Constraints	25
2016 Opportunities And Constraints	26

TABLE OF CONTENTS

SECTION IV: DEVELOPMENT CONCEPT	31
Development Concept.....	33
Multi-Purpose Open Space Feature	33
Community Paseo and Open Space System.....	34
Community Core	34
Euclid Regional Commercial Center.....	35
Airport Related Business/Industrial Area.....	36
Residential Neighborhoods.....	36
SECTION V: DEVELOPMENT PLAN	43
Land Use Plan	45
Land Use Designations and Development Standards.....	45
Residential Designations.....	45
General Development Standards.....	46
Determination of Unlisted Use	46
Off-Street Parking and Loading.....	46
Non-Conforming Uses and Structures.....	46
Technology/Energy Efficiency	46
Home Owner’s Association.....	47
Design Review	47
Guiding Development Principles	50
Compatibility Findings	50
Disclosure	51
General Residential Requirements	55
Estate Residential (ER) Performance Standards	61
Estate Residential (ER)	61
Low Density Residential (LDR) Performance Standards	63
Low Density Residential (LDR)	63

TABLE OF CONTENTS

Medium Density Residential (MDR) Performance Standards	65
Medium Density Residential (MDR)	65
High Density Residential 16 (HDR16)	69
High Density Residential 20 (HDR20)	71
High Density Residential 30 (HDR30)	73
General Business Use Requirements	78
Business Designations	78
Neighborhood Commercial (NC)	78
Regional Commercial (RC).....	80
Airport Related (AR).....	82
Light Industrial (LI)	83
Public Facilities (PF)	84
Community Core 16 (CC16)	85
Open Space Designations.....	92
Agriculture (AG)	94
Agriculture/Open Space-Natural (AG/OSN).....	95
Open Space-Recreation (OS-R)	98
Open Space-Natural (OS-N)	100
Open-Space-Water (OS-W).....	103
Overlays	103
Open Space Corridor Overlay (OSO)	103
566-Foot Dam Inundation Elevation Overlay (DIO)	103
Transmission Line Easement Overlay (TLO).....	104
Chino Airport Overlay (CAO)	105
Agricultural Overlay (AO)	106
Open Space Recreational – Active Use Overlay (OS-RA)	106
Mobility Plan.....	109
Typical Roadway Standards.....	112

TABLE OF CONTENTS

Truck Routes.....	139
Transit Mobility	139
Bicycle Mobility.....	139
Pedestrian Mobility.....	140
Equestrian System	140
Community Paseo And Open Space System	144
Internal Paseos and Open Space Enhancements	145
Park Plan.....	148
Park Plan Principles	149
Schools	151
Infrastructure Plans.....	154
Domestic Water Plan	154
Reclaimed Water Plan	157
Sanitary Sewer Plan.....	159
Storm Drainage Plan.....	161
SECTION VI: DESIGN GUIDELINES.....	165
Introduction	167
Format Of Design Guidelines.....	167
Community and Neighborhood Design Guidelines	167
Landscape and Streetscape Guidelines	169
Landscape Planting.....	181
Irrigation	181
Preparation and Maintenance	181
Grading Guidelines.....	182
Residential Site Planning Guidelines	183
Residential Architectural Guidelines.....	184
Commercial Design Guidelines (NC and RC)	187

TABLE OF CONTENTS

Commercial Site Planning.....	187
Commercial Architectural Guidelines.....	188
Community Core Design Guidelines	189
Community Core Site Planning	189
Community Core Architectural Guidelines.....	191
Community Core Streetscape	192
Industrial And Airport Related Design Guidelines	193
Walls and Fences	193
Wall and Fence Guidelines.....	193
Signage Guidelines.....	194
General Signage Guidelines.....	194
Community Core Signage	194
Lighting Guidelines.....	195
General Lighting Guidelines	195
SECTION VII: ADMINISTRATION	201
RESPONSIBILITY	203
Specific Plan Amendment	203
Minor Amendments	203
Major Amendments.....	203
Interpretations	203
Severability.....	203
Development Administration System	204
Variations in Average Residential Density.....	204
Standards for Variations in Density.....	204
Residential Density Distribution Guidelines	205
Transfer of Density	206
Master Plans.....	207
Financing	211

TABLE OF CONTENTS

SECTION VIII: GLOSSARY	221
Definitions.....	223
APPENDICES	227
Appendix One—566-Foot Dam Inundation Elevation Criteria	229
Appendix Two—Airport Compatibility Matrix	230
Appendix Three – Pine Avenue/Main Street Intersection Study.....	233
Appendix Four – Landscape Plant Palette	234
Appendix Five – Sample Monitoring System.....	251
Appendix Six—2003 Preserve Environmental Impact Report (Under Separate Cover)	252
Appendix Seven – 2008 Edgewater Amendment Environmental Impact Report And 2016 Rancho Miramonte Addendum (Under Separate Cover)	253
Appendix Eight – 2003 Preserve Water, Drainage, Sewer Master Plans (Under Separate Cover).....	254
Appendix Nine—2016 Rancho Miramonte Amendment Water, Drainage, Sewer Master Plans (Under Separate Cover)	255

TABLE OF CONTENTS

LIST OF FIGURES

Figure 1: Land Use Plan..... 11

Figure 2: Regional Location22

Figure 3: Local Vicinity23

Figure 4: Existing Land Use 2003.....24

Figure 5: Adjacent Planned Land Use28

Figure 6: Opportunities and Constraints 201429

Figure 7: Land Use Plan.....37

Figure 8: Rancho Miramonte Land Use Plan.....38

Figure ES-1: Estate Setbacks.....62

Figure LD-1: Low-Density Setbacks64

Figure MD-1: Medium-Density Setbacks.....66

Figure HD-1: High-16 Density Setbacks70

Figure HD-2: High-20 Density Setbacks72

Figure HD-3: High-30 Density Setbacks74

Figure 9A: Overlays107

Figure 9B: Agricultural Overlay108

Figure 10A: Circulation Plan.....110

Figure 10B: Rancho Miramonte Conceptual Circulation Plan111

Figure 11A: Roadway Sections A & B.....116

Figure 11B: Roadway Sections C1 & C2.....117

Figure 11C: Roadway Sections D & E1118

Figure 11D: Roadway Sections E2 & F.....119

Figure 11E: Roadway Sections G1 & G2.....120

Figure 11F: Roadway Sections H & I1121

Figure 11G: Roadway Sections I2, J1 & J2.....122

Figure 11H: Roadway Sections K & L.....123

Figure 11I: Roadway Sections M1 & M2.....124

TABLE OF CONTENTS

Figure 11J: Roadway Sections N, O, & O2	125
Figure 11K: Roadway Sections P & Q.....	126
Figure 11L: Roadway Sections R & S	127
Figure 11M: Roadway Sections T1 & T2.....	128
Figure 11N: Roadway Sections T3 & T4	129
Figure 11P: Roadway Sections V & W	130
Figure 11Q: Roadway Sections X & Y	131
Figure 11R: Roadway Sections Z, AA, & Alley	132
Figure 11S: Roadway Sections BB, CC1, D3 & D4.....	133
Figure 11T: Roadway Sections DD, EE & II.....	134
Figure 11U: Roadway Sections FF, HH, & GG	135
Figure 12: Truck Routes	138
Figure 13: High Priority Transit Corridor	141
Figure 14: Bicycle Plan	142
Figure 15: Equestrian Plan	143
Figure 16: Community Paseo and Open Space System	147
Figure 17: Conceptual Parks and School Plan	152
Figure 18: Rancho Miramonte Park Plan	153
Figure 19: Proposed Domestic Water System	156
Figure 20: Proposed Reclaimed Water System.....	158
Figure 21: Sanitary Sewer Plan	160
Figure 22: Storm Drainage Plan	163
Figure 23: Landscape Structure Plan	176
Figure 24: Gateway Plan	180

TABLE OF CONTENTS

LIST OF TABLES

Table 1 - Land Use Plan Statistical Summary 39

Table 1 - Land Use Plan Statistical Summary 40

Table 2 - Calculation Of Adjusted Units 41

Table 3 - Residential Development Requirements 57

Table 4 - Business And Public Facilities Development Requirements 76

Table 5 - Open Space Development Requirements ¹ 93

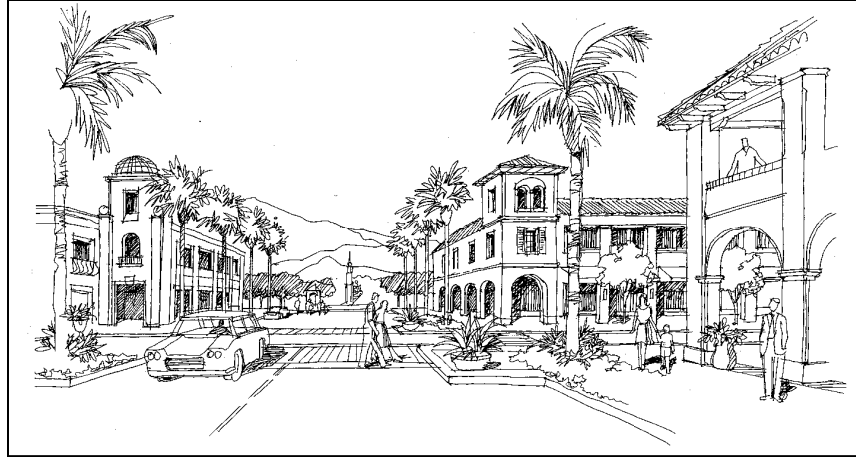
Table 6 - Roadway Segment Description 136

Table 7 Estimated Public Improvements Costs 211

Table 8 Summary Of Funding Requirements 212

This page intentionally left blank.

SECTION I: VISION



This page intentionally left blank.

The following is the vision for The Preserve adopted by the Chino City Council.

A special environment has taken shape where once the landscape was dominated by part of a world-class dairy center. Now, as an integral part of the City of Chino, The Preserve is one of our newest districts, taking its place as a premier living environment in the midst of one of California's most dynamic growth areas. We invite you to share in our vision and, perhaps, make it part of your future as well.



Trend Setting Living Environment

There is a great deal of talk these days about how to make our communities more responsive to the real needs of people. Slogans such as livable cities, smart growth, sustainable cities and many other labels intended to reflect better planning and development abound. So what would happen if you were to adapt some of the better ideas from these movements, blend them with a unique environmental setting, link them to an existing and visionary City, and commit the public and private resources to make them work? You would have The Preserve.



Take a walk along the multi-purpose promenade that serves as the backbone of our new community and provides its most prominent expression of uniqueness. It will take you along the expansive Prado Basin and the lush landscape that frames the edge of this man-made place of calm along the Santa Ana River. Enjoy the open space and recreational opportunities included throughout the community. Meander through our carefully crafted residential neighborhoods that accommodate an amazing range of housing needs for our expanding population. Pause in the very accessible town center for a pleasant rest and maybe a bite to eat. Ease on along our conveniently linked citywide trails if you wish. But don't go away. There is more.

Access to the Region

If you look at a map of this dynamic region you will see that The Preserve is located in the pivotal area where Los Angeles, Orange, San Bernardino and Riverside Counties come together. It would be hard to imagine a more strategic location for people who seek a home that puts them in the center of things. While our community is well served by conventional auto access via the network of arterial highways and freeways, we don't stop there. Our neighborhoods are served with a uniquely effective transit system that readily connects with MetroLink and other regional systems for moving people conveniently and efficiently. In fact,

VISION



with direct connections to the regional trail system along the Santa Ana River, those of us who are equestrians, bicycle enthusiasts and hikers have unprecedented opportunities to choose our mode of travel. And it doesn't stop there. The immediately adjacent Chino Airport allows our local business leaders in The Preserve to make critical air connections.

Neighborhoods of Choice

If you are a discerning homebuyer, it isn't a matter of knowing what you want in a neighborhood; it's a matter of finding one that matches your lifestyle at a competitive price and in a location that doesn't require a half-day commute. The Preserve developers are committed to our blend of quality and value. We have designed a village atmosphere that brings together the diverse neighborhoods required to offer unexcelled choices for busy Southern Californians— people who seek close-in convenience combined with far-out atmosphere and value.



The Nature of the Place

One of the most significant watersheds in the West, in the Santa Ana River, combined with a need to provide exceptional levels of flood protection for downstream communities, has created a literal oasis of Nature's bounty behind Prado Dam. And it is right here at The Preserve's front door. Such a natural setting could never be afforded if it had to be acquired for only one purpose. But it is there as an expansive enhancement for The Preserve and it will remain permanently. That is because it is essential for a lot of people downstream who only wish they could enjoy its direct benefits that the residents of The Preserve have literally a few steps away. Prado Regional Park and other recreation features provide unprecedented recreation space for our families, while the characteristics of the Prado Dam terrain create a unique environment which serves as a regional amenity.

A Healthy Choice

We know a lot now about how to design places and spaces that offer both the reality and the sense of security our residents and businesses seek. Yet, the confidence that quality design offers is only part of the picture. Because The Preserve is an integral part of our City, it enjoys the same high level of protective services as the rest of the community. Nothing demonstrates this commitment more than our branch police and nearby fire facilities right next to the town center. Because we designed in these aspects of community living from the beginning, The Preserve enjoys a reputation for safety and security unexcelled in the Inland Empire. While we recognize air quality as a regional issue, The Preserve features all of the strategies that make sense at a local level for reducing the need to use the automobile for everything we do. This is consistent with the leadership on this issue that we have pursued for years. Our concern for the quality of our citizens' lives even includes protection from excessive exposure to the noise generated by nearby Chino Airport. A combination of land use arrangements, operational practices and design features has enabled us to forge a true good-neighbor relationship between The Preserve and the Airport.

Exceptional Opportunities

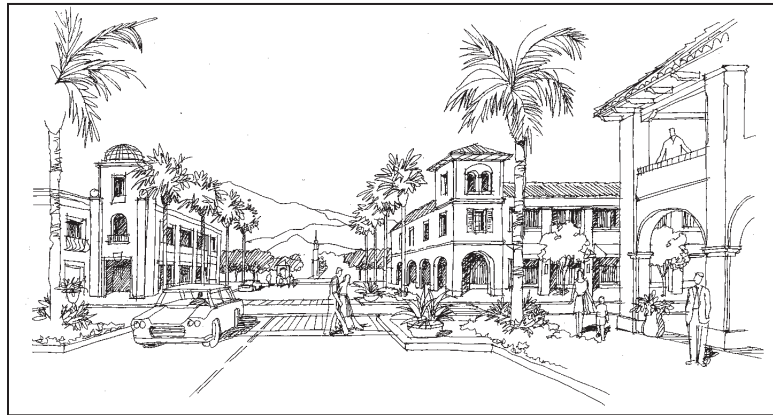
The Preserve is not only a superb living environment. Because of its strategic location, outstanding access and proximity to the Chino Airport, the exceptional business opportunities are already evident in the quality of our commercial, light industrial, airport related and professional business enterprises. This is even more remarkable because many of our new businesses are relocating from elsewhere in the region. They are seeking access to the trained workforce, many of whom cannot afford to live according to their preferred style in more developed portions of the region.

Conclusion

So, there you have it. The strategic location, reasonable land costs, welcoming attitude on the part of our City, and a commitment to quality that preserves the value of investments here are a powerful attraction. So, too, is a living environment that caters to executives, middle management and professionals as well as others in the workforce. They combine to make The Preserve the truly special place it sought to be from the beginning. The goals, objectives and policies that follow shape the achievement of this vision.

This page intentionally left blank.

SECTION II: EXECUTIVE SUMMARY



This page intentionally left blank.

EXECUTIVE SUMMARY

The Preserve Specific Plan provides the framework for the development of a dynamic and diverse community. The Preserve Specific Plan provides the vision for a community based on a mixture of residential neighbor-hoods focused around a lively community core and a regional commercial center, interconnected with a multi-purpose open space feature by a series of paseos and trails, as shown on Figure 1. Additional defining features of the concept include integration with the Chino Airport and an unusually complete mix of housing types that range from equestrian estates, to contemporary apartments and condominiums, to entry-level housing.

The Community Core is envisioned as a multi-purpose “promenade” that serves as the focal point of the community and provides its most prominent expression of uniqueness. It is in effect a “main street” in the time honored tradition of the American small town. The Community Core includes two land use designations: Community Core 16 and Community Core 30. These designations provide a rich mixture of entertainment, commercial, civic, cultural, educational, religious and residential uses, at residential densities of 16 and 30 dwelling units per acre, respectively.

The Community Core is intended to be a unique, walkable downtown. To enhance the walkable quality of the Community Core, pedestrian connections to each residential neighborhood and open space/recreational area within The Preserve are very important. Residents should be encouraged to utilize these pedestrian connections whenever possible. Buildings should be located on and oriented to the street and the sidewalk should be filled with pedestrian amenities, such as benches, low planter walls, public art and outdoor dining to create an exciting pedestrian space. Building massing and height should vary, encouraging prominent architectural accent buildings. Streets and pedestrian links should be oriented to frame views of the core area, public buildings, natural features and recreational focal points. All of these efforts help to create a strong sense of identity and interest.

The regional commercial center, located along Euclid Avenue, is intended to capture a high proportion of revenue producing uses, improve the regional jobs-housing balance and act as a center for diversified employment uses.

Industrial and business park uses surround the Chino Airport, to both capitalize upon and reinforce the long-term importance presented by this facility.

The passive and active open space areas of The Preserve are intended to capitalize on a one-of-a-kind resource that is created by Prado Dam and Rancho Miramonte. This area provides

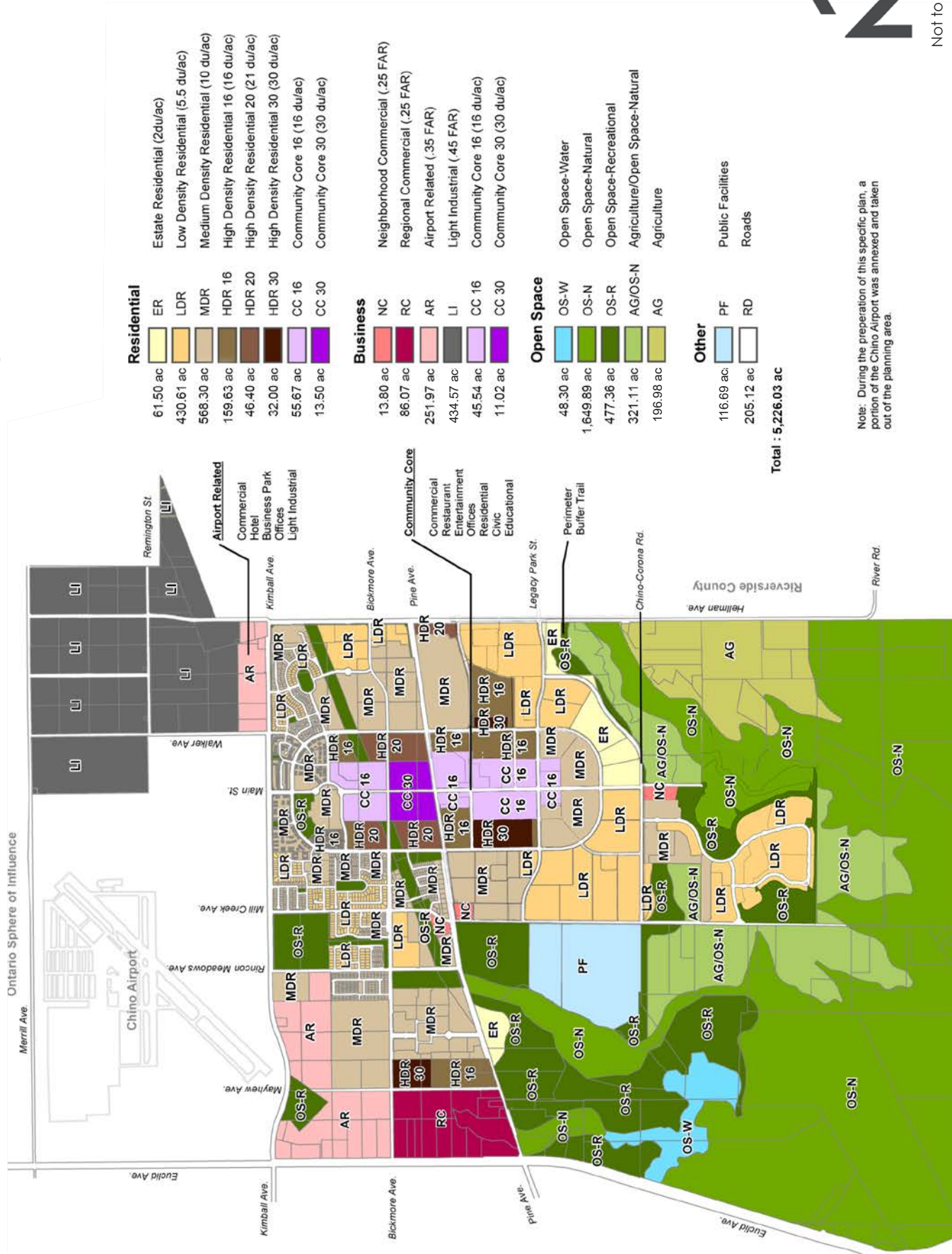
EXECUTIVE SUMMARY

a literal natural oasis for habitat while also accommodating recreational opportunities. The active recreational portion, located away from sensitive areas, accommodates uses such as play areas and equestrian trails. The passive recreational areas provide for regional wildlife habitat and space for agricultural activities, which are reflective of Chino's rich agrarian heritage. Certain open space areas, such as those on the eastern side of Mill Creek to the southeast, are intended for habitat conservation and are not conducive to any passive recreation. The Perimeter Buffer Trail, also called Urban Fringe Buffer, shall border the entire Rancho Miramonte Neighborhood.

Depending on their proximity to surrounding residential uses, the Rancho Miramonte open space areas provide recreational opportunities and important habitat conservation. The edges of recreational open space areas adjacent to natural open space include mechanisms to deter human contact so that sensitive habitat areas remain undisturbed.

A broad range of housing types with a unique sense of place and identity is strategically located and connected among all of these major features. For example, residences located above Chino-Corona Road are oriented to take advantage of their proximity to the Community Core. Similarly, residences south of Chino-Corona Road are oriented to enjoy the open space views and adjacent open space / recreational opportunities.

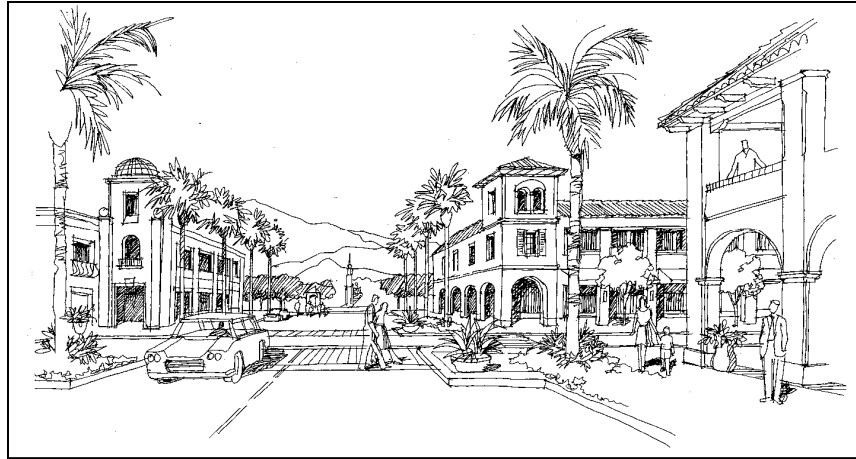
Figure 1: LAND USE PLAN



Note: During the preparation of this specific plan, a portion of the Chino Airport was annexed and taken out of the planning area.

This page intentionally left blank.

SECTION III: INTRODUCTION & BACKGROUND



This page intentionally left blank.

READER'S GUIDE TO THIS DOCUMENT

This section is intended to help the reader understand and navigate through this document. The Preserve Specific Plan is divided into the following main sections:

- Vision – this section provides a summary of the future vision for The Preserve.
- Executive Summary – this section provides a brief summary of The Preserve Specific Plan.
- Introduction and Background – this section provides a description of what a specific plan is, the authority to prepare one, the format of the specific plan, and a description of the location, opportunities and constraints of The Preserve.
- Development Concept - this section provides a description of the direction and intent of the land use plan. It is, in essence, the story of what The Preserve is.
- Development Plan – this section provides the detailed descriptions of the land use designations, development guidelines, mobility plan and infrastructure plans.
- Design Guidelines – this section provides the guidelines directing the type, style and design of development within The Preserve.
- Administration – this section contains the provisions for development processing, the development administration system, implementation and funding of The Preserve Specific Plan.
- Appendices – the Appendices contain information regarding the 566-foot dam inundation area, the Chino Airport, Pine Avenue/Main Street intersection study, plant palette and general plan consistency. The water, drainage and sewer master plans as well as the environmental impact report are contained under separate covers.

PURPOSE AND AUTHORITY

Regulatory Authority

The Preserve Specific Plan has been prepared pursuant to the provisions of the California Government Code, Title 7, Division 1, Chapter 3, Article 8, and Sections 65450 through 65457. The California Government Code authorizes jurisdictions to adopt specific plans by resolution as policy documents or by ordinance as regulatory documents. The law allows preparation of specific plans, as may be required for the implementation of the general plan, and further allows for their review and adoption. Section 20.23.050, of the Chino City Zoning Code, provides the procedures for the processing of specific plans in the City.

Specific plans act as a bridge between the general plan and individual development proposals. Specific plans combine development standards and guidelines, capital improvement programs and financing methods into a single document, which is tailored to meet the needs of a specific area.

INTRODUCTION & BACKGROUND

Department of the Army Corps of Engineers Jurisdiction (ACOE)

The ACOE has flood inundation easements for the Prado Control Basin over a portion of the land south of Chino-Corona Road known as Rancho Miramonte. These existing easements are limited to the 556' elevation. New plan inundation easements to the 566' elevation are proposed with the Rancho Miramonte Project.

Purpose and Intent

The Preserve Specific Plan establishes the planning concept, design and development guidelines, as well as administrative procedures necessary to achieve an orderly and compatible development of the project area. It is also intended to be consistent with and carry out the goals, objectives and policies of the City of Chino General Plan.

The basic intent of The Preserve Specific Plan is to establish a high-quality, dynamic and integrated community with a range of residential, commercial, industrial and multi-purpose open space uses at a variety of intensities and densities.

Flexibility has been designed into The Preserve Specific Plan to respond to the changes in society and the economic marketplace that will occur in the future. Further, the Specific Plan establishes the regulations and standards for the protection of areas below the 566-foot elevation, which is subject to periodic inundation by the Prado Dam.

Relationship to the General Plan

The Preserve Specific Plan implements the goals and policies of the City of Chino General Plan within the Specific Plan Area, and since any adopted Specific Plan must be consistent with the General Plan, all projects that are found to be consistent with this Specific Plan will be deemed consistent with the General Plan.

General Plan Amendment 2000-02, which was adopted in conjunction with The Preserve Specific Plan on March 25, 2003, incorporated the Preserve Area Plan into the General Plan. On July 6, 2010, the City adopted an update to the General Plan, which included the Preserve Specific Plan area, thus eliminating the need for the Area Plan.

Relationship to the Zoning Code

The Preserve Specific Plan works in concert with the City of Chino Zoning Code but provides additional zoning, development standards and guidelines that have been customized to achieve the unique vision for the project area. The City's zoning standards are utilized for certain aspects, such as parking, while the Specific Plan provides the standards that are uniquely tailored to The Preserve.

All development projects/changes and new uses shall be subject to the review procedures, findings and provisions of the City of Chino Zoning Code and the provisions of this Specific Plan. In addition, subsequent approvals, such as Special Conditional Use Permits, site plan approvals, tentative tract maps, parcel maps and other development approvals, must be consistent with both the guidelines of The Preserve Specific Plan and City of Chino Zoning Code. The direction, intent and general development guidelines contained in this Specific Plan must be complied with in order to achieve the vision and character of The Preserve.

The Preserve Specific Plan

INTRODUCTION & BACKGROUND

Unless expressly stated, The Preserve Specific Plan development procedures, regulations and standards shall supersede the relevant provisions of the City's Zoning Code as they currently exist or as subsequently amended in the future. No provision of this Specific Plan is intended to repeal, abrogate, impair, or interfere with City ordinances except as specifically stated in this Specific Plan. Any development regulation and guideline not specifically addressed by this Specific Plan shall be subject to the City's adopted regulations in place at the time of the individual request. Whenever the provisions of this Specific Plan impose more restrictive regulations than are imposed by other City ordinances, codes, or regulations, the provisions of this Specific Plan shall govern.

The Preserve is adopted by ordinance to establish clear policy direction, and to provide land use regulation. The Preserve Specific Plan establishes the zoning level authority for the City of Chino in The Preserve.

ENVIRONMENTAL REVIEW

Adoption or amendment of a Specific Plan constitutes a project under the California Environmental Quality Act (CEQA). Environmental Impact Report (EIR) SCH 2000121036 has been prepared in accordance with CEQA (Section 15168) to analyze the environmental impacts of The Preserve Specific Plan. EIR SCH#2006121093 has been prepared in accordance with CEQA (Section 15168) to analyze the environmental impacts of the Edgewater Communities Specific Plan Amendment. Both EIRs were prepared specifically for The Preserve Community and establish the existing, on-site environmental conditions and evaluated the potential impacts posed by this Specific Plan. The EIRs contain a series of mitigation measures that are either 1) design features of the Specific Plan or 2) will be imposed on the Specific Plan through the Mitigation Monitoring Plan or Conditions of Approval of subsequent projects. The Final EIR for The Preserve Specific Plan was certified by the City Council by Resolution 2003-15 on March 25, 2003. The Final EIR for the Edgewater Specific Plan Amendment was certified by Resolution No. 2009-009, on May 5, 2009. An addendum to the Edgewater EIR was prepared and adopted by Resolution No. 2016-021 on March 15, 2016.

PUBLIC PARTICIPATION

The Preserve Specific Plan has undergone an intensive program to elicit input and comments from interested citizens, affected agencies and property owners. The following identifies the public participation program for The Preserve Specific Plan:

- City Council Vision – Kicking off the development of this project, the City Council provided their vision for the future use and development of the plan area,
- Focus Group Meetings – Five Focus Group meetings were held to discuss issues and opportunities, including: environmental issues (March 15, 2000), infrastructure and services (March 22, 2000), transportation and mobility (April 6, 2000), property owners interests (April 12, 2000), and review of the alternative plans (June 7, 2000).
- Critical Issues and Goals/Objectives Report – This report cataloged the issues facing the use and development of the area as well as goals to address these issues (March 13, 2000).

INTRODUCTION & BACKGROUND

- Opportunities and Constraints Report – This report provided a summary of the significant issues, opportunities and constraints facing future uses and development in the plan area (June 14, 2000).
- City Council/Planning Commission Workshops - On June 14, August 16 and October 17, 2000, the Chino City Council and Planning Commission jointly evaluated and refined land use alternatives and provided direction for the ultimate shape and content of The Preserve land use plan. Initially, the City evaluated three land use alternatives, which are detailed in the Preliminary Land Use Concepts Report, June 7, 2000. The City then reviewed the Preferred Land Use Concept, which is detailed in the Preferred Land Use Concept Report, August 10, 2000. The City then reviewed a revised Preferred Land Use Plan and development assumptions on October 17, 2000. Two joint workshops were held on February 20, 2001, and October 23, 2001, to review the Specific Plan.
- Adoption – The Planning Commission held five study sessions between December 2002 and February 2003 on The Preserve Specific Plan. On February 24, 2003, the Planning Commission adopted Resolution number 2003-06 to recommend adoption of General Plan Amendment 2000-02 and Resolution number 2003-08 to recommend adoption of The Preserve Specific Plan and Prezone 2003-1. The City Council held two public hearings on March 11 and March 25, 2003. On March 25, 2003, the City Council adopted Ordinance 2003-06 to adopt the Specific Plan and Prezone 2003-1 and Resolution 2003-14 to adopt General Plan Amendment 2000-02.

Major Amendments

- South of Pine - On February 13, 2008, the Planning Commission adopted Resolution No. 2008-18 to recommend a Mitigated Negative Declaration; adopted Resolution No. 2008-01 to recommend approval of the certification of tentative cancellation for Land Conservation Contract No. 71-341; adopted Resolution No. 2008-04 to recommend the Addendum to the Certified Environmental Impact Report for the Preserve Specific Plan—Chino Sphere of Influence—Sub Area 2; adopted Resolution No. 2008-05 to recommend approval of the General Plan Amendment No. 2007-02; adopted Resolution No. 2008-06 to recommend approval of the Preserve Specific Plan Amendment No. 2007-02; approved Preserve Specific Plan Master Site Approval No. 2006-02; and approved Tentative Tract Map No. 16420. On March 4, 2008, the City Council adopted Resolution No. 2008-009, adopted an Addendum to the Environmental Impact Report for The Preserve Chino Sphere of Influence Subarea 2; adopted Resolution No. 2008-010, approved Specific Plan Amendment No. 2007-02; adopted Resolution No. 2008-011, approved General Plan Amendment No. 2007-02; adopted Resolution No. 2008-012, approved the Certification of Tentative Cancellation of Williamson Act Land Conservation Act Contract No. 71-341; and approved Ordinance No. 2008-02.
- Housing Element - Public input from the General Plan Update community workshops, the General Plan Steering Committee and a separate Housing Element steering committee was utilized to develop the 2008-2014 Housing Element. On November 17, 2008, the Planning Commission adopted Resolution No. 2008-19 to recommend adoption of the City of Chino 2008-2014 Housing Element; adopted Resolution No. 2008-16 to recommend approval of General Plan Amendment PL08-0447; adopted Resolution No. 2008-17 to

The Preserve Specific Plan

INTRODUCTION & BACKGROUND

recommend adoption of the Preserve Specific Plan Amendment PL08-0448; and adopted Resolution No. 2008-20 finding that the proposed First Amendment to the Preserve Development Agreement is consistent with the General Plan. On December 2, 2008, the City Council approved and adopted Resolution No. 2008-057, amending the General Plan and adopting the 2008-14 Housing Element.

- Edgewater– In 2008 the Planning Commission and City Council considered a modification to The Preserve Specific Plan for the inclusion of the Edgewater Neighborhood, a residential community incorporating natural open space, recreation areas, and community lake opportunities into its community design. Plans for the Edgewater Neighborhood created over 138 acres of additional developable land through alterations of the terrain to bring lands above the 566-foot dam inundation elevation. The plan was therefore able to add 1,074 new residences to The Preserve Specific Plan area.
- On April 20, 2009, the Planning Commission adopted Resolution No. 2009-03 to recommend adoption of General Plan Amendment 2005-03 and The Preserve Specific Plan Amendment 2005-08. On May 5, 2009, the City Council adopted Resolution No. 2009-010 adopting General Plan Amendment 2005-03 and Ordinance No. 2009-05 to adopt the Specific Plan Amendment.
- In 2016 the Planning Commission and City Council considered another modification to The Preserve Specific Plan and EIR. This revision proposed conversion of the Edgewater Neighborhood to Rancho Miramonte, reducing the proposed number of units from 1,074 to 823. Because of on-going drought conditions, the community lake features were converted to recreational open space.
- Rancho Miramonte – On February 17th, 2016, The Planning Commission recommended approval and on April 5th 2016 the City Council adopted Ordinance No. 2016-004 to adopt the Specific Plan Amendment for minor changes to the previously approved Edgewater Neighborhood.
- General Plan Update - Envision Chino 2025 General Plan Update began in early part of 2006. There were multiple workshops and hearings held by both the Planning Commission and City Council. Over 500 Chino residents responded to visioning surveys, attended educational sessions, and provided direct input at workshops. The General Plan Steering Committee held many meetings to discuss the recommended policies for the Plan. The Planning Commission held multiple workshops to review each element of the Plan. On May 3, 2010, the Planning Commission adopted Resolution No. 2010-14, recommend the City Council adopt the Envision Chino 2025 General Plan. On July 6, 2010 the City Council approved and adopted Resolution No. 2010-26, adopting the Envision Chino 2025 General Plan, a comprehensive update to the General Plan.
- On November 15, 2021 the Planning Commission recommended approval and on December 7, the City Council approved the Ordinance 2021-015 to adopt the Specific Plan Amendment for changes to Main Street along with some changes to other street sections, and general clean-up.

INTRODUCTION & BACKGROUND

LOCATION AND DESCRIPTION

Location

The Preserve is located in the extreme southwestern corner of San Bernardino County, approximately 37 miles east of Los Angeles and 115 miles north of San Diego in one of the most rapidly growing areas of the State. As shown in Figure 2, Regional Location, The Preserve is located in the vicinity of the incorporated cities of Chino, Chino Hills, Yorba Linda, Pomona, Ontario, Norco and Corona. The Santa Ana River and the Prado Flood Control Basin are located to the south of the project site and the Chino Hills State Park is located to the west.

As shown in Figure 3, Local Vicinity, The Preserve is approximately two miles in width and three miles in length, encompassing 5,435.3 acres. Bordering The Preserve on the west are the cities of Chino and Chino Hills. To the north of The Preserve are the City of Ontario and the Chino Airport. The unincorporated community of Eastvale, in the County of Riverside, forms the eastern boundary. The Prado Flood Control Basin in the County of Riverside borders The Preserve on the south.

Access

As shown in Figure 2, Regional Location, State Route 71 is located immediately to the west of the site, State Route 91 to the south, Interstate 15 to the east and State Route 60 to the north. The Preserve is bound by Euclid Avenue and a portion of State Route 71 to the west. A portion of Kimball and Merrill Avenues form the northern boundary of the site. Regional access to and from The Preserve is primarily accommodated in an east-west manner. Access north and south is restricted due to the Chino Airport and the Prado Basin.

Setting

The Preserve is a part of the Chino Valley, a generally flat sub-portion of the larger San Bernardino Valley. Elevations in The Preserve range from about 500 to 660 feet above sea level. The Chino Valley is influenced by the Santa Ana River drainage, which originates in the San Bernardino Mountains, located to the northeast. Southwest of the study area, the Santa Ana River drains through the narrow Santa Ana Canyon between the Chino Hills and the Santa Ana Mountains before eventually emptying into the Pacific Ocean about 30 miles to the southwest.

The Preserve is located in a shallow valley that gently slopes south-southwest and is generally covered by alluvial soils, which originated from the surrounding mountains and hills.

Three major creeks drain through The Preserve: Chino Creek, Cucamonga Creek, and Mill Creek. Chino Creek drains southerly along the base of the Chino Hills. Cucamonga Creek, drains into the eastern portion of the Prado Basin before eventually joining the Santa Ana River. Mill Creek drains southeast into the natural open space of the Prado Basin. Two minor drainages, draining south from the Chino Airport, are also located within The Preserve.

The Preserve Specific Plan

INTRODUCTION & BACKGROUND

2,778.56 acres of The Preserve lies within the inundation area created by the raising of Prado Dam. The approved Army Corps of Engineer's Santa Ana Mainstem Project will result in the raising of the Prado Dam 28 feet and the spillway 8 feet. The raising of the Prado Dam will increase the area of potential dam inundation by ten feet from its current elevations of 556 feet above sea level to 566 feet above sea level.

Existing Land Use

When The Preserve was first adopted in 2003 (As shown on Figure 4: Existing Land Use, 2003), the dominant existing land use was agricultural, followed closely by open space and vacant lands within the Prado Flood Control Basin and the Prado Regional Park. At the time, agricultural uses included: farming, pastures, dairies and poultry, as well as related industrial and scattered residential structures. Manure from dairy operations was spread over farmed lands, shipped out of the area or composted at the then existing Co-Composting facility. The use of the manure raised critical water quality control issues and the Santa Ana Regional Water Quality Control Board (SARWQCB) was heavily involved in the regulation of this practice.

The existing landscape has changed dramatically since 2003. Many agricultural uses have closed their operations and transitioned away from the Chino area. The Co-Composting facility is now closed and residential uses have expanded.

Some features have remained the same. For instance, the open space and vacant lands, located within the Prado Flood Control Basin and the Prado Regional Park, remain dominant existing land uses. In addition, the California Institution for Women and Southern California Edison (SCE) public facilities can still be found.

The California Institution for Women is located in the approximate center of The Preserve and falls partially within the 566-foot dam inundation elevation. Levees will be constructed to protect the structures on the prison facility's property from inundation.

The SCE facilities include various transmission lines which traverse The Preserve. Among these is the SCE Corridor which runs east-west and crosses Pine Avenue at Bon View Avenue (Rincon Meadows Avenue).

Figure 2: REGIONAL LOCATION



Figure 3: LOCAL VICINITY

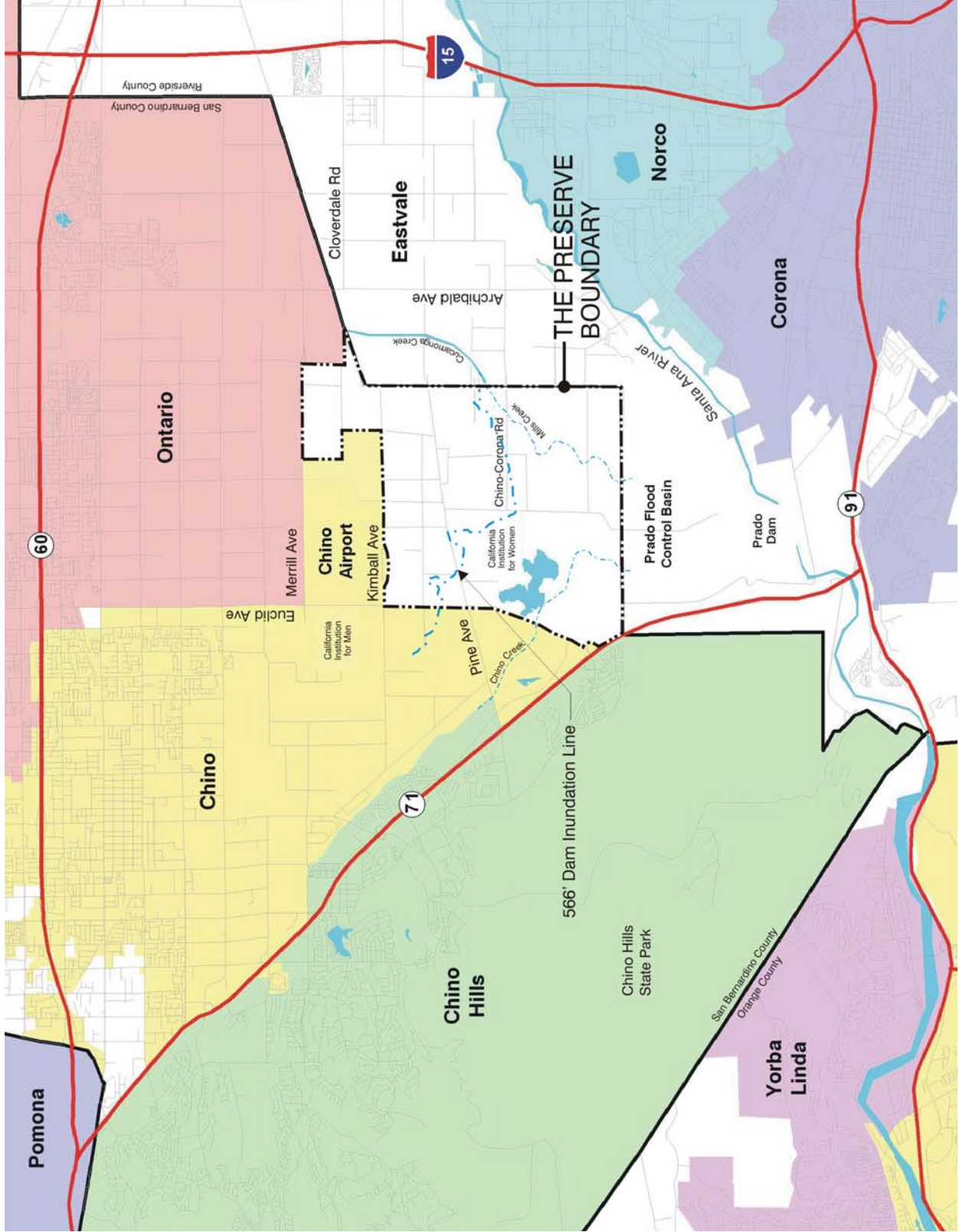
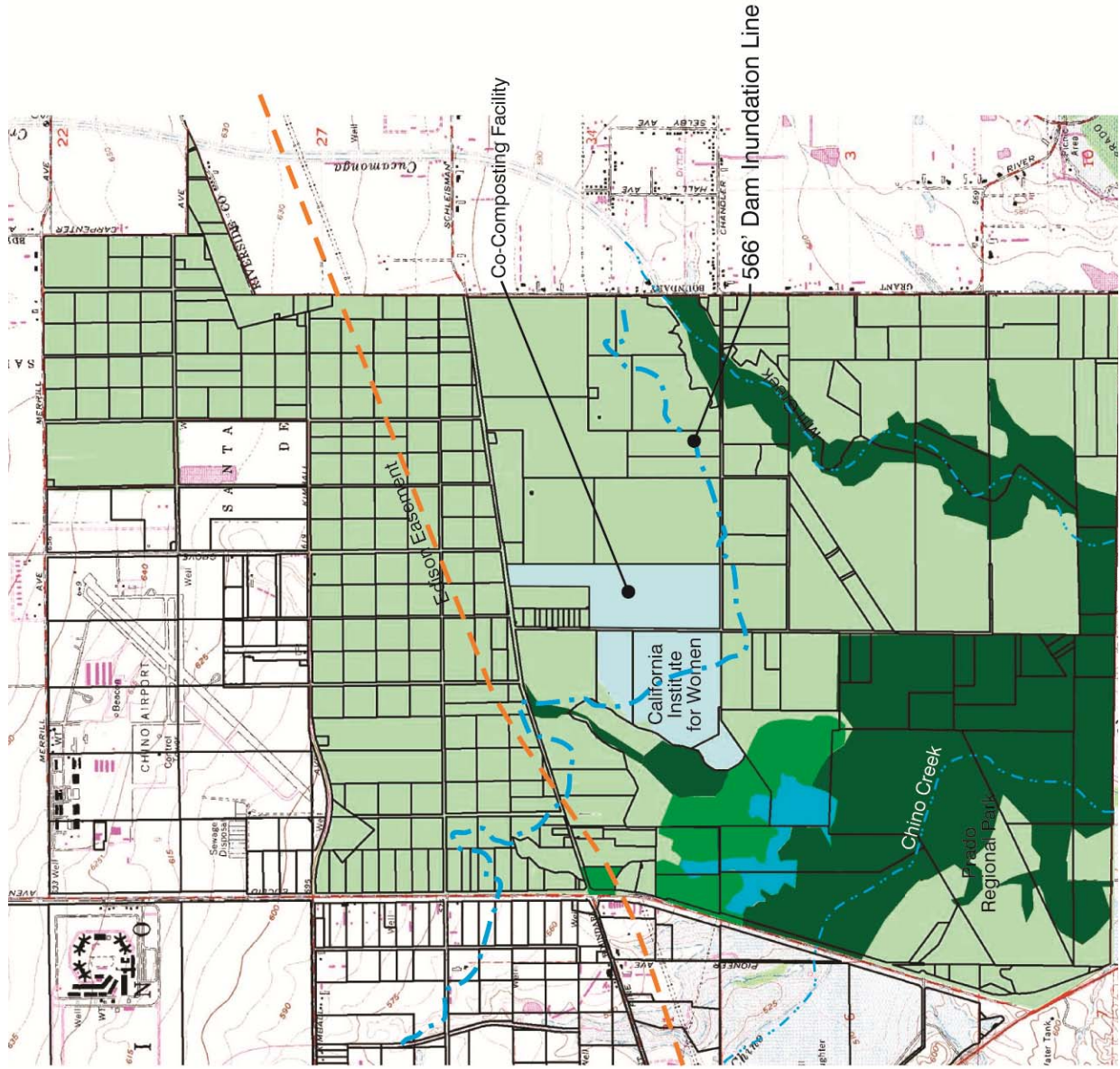


Figure 4: EXISTING LAND USE 2003



- Agricultural
- Open Space
- Public Facility
- Recreation
- Water



Adjacent Land Use

As mentioned above, at the time of the adoption of The Preserve Specific Plan in 2003, the area mainly consisted of agricultural and dairy uses. Over time these uses have relocated as The Preserve has developed.

The long-term land use plans for the surrounding areas are described by the surrounding general plan land use designations. In Figure 5, the land use designations have been adjusted to be consistent with the City of Chino's General Plan land use designations.

Immediately south of The Preserve is the Prado Flood Control Basin. The Prado Flood Control Basin is currently utilized for inundation and water reclamation purposes. Farming, recreation and habitat uses are also located in the flood basin. The Prado flood basin is designated as open space in the General Plans for the counties of Riverside and San Bernardino. This designation allows for water reclamation, open space and recreational uses. The Santa Ana River is located south of The Preserve and is planned for open space, recreation and habitat uses.

Immediately east of The Preserve lies an area of Riverside County known as Eastvale. Agricultural and dairy uses currently occupy this area. However, a number of residential subdivisions are nearing completion or in the planning stages in this area. The County of Riverside is currently in the process of creating a land use plan, or Community Plan, for the area. Draft land use plans indicate that Eastvale will be designated for low-density residential with a pocket of industrial designation adjacent to the northeastern corner of The Preserve.

Immediately west of The Preserve is the Chino Subarea 1 and a portion of Chino Hills. Subarea 1 is currently utilized for agricultural activities and recreational uses, such as the El Prado Golf Course and Prado Tiro Shooting Range. The Inland Empire Utilities Agency wastewater treatment facility and industrial uses are located along the northern portion of Subarea 1. The adopted Subarea 1 land use plan designates the northern portion of Subarea 1, near Kimball Avenue, for industrial uses. This plan also designates the areas below the 566-foot dam inundation elevation for agricultural and open space uses. The portion of Chino Hills adjacent to The Preserve is developed and designated for low-density residential uses.

Immediately north of The Preserve is the Chino Airport. The Chino Men's Correctional Facility is situated northwest of the study area. This is designated as Urban Reserve in the City of Chino General Plan. This designation allows for a variety of land uses, including public facilities, industrial and retail. A portion of the Chino Men's Correctional Facility north of Kimball Avenue is being considered for other urban uses.

OPPORTUNITIES AND CONSTRAINTS

The Opportunities and Constraints Report, dated June 14, 2000, provides extensive detail of The Preserve's options for future use and development. The following are highlights of the significant opportunities and constraints that influenced The Preserve. The opportunities and constraints are depicted on Figure 6, Opportunities and Constraints.

- Approximately 47 percent (2,555 acres) of the total acreage of The Preserve is available for development. This acreage is primarily located above the 566-foot dam inundation

INTRODUCTION & BACKGROUND

elevation. A majority of this area is not constrained by wildlife and habitat issues due to the highly disturbed and developed nature of the land. The area below the 566-foot dam inundation elevation contains the majority of development constraints and provides an area for regional wildlife movement.

- The presence of the Chino Airport influences the location, design and intensity of uses within The Preserve. The Chino Airport Runway Protection, Noise and Safety Zones restrict the location of certain types of sensitive uses, such as residential, due to noise and safety considerations. This also provides an opportunity for compatible uses, such as industrial/warehouse.
- According to the Army Corps of Engineers, appropriate uses, such as habitat, active and passive recreation, agricultural and equestrian uses, may be located below the 566-foot dam inundation elevation based on potential flooding constraints. The dam inundation area presents the opportunity to provide a regional habitat and recreational open space amenity.
- Access to The Preserve is limited. Access from the north and south is particularly constrained due to the presence of the Chino Airport and Prado Flood Control Basin. East-west access is currently limited due to the present lack of connection of Pine Avenue to the 71 Freeway and Interstate 15.
- The Chino Airport and Men's Correctional Facility physically separate The Preserve and Subarea One from the City of Chino. The Preserve will incorporate design, service and character elements of the City of Chino to help make a connection between these two areas.
- The Preserve is strategically located to capitalize on the rapid growth of the surrounding areas and increase its market potential.

2016 Opportunities And Constraints

The opportunities and constraints mentioned above were reassessed in 2016 with the amendment of the Specific Plan for the inclusion of Rancho Miramonte. While some conditions have remained the same, the planning of Rancho Miramonte changed some aspects.

The following are highlights of the opportunities and constraints that influence the amendment of Rancho Miramonte neighborhood (previously known as Edgewater). These opportunities and constraints are also depicted on Figure 6: Opportunities and Constraints.

- In 2016, Rancho Miramonte is in planning stages and actual grading is not yet underway. However the grading techniques that will be utilized in the creation of Rancho Miramonte will move the Flood Inundation Elevation to 566-feet, improving the capacity approximately 14 to 16 percent. This increases the total number of developable acres of The Preserve to 2,693.
- Drought conditions and sustainability of the previous "Lakes" concept has resulted in the removal of the lakes.

The Preserve Specific Plan

INTRODUCTION & BACKGROUND

- Removal of the lakes has increased the available open space and active recreation areas.
- Approximately 138 of the developable acres will be made available for active recreation areas and trails and open space within Rancho Miramonte through the excavation of existing disturbed agricultural lands south of Chino-Corona Road to include additional portions of the property above the 566-foot inundation line. Depressions in the land will be used to create open space areas for recreation, and the excavated material will be deposited around the ledge to build up additional areas at an elevation above the 566-foot inundation line for residential use. The open space will also provide additional flood storage capacity for the area. Alteration of the terrain make unique recreational and residential uses possible for this area, and special consideration has been given to the area given its proximity to the inundation elevation and open space features to the west, south and east.

Figure 5: ADJACENT PLANNED LAND USE

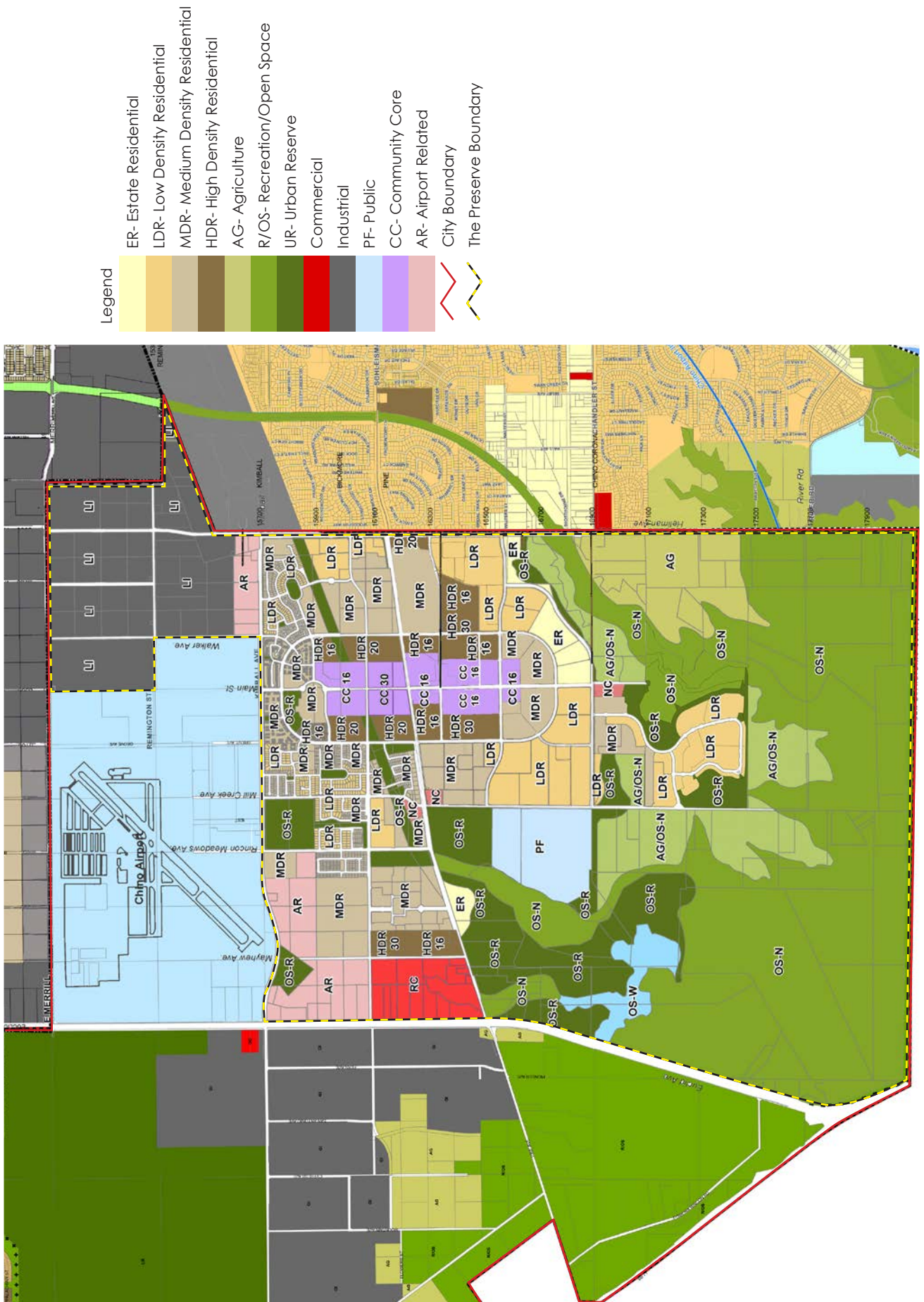
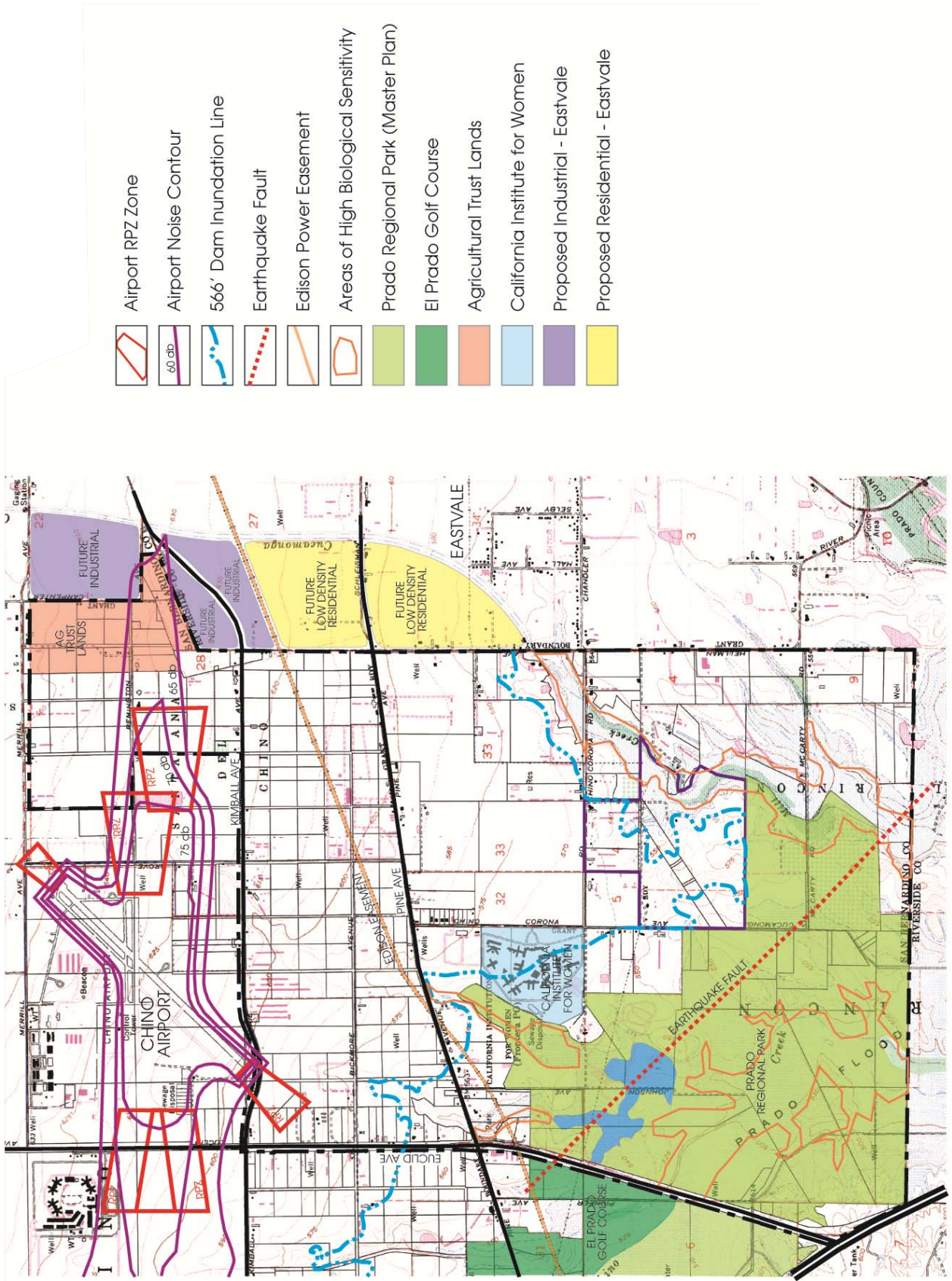
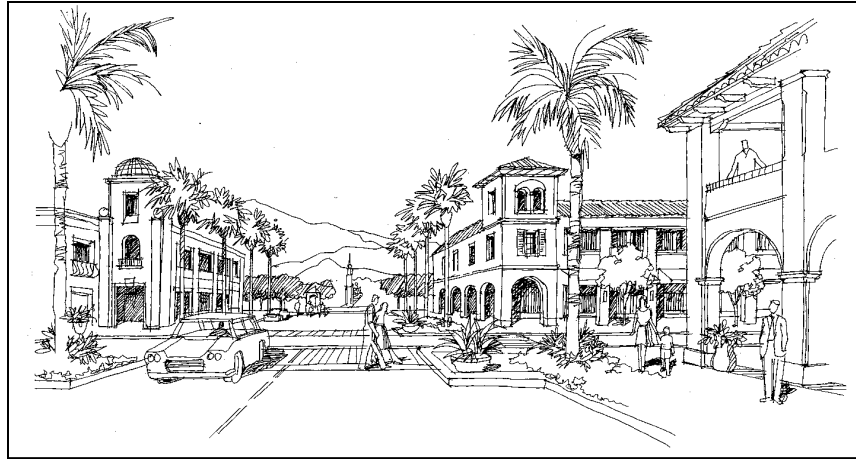


Figure 6: OPPORTUNITIES AND CONSTRAINTS 2014



This page intentionally left blank.

SECTION IV: DEVELOPMENT CONCEPT



This page intentionally left blank.

This section provides an overall understanding and rationale for what is envisioned in The Preserve, the intended quality and character of the uses, and the expected level of services and infrastructure to be provided. The purpose of this Chapter is to lay the foundation for the development regulations and guidelines provided in the next Chapter.

The following is a general description of the direction and intent of The Preserve Specific Plan. The Land Use Plan illustrating this concept is shown on Figure 7, Land Use Plan, and a statistical summary of this concept is provided in Table 1, Land Use Plan Statistical Summary. The Rancho Miramonte Land Use Plan is shown on Figure 8.

DEVELOPMENT CONCEPT

The Preserve is composed of the following main features interwoven into a single, dynamic and unique community:

- Multi-purpose passive and active recreation open space areas including active trails adjacent to preserved natural open space . These areas are integrated into a large regional open space system centered on the Santa Ana River,
- A community of distinctive residential neighborhoods,
- A major regional commercial center,
- An employment center focused around the Chino Airport, and
- A diverse community core with a mixture of retail, dining, civic and educational uses.

All these features are interconnected by a system of paseos and trails. The following is a brief description of the major features of The Preserve.

Multi-Purpose Open Space Feature

The area below the 566-foot dam inundation elevation offers one of the most significant and unique open space opportunities in the region and is envisioned as a dynamic combination of active and passive recreation, wildlife habitat and preserved agricultural uses.

The active recreational portion may accommodate play areas and equestrian facilities, while other areas provide for passive recreation, natural habitat and agricultural activities.

The Preserve contains one existing lake, as shown in Figure 7, derived from the Prado Dam. This water feature is located in the area's regional park and is surrounded by open space used either for recreation or natural habitat preservation. Uses associated with this lake will be determined by the operation of the regional park.

Rancho Miramonte is a master-planned residential community nestled on a peninsula formed by the 566' Prado Dam inundation elevation contour and is surrounded on three sides by open space. The serene open space and trails will make Rancho Miramonte a great place for residents of all ages to call home.

DEVELOPMENT CONCEPT

Approximately 47% of Rancho Miramonte is devoted to open space and recreational activities; these include space set aside for community gar- dens and active recreation. Pocket parks will contain tot-lots, picnic areas and gathering spaces. The trail system in Rancho Miramonte, which is connected to the other neighborhoods of the Preserve, offers over two linear miles of hiking, bicycle, equestrian, and pedestrian trails.

Community Paseo and Open Space System

The Community Paseo and Open Space System is the “glue” of The Preserve, interweaving the various features of the plan and connecting the entire community with the open space to the south. The Community Paseo and Open Space System is a system of trails and linear open spaces that connect the major features of The Preserve.

The Community Paseo and Open Space System encourages pedestrian access and provides a convenient and viable mobility option to the car. Walking, jogging, bicycling and, in some cases, equestrian are all accommodated along a system that is enhanced by the scenic open spaces and recreational areas located throughout The Preserve.

The Community Paseos and Open Space System provides distinctive edges and creates identity for the various components and neighborhoods of the plan. The system components also buffer, or separate, potentially incompatible uses.

In addition to the Community Paseo and Open Space System, parks and recreational amenities are provided for the development area itself. The acreages and assumptions for the parkland acreages are shown on Table 2, Calculation of Adjusted Units.

Community Core

The Community Core is envisioned as a multi-purpose “promenade” that serves as the backbone of the community and provides its most prominent expression of uniqueness. It is in effect a “main street” in the time-honored tradition of the American small town. The Community Core provides a rich mixture of entertainment, commercial, civic, cultural, educational, religious and residential uses.

Examples of a Community Core



An example of a mixture of retail on the bottom floor and office or residential on the second floor in a Community Core.



The Preserve Specific Plan

The Community Core is envisioned as an idyllic “main street” with a mix of uses, themed landscaping, street furniture, textured paving and tasteful signage. To stimulate pedestrian use, the Community Core is envisioned as a unique street scene with vibrant uses that invite exploration, such as cafe and outdoor dining. Uses allowed in the Community Core include a mixture of commercial, retail, office, entertainment and residential uses. It is anticipated that commercial uses will be concentrated in the central part of the core with educational and higher density residential uses focused on the two ends of the core.

The Community Core accommodates neighborhood and community serving commercial uses, such as: supermarkets, bookstores, restaurants and cafes; entertainment uses, such as theaters or a community playhouse; cultural uses, such as a museum; as well as satellite civic uses, such as a satellite city hall, police substation or recreation department. Offices would ideally be located on the second or third floors above the commercial uses. Residential uses could be located on the second or third floors above commercial uses in the Community Core.

The Community Core also accommodates a learning center in conjunction with an elementary and/or junior high school and parks. The Learning Center may consist of a shared and co-located school, day care, library, satellite civic uses, community center, fire station and recreational facilities. Places of worship will also be encouraged and accommodated as part of the focus of community life. If not treated properly, Pine Avenue, which is a major thoroughfare, could divide the Community Core and The Preserve into two halves. In order to unify the Community Core and community, careful consideration of the connection across Pine Avenue is necessary. To this end, a special analysis of Pine Avenue is presented in the Mobility Section, Section V. This is essential to reconcile two important but incompatible needs: regional movement along Pine Avenue and the calmer local focus of “Main Street.”

The greatest concentrations of residential densities are located within one-half mile of the Community Core. This provides the necessary density to help maintain a viable downtown core and maximize convenient access to shops and services without automobile use.

In addition, special consideration must also be given to the connectivity to and from Rancho Miramonte and its distinctive open space amenities. Rancho Miramonte residences and recreation amenities are all located just south of Chino-Corona Road, connecting south of Main Street. Multi-use trails and The Preserve’s Community Paseo system encourage the mobility of people from the Community Core south to Rancho Miramonte , and vice versa.

Euclid Regional Commercial Center

The Euclid Regional Commercial Center stretches along Euclid Avenue between Kimball and Pine Avenues. This Center is envisioned as an area of intensive business, retail, office and entertainment uses, providing an employment and commercial base for the region. The Euclid Regional Commercial Center capitalizes on the strategic location of The Preserve by providing a regional employment base that is intended to improve the jobs-housing balance for the City and the western Inland Empire.

The Regional Commercial Center is allowed to expand and intensify as this regionally strategic location captures increased business activity. The intent is that uses on this site would develop as early as possible yet expand and adjust as the economic attractiveness of this strategically located area increases.

DEVELOPMENT CONCEPT

The depth of the Regional Commercial designation provides property owners and developers the flexibility to respond to market trends with innovative designs and uses.

The Euclid Commercial Center is proposed to partially extend below the 566-foot dam inundation elevation. Due to the potentially high value of the land, this use could finance the necessary re- placement of lost flood capacity in the Prado Flood Basin. It is important to note that the inundation elevation in much of this area would be very shallow and require a relatively small amount of volume offset. In order to allow development within the inundation area, the City and developer will be required to work with the U.S. Army Corps of Engineers.

Airport Related Business/Industrial Area

The Chino Airport provides an economic opportunity. To capitalize upon this opportunity and utilize the property impacted by the airport's noise and safety zones, a vibrant and diverse business and industrial area is provided.

The Light Industrial and Airport Related designations allow for office, manufacturing, business park and other uses compatible with the Chino Airport.

These uses, located along Kimball Avenue, would interact with the Euclid Regional Commercial Center and Chino Airport as that facility takes on a more diversified air transportation role.

Residential Neighborhoods

A broad range of housing types, each with a unique sense of place and identity, are strategically located among these major features.

A diversity of residential neighborhoods offering a variety of densities, housing types and price ranges is accommodated in The Preserve. The rich mixture of housing designations provides the opportunity for a "fine grain" blend of choices to appeal to many market and economic segments.

Higher density residences, such as multi-family structures, townhomes and garden apartments, are located in the Community Core, Euclid Regional Commercial Center and Kimball Avenue. This provides the opportunity for access to employment and service uses as well as convenient live-work opportunities. Lower-density residential uses are mainly located on the eastern portion of The Preserve, south of Pine Avenue, and within the southern portion of Rancho Miramonte. Estate Residential uses are located in the southern portion of the developed area.



The Preserve Specific Plan

Figure 7: LAND USE PLAN

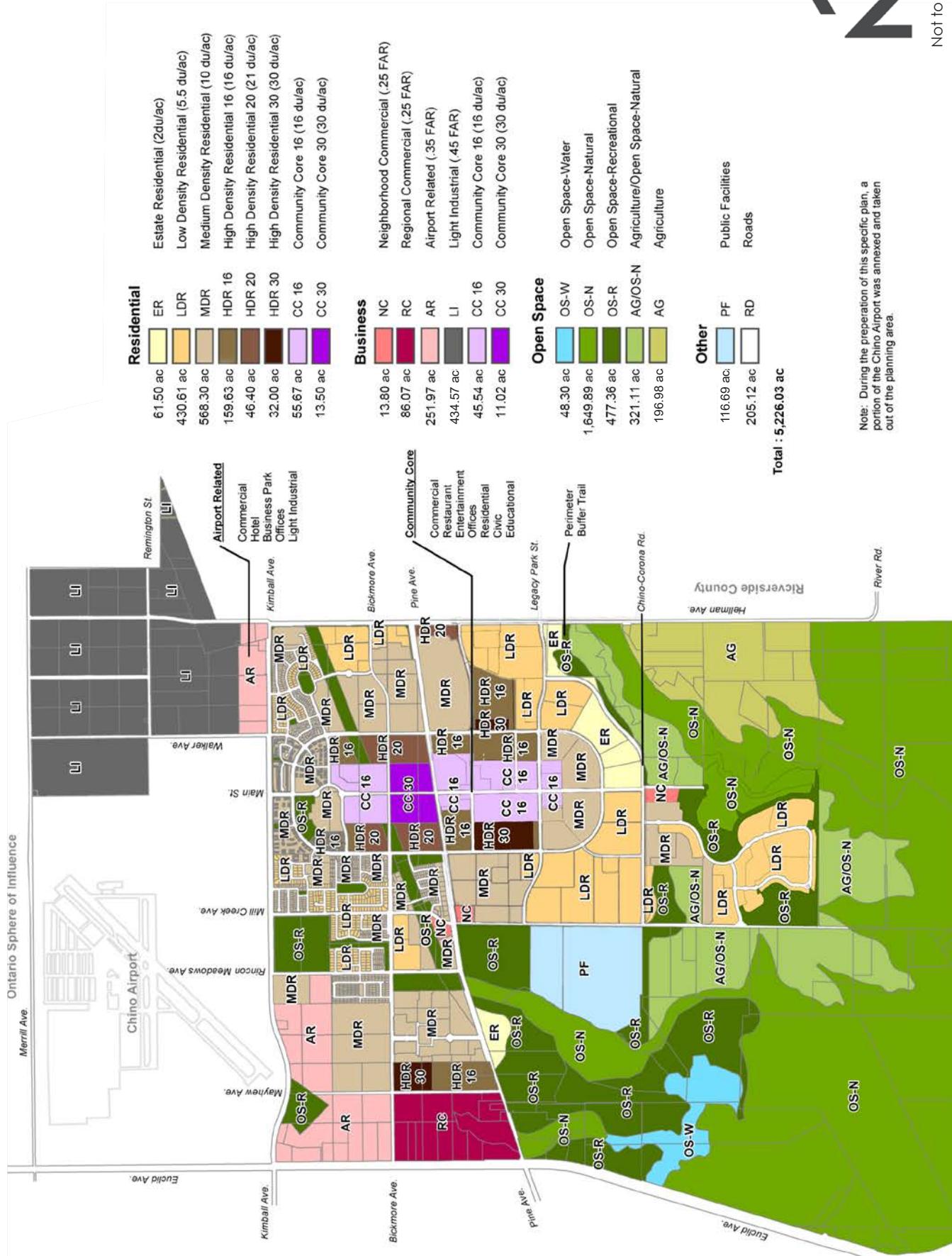


Figure 8: RANCHO MIRAMONTE LAND USE PLAN



Land Use	Acres	Units
Base Designations		
Low Density Residential ¹	87.70	520
Medium Density Residential	33.42	303
Neighborhood Commercial ²	5.07	
Recreation Center	3.56	
Open Space Recreation (including Parks)	55.09	
Open Space Natural	66.99	
Backbone Roads	19.33	
Totals	271.16	823

Notes:
¹ Per The Preserve SP, the minimum lot size in the Low Density category is 3,600 sq. ft. However, along 45% of the perimeter of the LDR's edge abutting the Open Space area, the minimum lot size is 8,700 square feet.
² The neighborhood commercial is intended to accommodate local-serving uses that are compatible with the community theme such as a church, museum, crop cultivation, retail, market, deli, and café.



Not to Scale

Section IV

TABLE 1 - LAND USE PLAN STATISTICAL SUMMARY

	Adjusted Gross Ac.*	Adjusted Units ¹	Sq. Ft. ²	Average Density ³		Density Range ⁴
				DU/AC	FAR	
Residential Designations						
Estate Residential	61.50	123		2.0		0-3 du/ac
Low Density Residential	430.61	2,318		5.5		3-8 du/ac
Medium Density Residential	568.30	5,392		10.0		8-12 du/ac ⁶
High Density Residential 16	159.63	1,351		16.0		12-20 du/ac
High Density Residential 20	46.40	878		21.0		16-24 du/ac
High Density Residential 30	32.00	768		30.0		24-40 du/ac
Community Core-16 (55% of Designation)	55.67	572		16.0		12-20 du/ac
Community Core-30 (55% of Designation)	13.50	323		30.0		24-40 du/ac
Residential Subtotal	1,367.61	11,725¹				
Business Designations						
Neighborhood Commercial	13.80		150,282.00		0.25	N.A.
Regional Commercial	86.07				0.25	N.A.
Regional Commercial (70%)	60.25		656,122.5		0.25	N.A.
Office (15%)	12.91		140,589.9		0.25	N.A.
Open-Space-Rec. (15%)	12.91					
Airport Related	251.97				0.35	
Light Industrial (55%)	138.58		2,716,513.77		0.45	N.A.
Business Park (20%)	50.39		768,306.92		0.35	N.A.
Office (10%)	25.20		384,153.46		0.35	N.A.
Commercial (10%)	25.20		274,395.33		0.25	N.A.
Hotel (5%)	12.60		192,076.73		0.35	N.A.
Light Industrial	434.57		6,999,286.14		0.45	N.A.
Community Core-16 ⁵	45.54			16.0	0.50	
MU Commercial (20%)	20.24		352,661.76		0.40	N.A.
MU Office (15%)	15.18		198,372.24		0.30	N.A.
MU Public Facilities (10%)	10.12					

TABLE 1 - LAND USE PLAN STATISTICAL SUMMARY

	Adjusted Gross Ac.*	Adjusted Units ¹	Sq. Ft. ²	Average Density ³ DU/AC	FAR	Density Range ⁴
Community Core-30	11.02					
MU Commercial (20%)	4.90		85,377.6		0.40	
MU Office (15%)	3.67		47,959.56		0.30	
MU Public Facilities (10%)	2.45					
Business Subtotal	765.47		12,966,098			
Open Space Designations						
Agriculture	196.98					
Open Space-Water	48.30					
Ag/Open Space-Natural	321.11					
Open Space Recreation	477.36					
Open Space-Natural	1,649.89					
Open Space Subtotal	2,696.74					
Other Designations						
Public Facilities	116.69					
Women's Institute	122.00					
Chino Airport	69.09					
R.O.W.	205.12					
Other Subtotal	396.21					
Totals	5,226.03	11,725¹	12,966,098			

* Adjusted gross acres is the gross project acreage excluding the acreage devoted to major, secondary, and collector street rights-of-way, easements for major utilities, and land for City parks and schools.

¹ Residential unit assumption is based on adjusted gross acres, including an adjustment to include the acreage required for parks and schools. For purposes of parks and schools assumptions, the unadjusted number of units, based simply on adjusted gross acres times the average density factor for each residential designation, is 12,377 dwelling units. Sites designated to accommodate the City's Regional Housing Need Allocation, per the General Plan Housing Element, do not have an adjustment to exclude the acreage for parks, in order to comply with Section 65863 of the Government Code.

² Non-Residential square footage assumption based on adjusted gross acres.

³ Average density is the target density. Individual project densities may vary within the Maximum Density range stated in this table.

⁴ Provides the density ranges within each residential land use designation.

⁵ Community Core 16 Commercial includes the assumption of two 12-Acre K-8 Schools, Community Core 16 Residential uses are included in "residential designations" at the top of Table 1.

⁶ The Density range may be expanded to 6 to 14 dwelling units per acre if approved through a Master Plan and with a minimum of 60 acres (See Section VII)

Table 2 - Calculation of Adjusted Units

Land Use Designation	Adjusted Gross Acres ¹	Average Density Factor	Park Requirements (Acres) ²	School Assumptions (Acres) ³	Adjusted Units
Estate Residential	61.50	2.0	1.2	10	123
Low Density Residential	430.61	5.5	24.6		2,318
Medium Density Residential	568.30	10.0	62.1		5,392
High Density Residential 16	159.63	16.0	17.6		1,351
High Density Residential 20	46.40	21.0	9.0		878
High Density Residential 30	32.00	30.0	7.8		768
Community Core 16 – Residential	55.67	16.0	5.8	8.68	572
Community Core 30 – Mixed Use Residential	13.50	30.0	3.3		323
Non-Residential Designation					
Community Core 16- MU Public				16.32	
Airport Related					
Open Space- Recreational					
Totals	1,367.61		131.4	35	11,725

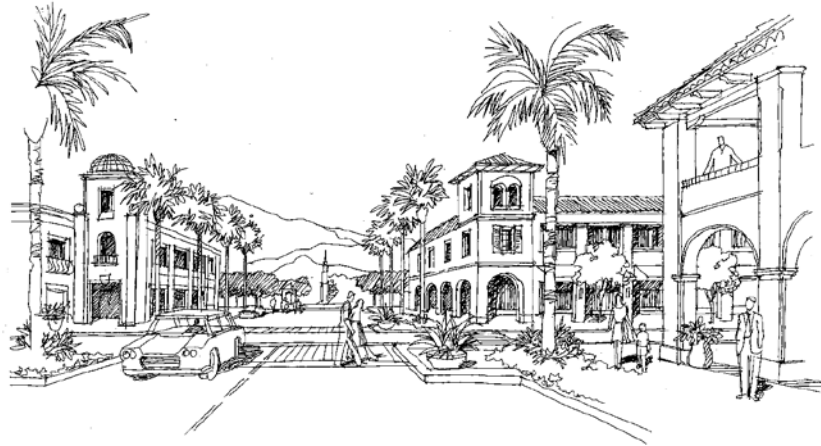
¹ Adjusted gross acres is the gross project acreage excluding the acreage devoted to major, secondary, and collector street rights-of-way, easements for major utilities, and land for City parks and schools.

² Based on the City's standard of 3 acres per 1,000 population for all residential units within the Specific Plan. Persons per dwelling unit are estimated at 3.4 persons (Department of Finance, January 2000). Acres are allocated based on Conceptual Parks and Schools Plan (Figure 17).

³ Two 12-acre School Sites assumed within the Community Core 16 Designation. Potential third school site may not be required. A conceptual location is shown and could be moved to other locations in The Preserve, if necessary.

This page intentionally left blank.

SECTION V: DEVELOPMENT PLAN



This page intentionally left blank.

This section provides a description of the components that define the physical nature of The Preserve. This includes a detailed description of the following:

- Land Use Plan.
- Land Use Designations and Development Standards.
- General Development Standards, including right-to-farm provisions.
- Mobility Plan, including vehicular transit, bicycle and equestrian mobility.
- Community Paseo and Open Space System.
- Park and School Plans.
- Infrastructure Plans.

LAND USE PLAN

The Land Use Plan, Figure 7 depicts the arrangement, intensity and location of the various land uses of The Preserve.

As described in Section VII, Administration, the basic land use pattern must be maintained; however, the precise alignment of boundaries and densities may vary.

As described in Section III, Introduction & Background, this Specific Plan is linked with the City's Zoning Code. In many instances, provisions in the Zoning Code augment the provisions contained in The Preserve Specific Plan.

LAND USE DESIGNATIONS AND DEVELOPMENT STANDARDS

This section contains the development standards of each land use designation. The Land Use Plan contains eighteen (18) land use designations. These land use designations are grouped into the more general categories of Residential, Business and Open Space.

Residential Designations

There are six residential land use designations: Estate, Low Density, Medium Density, High Density Residential 16, High Density Residential 20 and High Density Residential 30. Each land use designation includes a description of the intended character, allowable uses, density and development standards, as summarized on Table 3.

Residential land use designations promote a wide range of densities and housing types in order to achieve variety and accommodate a broad spectrum of market segments. To ensure this variety, a number of innovative tools are used in the development plan.

Due to the wide range of product types that can be accommodated within each land use designation, there are regulations for single family, cluster and attached products in each land use designation.

Section V **DEVELOPMENT PLAN**

GENERAL DEVELOPMENT STANDARDS

The following General Development Standards apply within The Preserve Specific Plan, except as modified herein.

Determination of Unlisted Use

Per Chapter 20.02 of the City of Chino Zoning Code.

Off-Street Parking and Loading

Per Chapter 20.18 of the City of Chino Zoning Code.

Non-Conforming Uses and Structures

Per Chapter 20.20 of the City of Chino Zoning Code.

Technology/Energy Efficiency

Developers within The Preserve are required to incorporate and make available the latest technological advances, such as fiber optics, expanded bandwidth and high-speed Internet connections. A standard set of technology upgrades shall be available to homebuyers, including but not limited to audio, video, and data lines running to all rooms, a local area network – 4 port 10/100T Ethernet router, closed-circuit television cameras and security systems. Developers are also urged to incorporate energy efficient building techniques to reduce long-term costs to the residents and business owners.

Technology Master Plan

Implementation of telecommunications technology infrastructure has the potential to address some of the most serious issues we face as a society and must be considered early in the development process. The Preserve Technology Master Plan (TMP) is a program that proposes a technology network for The Preserve that will deliver services in demand by residents today and also in the future. The TMP ensures that developers at The Preserve will provide Fiber-to-the-Premises (FTTP) physical infrastructure capability to all residences and businesses. Wiring specifications in the TMP provide a description of the FTTP components, wiring arrangements and installation requirements.

The TMP requires the establishment of a community Web site that will provide local information to the residents of The Preserve. It is anticipated to be the focal point for dissemination of information about life in The Preserve and promote a virtual community. The Web site will be funded through a homeowners association.

Wireless communications services have increasingly become an important component of an integrated and comprehensive telecommunications and technology plan. In preparing The Preserve TMP, every effort has been undertaken to view the wireless needs of the community in a comprehensive fashion.

The Preserve builders and their consultants are required to read and follow the technical specifications in the TMP. The requirements of the TMP must be incorporated into the builder's proposal to ensure approval by the City.

The Preserve Specific Plan

Home Owner's Association

Home Owners Associations (HOA) are needed to address maintenance of private facilities held in common ownership, such as project landscaping and maintenance, community facilities and project lighting. The City may, at the discretion of the Director of Development Services, require a HOA through the project review process to ensure the long-term maintenance of projects.

Design Review

All projects in The Preserve are required to be reviewed and approved by the Design Review Board. The Design Review Board and procedures shall be established by the City prior to approval of any development project within The Preserve and may be composed of City Staff, Planning Commissioners, City Council members, design professionals, an architect on contract (cost to be covered by the applicant), members of the public, or some combination thereof.

The Design Review Board will consider building placement, architectural style, color, materials, landscaping, the relationship to surrounding properties and other site design and architectural design issues.

The purpose of design review is to ensure that the excellence in the quality and design expected by the City is achieved. Design review should occur as part of the development application review process. The Design Review Board should meet at least twice a month as workload merits. Decisions by the Design Review Board are appealable to the Planning Commission.

Residential Design Guidelines

All developers are required to prepare a set of Design Guidelines for their land holdings. The City of Chino reserves the right to add, modify, change, amend, or alter the content of the Design Guidelines as proposed by the Developer. Final approval of the Design Guidelines is vested upon the City of Chino Planning Commission. The purpose of the design guidelines is to:

- Provide consistency with The Preserve Specific Plan guiding development Principles;
- Communicate The Preserve's theme to builders, architects, landscape architects and civil engineers;
- Establish a high standard in neighborhood and home design by providing specific design criteria;
- Implement this high standard consistently to assure compatibility;
- Create attractive and comfortable streetscapes; and
- Build a neighborhood that will improve over time.

Developers controlling or having an ownership of less than 100 acres of land are not required to prepare a new set of design guidelines. These developers subject to the approval by the City of Chino Community Development Director may use the design guidelines prepared

Section V **DEVELOPMENT PLAN**

(and approved by the City of Chino) by another Developer. The proposed architectural styles and details shall be of superior quality and exceeds the design and quality of the adjacent developer.

The Design Guidelines will be used by the City of Chino's Design Review Board (DRB) to review each builder's proposal for conformance with the overall community design objectives. No intent is made to modify or amend applicable federal, state or local codes and ordinances. The Design Guidelines are to be used in conjunction with the General Plan, Specific Plan, Zoning Code, Project Master Plan, and Master Tentative Tract Map.

The Preserve builders and their consultants are required to read and follow these Guidelines. The requirements of the Guidelines must be incorporated in the builder's proposal to ensure approval by Design Review Board.

Components of Design Guidelines

All design guidelines should include the following sections:

1. Site Planning
 - Building Orientation/Placement
 - Garage Design and Placement. One of the most deadening aspects of the appearance of garages along a typical project street is their similarity. No matter how you paint them or trim them they are still large doors all lined up in the same plane. Therefore, special emphasis should be devoted to this design feature.
 - Lotting Pattern. The width and length and orientation must be illustrated.
 - Access and Circulation.
 - Parking Areas
 - Site design.
 - Architecture.
 - Landscaping/Open Space.
 - Plants and location.
 - Landscaping theme for project and for development edge.
 - Fencing/Screening.
 - Perimeter for development and internal wall type for project site.
 - Lighting for streets and pocket park sites.
 - Utilities and Ancillary Equipment.
 - Fire Safety Access.
 - Transition of Density.

The Preserve Specific Plan

- Trails.
- Street Design.
- House Plotting.
- 2. Building Design.
 - Design Theme.
 - Single family residential.
 - Multi-Family Residential.
 - Commercial.
 - Architecture.
 - Architectural Styles (i.e. Monterey, Santa Barbara).
 - Specific Details for each architectural style
 - Roofing materials and styles.
 - Massing and Wall materials
 - Relationship and how it complements other architectural styles.
 - Windows and doors.
 - Scale.
 - Materials and Colors.
 - Signing.
 - Equipment Screening.

Project Submittal

- It is incumbent upon the applicant to supply the necessary materials, text and graphics to allow the City to make the required findings. The City may establish specifications for these submission requirements that augment standard City submittal requirements.
- All applicants are strongly encouraged to contact the Community Development Department prior to embarking on development plans to determine the necessary information and level of detail.
- All applicants are also strongly encouraged to contact and coordinate with adjacent property owners to identify potential problems, conflicts and other issues of concern early in the development process. The City will expect the applicant to make a diligent effort to be aware of issues with adjacent properties, and encourage early contact and coordination among property owners in order to facilitate the development review process.

Section V DEVELOPMENT PLAN

GUIDING DEVELOPMENT PRINCIPLES

The following principles are the fundamental, intent statements that drive every project and use within The Preserve. These principles are so important to the future character of The Preserve that every individual project/ application must comply with the intent of each of the following principles. Project approval can only occur if a finding is made to that effect.

- There is to be a broad range of housing products, designs and types in every residential project to create diversity and character. **Finding:** The project contributes directly to a broad range of housing types and opportunities.
- The Preserve is intended to be a vibrant and diverse community with a wide variety in the design of structures. **Finding:** The project is characterized by design features that contribute to the quality and variety of the living environment.
- The Community Core is the heart and soul of The Preserve. The intended high quality and character of the Community Core must be maintained. **Finding:** The project contributes to and does not detract from the character and viability of the Community Core.

The intent of the land use plan and its basic land use patterns must be preserved. **Finding:** The project implements and is consistent with the land use concept in the plan.

Compatibility Findings

This section addresses the need to carefully plan and coordinate development applications with adjacent and proximate properties to provide compatibility and to ensure that the provisions of this Specific Plan are implemented. The findings below apply to all land use applications and are in addition to the findings required for approval of respective development applications (tract maps, site approvals, variances, etc.) by the Zoning Code. The findings are intended to ensure that the relationship of the proposed development layout, uses and building designs with respect to existing and future adjacent development are considered in the overall design of every land use application.

Findings

- The project complies with the provisions of this Specific Plan including the Guiding Development Principles listed in the Development Concept section.
- The mobility systems (cars, transit, pedestrians, bicycles, equestrian) are consistent and seamlessly connected with the mobility systems of adjacent properties. This includes, but is not limited to consistent and seamless points of vehicular egress and ingress to both public and private streets, parking lots, reciprocal access, emergency access, multi-modal trails and paseos.
- Areas intended for public use, such as public plazas, trails, sidewalks, schools, recreational facilities and paseos, are coordinated among subdivisions and that the streetscape, landscape, hardscape and public amenities are mutually compatible.

DEVELOPMENT PLAN *Section V*

- The development proposal complies with the applicable design guidelines of this Specific Plan, any applicable master plan or design architectural guidelines and is compatible with surrounding areas, including, but not limited to building design and placement, colors, materials, height, bulk and the design of paseos, trails and other public facilities.
- Consideration and application of public safety and security are incorporated into the project design.

Disclosure

The purpose of this section is to ensure that future residents and business owners are aware of various land uses located within The Preserve and the effects that such uses may have on property. Examples of such effects would include; noise, odors, dust and other particulates, glare, visual, flies and other insects. Requirements contained herein are in addition to the requirements of Chapter 15.40 of the Chino Municipal Code (New Home Construction) and do not replace or supersede Chapter 15.40. Notification as described below shall be required as conditions of approval for all development projects.

Use	Notification Requirement
California Institute For Women	All properties with Residential or Business Land Use Designations.
Chino Airport	All properties with Residential or Business Land Use Designations.
Dairies and Other Intensive Animal Uses	All properties within 1,320 feet of the use.
As required by the Director of Development Services for uses deemed to have potential negative affects.	As required by the Director of Development Services.

Notification of Existing Uses

Notification must be provided of the following uses as described on the table, "Uses Requiring Notification," located to the right.

Method of Notification

- Dairies and other intensive animal uses
 - In accordance with the "Right-to-Farm" section of this Specific Plan (see following section).
- The California Institute for Women
 - Recordation of notice of covenants, conditions and restrictions (CC&Rs) at the time of tentative tract, site plan, or similar development approval.
 - Through written acknowledgment as part of project application packages and shown on the deed of individual parcels and referenced in the title reports associated with the buying and selling of property.
 - Appropriate language and/or requirements shall be included as conditions of approval for the specific development project in question.
- Chino Airport

Section V **DEVELOPMENT PLAN**

- Requirements are the same as those for the California Institute for Women except that information shown on the deed shall include a Noise Impact Notification Notice and an aviation easement as specified in the Chino Airport Overlay of this Specific Plan.
- Other uses required by the Director of Development Services
- As required by the Director of Development Services, appropriate language and/or requirements shall be included as conditions of approval for the specific development project in question.

Right-to-Farm

Where non-agricultural land uses are located near agricultural uses, there is a potential for conflicts. These conflicts result from the inherent attributes of agricultural operations, including noise, odor, dust, smoke, operation of machinery (including aircraft), crop dusting storage and disposal of manure, flies, rodents and, where field crops or orchards are involved, the application of chemical fertilizers, soil amendments, herbicides, pesticides and the hours of operation. As a result, agricultural businesses frequently become the subject of nuisance complaints and are pressured to cease or curtail operations. These pressures may discourage further investments in farm improvements, dampen the economic viability of the City's agricultural industry and harm a vital link to the City's historic past.

There is a need to balance the rights of existing agricultural uses to continue lawful agricultural operations with the rights of homeowners and businesses. This balance can be achieved by accommodating both types of uses, and by minimizing conflicts and improving the compatibility between non-agricultural and agricultural uses.

The following provisions apply in addition to the provisions of Chapter 20.16 (Right to Farm policy) of the City of Chino Zoning Code. The following shall be considered at the time of application for discretionary review, building permits, subdivision, grading, or activities that constitute development:

Continued Agricultural Use

The City of Chino shall allow continued agricultural operations within The Preserve concurrent with the planned urbanization of the area, to be achieved by the following means:

- Areas within the Specific Plan shall be designated and zoned for long-term agricultural use only where feasible and where impacts on urban development and environmental resources are limited. Where the agricultural designation is included on the Specific Plan, the uses shall, where necessary, be protected by conditions placed on adjacent proposed uses.
- The City will make information available to residents and business operators within The Preserve of the potential impacts posed by agricultural operations to urban development.
- The City shall cooperate with federal, state and other public agencies that govern agricultural activities, and support their enforcement of laws and regulations that address agricultural operations within the purview of such agencies.

The Preserve Specific Plan

Urban Transition

The City of Chino shall require property owners who utilize property within The Preserve for both agricultural and non-agricultural uses to reduce/eliminate impacts caused by agricultural uses.

- The City of Chino shall guide property owners who concurrently develop property according to the adopted Specific Plan and operate/lease property in The Preserve for agricultural purposes, in methods for operating the agricultural uses in a manner that minimizes impacts on non-agricultural uses. This may involve but is not limited to, such measures as, requiring increased setbacks and buffers, limiting hours of operations, or other measures that will reduce conflicts. The intent is to ensure that property owners who utilize property for agricultural and non-agricultural uses take the necessary steps to reduce impacts to non-agricultural uses as part of their responsibility as "dual use" owners.

Disclosure

The City of Chino shall require notification to prospective developers, investors, residents and business operators in The Preserve of existing agricultural uses and of the City's support for their continued operations.

- Potential residents and business operators of The Preserve shall be advised of the potential problems associated with locating near agricultural operations, including noise, odor, dust, smoke, operation of machinery (including aircraft), flies, rodents, storage and disposal of manure, and where field crops or orchards are involved, the application of chemical fertilizers, soil amendments, herbicides, pesticides, and the hours of operation, and that such operations are permitted to continue at the discretion of such operators, and there is no time limit governing the cessation of such operations. Notification shall be provided through the following methods:
 - The provisions of public handouts available at the Civic Center and at new home sales and leasing offices,
 - Recordation of notice of covenants, conditions and restrictions (CC&Rs) at the time of tentative tract, site plan, or similar development approval, and
 - Through written acknowledgment as part of project application packages and shown on the deed of individual parcels and referenced in the title reports associated with the buying and selling of property.
- As a condition of development approval the City shall require developers and sellers to notify potential purchasers and operators of probable conflicts resulting from nearby agricultural uses including the requirements of Chapter 15.40 of the Chino Municipal Code.

Section V **DEVELOPMENT PLAN**

Development Standards

- A minimum 100-foot setback shall be required between existing animal uses and buildings for residential purposes. Such intensive animal uses include dairies, those uses that exceed the animal use restrictions (quantity and/or intensity) specified in the RD-1 Zone, Chapter 20.04 of the Chino Municipal Code, and other animal uses determined to be intensive by the Director of Development Services. The 100-foot setback may be located either on the area to be developed for residential uses, or on the adjacent property containing the intensive animal uses, or some combination thereof. The setback may only be located on the property containing the intensive animal uses if such property is restricted by an easement, or other similar restriction to the satisfaction of The Director of Development Services, guaranteeing that the area(s) comprising the setback will remain restricted from intensive animal uses.
- If the setback is located on the developing residential property it shall be measured from the outside edge of the new structures to the closest property line of the lot containing the existing intensive animal uses. If all or a part of the setback is located on the adjoining property with intensive animal uses, it shall be measured from the outside edge of the new structure to the limit of the area restricted from animal uses.
- Project applicants shall consult with the West Valley Mosquito and Vector Control District prior to application submittal regarding methods to minimize the impacts of flies and other vectors on future residents. Recommendations from the District may be incorporated into the design and construction of the project at the discretion of the City of Chino.

The Preserve Specific Plan

General Residential Requirements

The following regulations apply to all residential land use districts and projects except as modified by this Specific Plan. The following equivalent zone districts of the Zoning Code shall correspond to land use designations in The Preserve Specific Plan:

- ER=RD 2
- LDR=RD 4.5
- MDR=RD 8
- HDR 16=RD 12
- HDR 30=RD 20

The requirements of the zone districts shall apply to equivalent land use designations in The Preserve Specific Plan except as otherwise specified.

GRD1 Development Regulations per Chapter 20.04 of the Zoning Code, as well as:

- a. Development Standards, Chapter 20.10.
- b. General Design Standards, Chapter 20.17.
- c. Development regulations for specific uses, Chapter 20.21.
- d. Parking, Chapter 20.18.

GRD2 Land Use Regulations per Section 20.04.030 of Zoning Code, specifically including:

General requirements.

Requirements for specific uses, Chapter 20.21.

Table 20.04-1 of the Zoning Code (as found in Section 20.04.030).

Development regulations for accessory buildings or structures., Chapter 20.11.

Section 20.10.080, Walls and Fences, as applicable to residential development.

GRD3 Density Bonus/Affordable Housing:

Per Chapter 20.14 of the Zoning Code.

Section V **DEVELOPMENT PLAN**

GRD4 Home Finding Center(s). Home Finding Centers are long-term, but temporary, home sales centers. These are not models but an office used for assistance and sales. Home Finding Centers are permitted administratively with approval by the Director of Development Services during review of tract maps. The duration, location, required parking and landscaping shall be determined during this review. Upon closure, Home Finding Centers are required to revert to the underlying land use per the approved tract maps.

GRD5 Recreational Vehicle (RV) parking:

1. Recreational Vehicle (RV) parking shall be provided in the following manner, based on project density:
 - a. Up to 4.5 units per acre: 100% of units must provide RV parking.
 - b. 4.5 - 8 units per acre: 15% of units must provide RV parking.
 - c. Single-family detached projects greater than 8 units per acre: 5% of units must provide RV parking.
 - d. Multi-family projects greater than 8 units per acre: 0% of units must provide RV parking.
2. 4. RV Parking may be provided in any of the following methods:
 - a. On an individual lot by maintaining a minimum 12 ft. unobstructed side yard setback area.
 - b. Within an individual neighborhood/project with separate designated parking spaces for RVs in common areas. RV parking that is located off-site is subject to approval of the Director of Development Services provided the applicant demonstrates that there is adequate space to accommodate the RVs of future residents. RV parking facilities may be located off-site within the boundaries of the City of Chino, subject to approval by the Director of Development Services, provided that such facilities have space to accommodate RVs at the ratio required for this land use designation. Such facilities may be provided through a market-rate, for-profit business if the Director of Development Services determines that the applicant/developer has made adequate arrangements to insure such RV spaces will be made available to residents of the development project in question, and that such arrangements include adequate provisions giving first priority to project residents over other potential RV space renters.

DEVELOPMENT PLAN

TABLE 3 - RESIDENTIAL DEVELOPMENT REQUIREMENTS

Land Use Designation	Estate Residential	Low Density Residential	Medium Density Residential	High Density Residential 16	High Density Residential 20	High Density Residential 30
Development Requirements						
Average Density ¹²	2 units/ac	5.5 units/ac ¹⁷	10 units/ac ¹⁷	16 units/ac ¹⁷	21 units/ac ¹⁷	30 units/ac ¹⁷
Density Range ¹²	0-3 du/ac	3-8 du/ac	8-12 du/ac ²	12-20 du/ac	16-24 du/ac	20.1-45 du/ac
Parking	Zoning Code Chapter 20.18	Zoning Code Chapter 20.18 ²⁰	Zoning Code Chapter 20.18 ²⁰	Zoning Code Chapter 20.18 ^{20,25}	Zoning Code Chapter 20.18 ^{20,25}	Zoning Code Chapter 20.18 ^{20,25}
Segmented Development Requirements	Fee Simple Detached	Detached-Cluster & Attached²⁶	Fee Simple Detached	Detached-Cluster & Attached²⁶	Detached-Cluster & Attached²⁶	Detached-Cluster & Attached²⁶
Minimum Net Lot Size	12,000 sq. ft.		None	None	None	None
Minimum Net Project Size ¹⁰	5 acres	5 acres	5 acres	3 acres	3 acres	None
Minimum Lot Width ⁴	80 ft	None	None	None	None	None
Minimum Lot Depth	100 ft	None	None	None	None	None
Minimum Front Setbacks⁸ (from property line):						
Habitable Structures	25ft	10ft	10ft	10ft	10 ft	0 ft
Non-Enclosed Porch	15ft	5ft	5 ft ²³	5 ft ²³	5 ft ²³	0 ft ²³
Single Level Habitable ²⁷	15ft	5ft	5ft	5 ft	5 ft	0 ft
Front-Entry Garage	25ft	18ft	18ft	Less than 5' or 18' and greater	Less than 5' or 18' and greater	0 ft
Side-Entry Garage	15 ft	10 ft ²¹	5 ft ²¹	3 ft ²¹	3 ft ²¹	0 ft

DEVELOPMENT PLAN

TABLE 3 - RESIDENTIAL DEVELOPMENT REQUIREMENTS

Land Use Designation	Estate Residential		Low Density Residential		Medium Density Residential		High Density Residential 16		High Density Residential 20	High Density Residential 30
	Fee Simple Detached	Detached-Cluster & Attached	Fee Simple Detached	Detached-Cluster & Attached	Fee Simple Detached	Detached-Cluster & Attached	Fee Simple Detached	Detached-Cluster & Attached	Detached-Cluster & Attached	Detached-Cluster & Attached
Segmented Development Requirements										
Minimum Side Setbacks ⁹										
Interior Property Line	10 ft	5 ft	5 ft	5 ft	3 ft	10 ft attached; or 3 ft detached/ ^{18&29} cluster	3 ft	15' for Attached or Detached or per CBC/CRC for Detached within same neighborhood ^{11 & 16}	15 ft ^{18&29}	15 ft ^{18&29}
Exterior Property Line	15 ft ¹³	10 ft ¹³	10 ft ¹³	10 ft ¹³	10 ft ¹³	10 ft ¹³	10 ft ¹³	10 ft ¹³	10 ft ¹³	0 ft ^{3 & 13}
Non-Enclosed Porch	5 ft	3 ft	3 ft	3 ft	3 ft ²³	3 ft ²³	3 ft ²³	15 ft ²³	15 ft	0 ft
Covered Patio	5 ft	5 ft	5 ft	5 ft	5 ft	5 ft	5 ft	5 ft	5 ft	5 ft
Single Level Habitable ²⁷	10 ft	5 ft	5 ft	5 ft	3 ft	10 ft attached; or 3 ft detached/ ^{18&29} cluster	3 ft	10 ft ^{18&29}	10 ft ^{18&29}	10 ft ^{18&29}
Detached Garages ⁵	5 ft or 10 ft	0 ft	0 ft	0 ft or 5 ft	0 ft or 5 ft	0 ft or 5 ft	0 ft or 3 ft	0 ft	0 ft	0 ft
Minimum Rear Setbacks ⁹										
Interior	25 ft	10 ft	10 ft	10 ft	10 ft	10 ft & 15 ft ²⁴	10 ft	15 ft	15 ft	5 ft ^{3&14}
Exterior	25 ft ¹³	20 ft ¹³	20 ft ¹³	20 ft ¹³	15 ft ¹³	15 ft ¹³	15 ft ¹³	15 ft ^{11 & 13}	15 ft ¹³	0 ft ^{3 & 13}
Covered Patio	5 ft	5 ft	5 ft	5 ft	5 ft	5 ft	5 ft	5 ft	5 ft	5 ft
Detached Garages w/ front access	Same as main structure	0 ft ¹⁶	0 ft	0 ft ¹⁶	0 ft	0 ft	0 ft	0 ft	0 ft	N/A
Garages w/ rear access ³⁰	Same as main structure	5 ft. or ≥ 20 ft.	5 ft. or ≥ 20 ft.	5 ft. or ≥ 20 ft.	5 ft. or ≥ 20 ft.	5 ft. or ≥ 20 ft.	5 ft. or ≥ 20 ft.	5 ft. or ≥ 20 ft.	5 ft. or ≥ 20 ft.	N/A
Minimum Open Space Setbacks ²²										
Maximum Lot Coverage	50% lot coverage	60% lot coverage	60% lot coverage	60% site coverage	70% lot coverage	70% site coverage	80% lot coverage	None ¹⁹	None ¹⁹	None ¹⁹
Minimum Landscape Coverage	None ⁶	20%	20%	20%	None	30% ¹⁸	None ¹⁹	20%	20%	None

The Preserve Specific Plan

DEVELOPMENT PLAN

TABLE 3 - RESIDENTIAL DEVELOPMENT REQUIREMENTS

Land Use Designation	Estate Residential		Low Density Residential		Medium Density Residential		High Density Residential 16		High Density Residential 20	High Density Residential 30
	Fee Simple Detached	Detached-Cluster & Attached	Fee Simple Detached	Detached-Cluster & Attached	Fee Simple Detached	Detached-Cluster & Attached	Fee Simple Detached	Detached-Cluster & Attached	Detached-Cluster & Attached	Condo Map Detached-Cluster & Attached
Segmented Development Requirements	Per CBC/CRC	Per CBC	Per CBC/CRC	Per CBC	Per CBC/CRC	Per CBC or 10 ft. at attached	Per CBC/CRC	Per CBC or 10 ft. at attached	Per CBC	Per CBC or 10 ft. at attached
Minimum Building Separation										
Minimum Private Open Space	N/A	250 sq. ft./unit 10' Min. Dim.	None if ≤ 8 du/acre	Per Section 20.17.050 (D)(4) ²⁸	N/A			100 sq. ft. per unit ¹⁶	100 sq. ft. per unit ¹⁶	50 sq. ft w/ a minimum dimension of 5 ft
Minimum Livable Area	3,000 sq. ft.	1,200 sq. ft.	1,000 sq. ft.	1 bedroom or studio—650 sq. ft. 2 or more bedrooms—800 sq. ft.	1,000 sq. ft.		1,000 sq. ft.	1 bedroom or studio—650 sq. ft. 2 or more bedrooms—800 sq. ft.	1 bedroom or studio—650 sq. ft. 2 or more bedrooms—800 sq. ft.	Studio—425 sq. ft. 1 bedroom—650 sq. ft. 2 bedrooms—800 sq. ft. Senior Products Studio—425 sq. ft. 1 bedroom—575 sq. ft. 2 or more bedrooms—650 sq. ft.

TABLE 3 - RESIDENTIAL DEVELOPMENT REQUIREMENTS

Land Use Designation	Estate Residential		Low Density Residential		Medium Density Residential		High Density Residential 16		High Density Residential 20	High Density Residential 30
	Fee Simple Detached	Detached-Cluster & Attached	Fee Simple Detached	Detached-Cluster & Attached	Fee Simple Detached	Detached-Cluster & Attached	Fee Simple Detached	Detached-Cluster & Attached	Detached-Cluster & Attached	Detached-Cluster & Attached
Segmented Development Requirements	35 ft (2 stories)	40 ft (3 stories)	40 ft (3 stories)	40 ft (3 stories)	40 ft (3 stories)	40 ft (3 stories)	40 ft (3 stories)	45 ft (3 stories and loft)	45 ft (3 stories and loft)	55 ft (4 stories and loft) ^{3 & 14}
Maximum Building Height	15 ft	15 ft	15 ft	15 ft	15 ft	15 ft	15 ft	15 ft	15 ft	15 ft ^{3 & 14}
Detached Garages										

- See ER6 Development Requirements text for details.
- Can be 6-14 units per acre with an approved Master Plan (60 Acre Minimum).
- See HDR30-6 Development Requirements text for details (0' Setback to Exterior Property Lines for Residential Buildings and associated parking structures).
- Determined at setback line
- The side yard setback for detached garages vary depending upon the location and form of the garage. See the Residential Development Minimum Side Setbacks per zone for details.
- Refer to Chapter 8.50, Real Property Maintenance, of the City of Chino Municipal Code for maintenance standards.
- For attached triplex and higher in density.
- This area may be devoted to private, common, or public open space. A common or public open space amenity must be part of a planned development, aggregated and contiguous to the residential unit. Clustered open space does not count toward the parks requirement (Quimby Act).
- Applies to all stories of buildings including habitable over garages.
- Only one single-family home may be built if the minimum project size is not met. Projects may include more than one zoning category.
- Setbacks for duplexes vary. See the HDR16 Residential Development Minimum Rear Setbacks text for details.
- Adjusted gross density.
- Lots adjacent to Exterior Property Lines that are also buffered by lettered landscape lots are not subject to the increased setbacks for exterior lots.
- Units adjacent to properties designated HDR or MDR shall have an increased setback of at least 15 feet and shall be designed in a manner to reduce the mass of the buildings adjacent to property in these designations.
- See ER6.0 for open space requirements.
- 100 SF may be split on more than one level, however a minimum dimension of 5' must be met.
- No more than 50% of the units in any project shall be at the average density or any single density. The average density may be based on Master Plan density distributions.
- May include the common open space.
- Projects must comply with the residential design guidelines and other guidelines that may be applicable to the site.
- Per Chapter 20.18 of the Zoning Code with the following exception: for purposes of this Specific Plan, the multi-family parking standard of the Zoning Code applies to all residential development with a density of 8 dwelling units per acre or more. The multi-family parking standard also applies when units have been clustered and the developed area of the project has a micro-density of 8 dwelling units per acre or more.
- As long as turning radius is adequate.
- Open Space is defined as either a lettered lot (with a minimum width of 15 feet) within a tract or permanent open space, such as parks and natural open space. For attached MDR and HDR products, low fencing not to exceed 4-feet in height will be allowed to provide separation between residential and open space areas.
- If Non-Enclosed Patch is 6' or more in depth, the Front Setback can be reduced to 4' in MDR, HDR16, HDR20, & HDR30 per the above.
- 10' at 2-Story Detached Cluster Products; 15' for 3-Story Detached Cluster Products; 15' for Attached MF Products
- Multi-family rental developments within a master plan area that utilize garage spaces to completely fulfill their covered parking requirement may deviate from standard garage dimensions by a maximum of 2 feet in width or 1 foot in length, as long as they only require one covered parking space for every one bedroom unit. All other requirements found in Chapter 20.18 (Parking) shall apply.
- Detached Cluster products are typically on a Condominium map and include units with front doors on paseo, public street, or private drive-aisle.
- Not To Exceed 33% of homes throughout neighborhood or 50% of homes on corners
- If solution is provided on more than one level: 150 SF to 250 SF Total with 6' minimum clear dimension at upper level and 8' minimum clear dimension at lower level
- This setback applies to an interior lot line between two adjacent but different neighborhoods, and not to an interior lot line within the same neighborhood. In this case the minimum building separation rules or larger setbacks may apply.
- Refer to Design Guidelines for wider range of setbacks for garages with rear access.

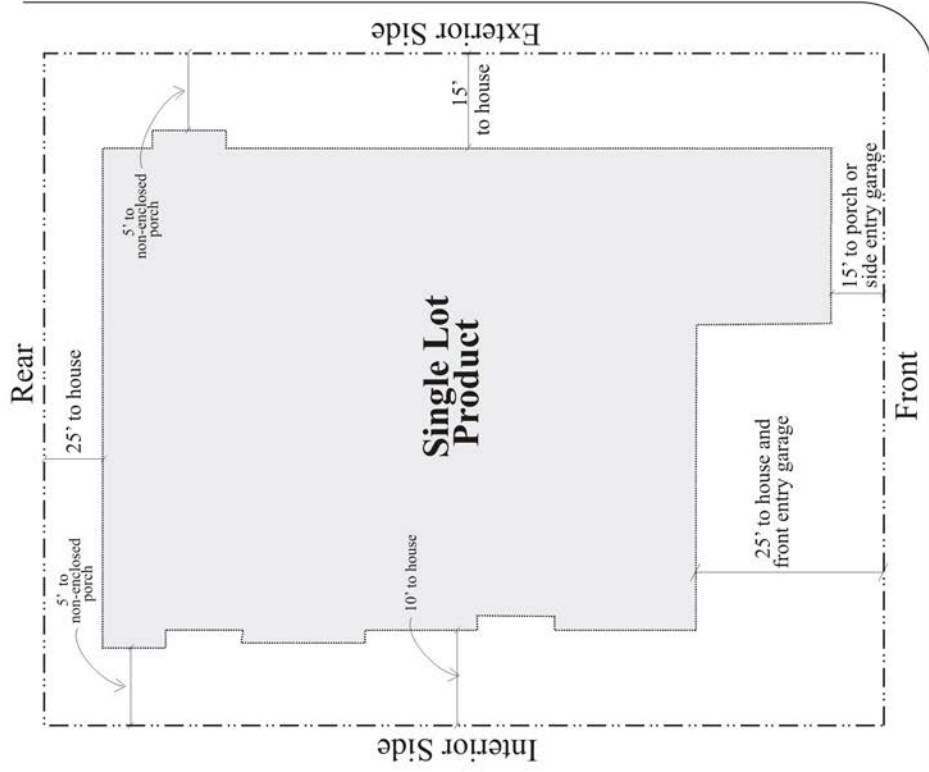
Estate Residential (ER) Performance Standards

- A minimum of 10% of all single-family detached homes within a project shall be one story.

Estate Residential (ER)

- ER1 Intended Character: The Estate Residential Land Use Designation is intended to provide a rural residential area synonymous with the country. The predominant development pattern in the Estate Residential Designation should be of single-family, low profile homes set on large lots. Open Space and landscaping should dominate the visual scene. Equestrian uses and trails should be an integral feature in this land use designation.
- ER2 Permitted Land Uses
- a. Single-family residences.
 - b. Clustered, single-family residences (dwellings may be on a common lot).
 - c. Public parks, senior centers, community centers and similar facilities.
 - d. Accessory Dwelling Units per Chapter 20.11 of the Zoning Code.
 - e. Patio covers and patio enclosures per Chapter 20.11 of the Zoning Code.
 - f. Per the "Permitted Land Uses" for the RD2 zone, Chapter 20.04 of the Zoning Code.
 - g. Non-habitable accessory structures less than 600 SF per Chapter 20.11 of the Zoning code.
 - h. Single Story additions to existing single family or duplex dwelling units per Chapter 20.23 of the Zoning Code
- ER3 Uses Subject to a Special Conditional Use Permit
- a. Per the "Conditionally Permitted Land Uses" for the RD2 zone, Chapter 20.04 of the Zoning Code.
 - b. Recreational vehicle storage located in the Edison Easement Overlay.
 - c. Habitable and Non-Habitable accessory structures >1200 SF per Chapter 20.11 of the Zoning Code
- ER4 Prohibited Uses
- a. Per the "Not Permitted Land Uses" for the RD2 zone, Chapter 20.04 of the Zoning Code.
- ER5 Administratively Permitted and Incidental Uses
- a. As provided for in the RD2 zone, Chapter 20.04 of the Zoning Code.
 - b. Construction of habitable structures accessory to dwellings with the exception of accessory dwelling units per Chapter 20.11 and of the Zoning Code.
 - c. Non-habitable accessory structures between 600 square feet and 1,200 square feet per Chapter 20.11 of the Zoning Code.
- ER6 Development Requirements
- a. Minimum side setbacks:
 - i. 10 ft. from interior property line to a detached garage in the front half of the lot and 5' to a detached garage in the rear half of the lot.
 - ii. 15 ft. from the exterior property line to a detached garage in the front half of the lot and 5' for detached garages in the rear half of the lot.

Figure ES-1: ESTATE SETBACKS



Note: Does not depict all development standards, only setbacks. These Figures are not intended to depict the actual building footprints and forms but instead the area within which structures may be developed.



Low Density Residential (LDR) Performance Standards

- A minimum of 10% of all single-family detached homes with a lot size of 5,500 sq. ft. or more within a project shall be one story. A minimum of 15% of all attached for sale homes shall be single story (ground floor).

Low Density Residential (LDR)

LDR1 Intended Character: The Low Density Land Use Designation is intended to provide for the development of a variety of single-family detached or attached homes. The intent of this designation is to allow the flexibility to offer a multitude of product types and styles that appeal to a range of market segments, from first-time buyers, to families, to seniors. Typical products include detached and attached single-family homes, clustered residences, condominiums and courtyard products. The intent is to allow a variety of lot configurations for both attached and detached homes.

LDR2 Permitted Land Uses

- a. Single-family residences.
- b. Duplexes.
- c. Dwelling units above garage.
- d. Public parks, senior centers, community centers and similar facilities.
- e. Accessory dwelling units per Chapter 20.11 of the Zoning Code.
- f. Habitable & non-habitable accessory structures <600 square feet per Chapter 20.11 of the Zoning Code.
- g. Patio covers and patio enclosures per Chapter 20.11 of the Zoning Code.
- h. Non-habitable accessory structures less than 600 SF per Chapter 20.11 of the Zoning code.
- i. Single Story additions to existing single family or duplex dwelling units per Chapter 20.23 of the Zoning Code
- j. Per the "Permitted Land Uses" for the RD4.5 zone, Chapter 20.04 of the Zoning Code.

LDR3 Uses Subject to a Special Conditional Use Permit

- a. Per the "Conditionally Permitted Land Uses" for the RD4.5 zone, Chapter 20.04 of the Zoning Code.
- b. Habitable and Non-Habitable accessory structures >1200 SF per Chapter 20.11 of the Zoning Code
- c. Recreational vehicle/Mini-Storage allowed with Conditional Use Permit on LDR-Zoned Land located along Chino-Corona Road (Cucamonga Avenue) across from CIW.

LDR4 Prohibited Uses

- a. Per the "Not Permitted Land Uses" for the RD4.5 zone, Chapter 20.04 of the Zoning Code.

LDR5 Administratively Permitted and Incidental Uses

- a. As provided in the RD4.5 zone, Chapter 20.04 of the Zoning Code.

Intent: The average density requirement allows for a variation in product and character. The intent is to discourage the typical suburban, cookie-cutter type of development and for each residential neighborhood to provide a distinctive variety in products, designs and density.

- b. Construction of habitable structures accessory to dwellings with the exception of accessory dwelling units per Chapter 20.11 of the Zoning Code.
- c. Non-habitable accessory structures between 600 square feet and 1,200 square feet per Chapter 20.11 of the Zoning Code.

LDR6 Development Requirements

- a. Minimum side setbacks:
 - i. Single lot, attached and clustered products:
 - 1. For single lot products: 0 ft from interior property lines to detached garages in the rear half of the lot. For detached garages in the front half of the lot, 5 ft. from interior property lines and 18 ft. from exterior property lines.
 - 2. For attached and clustered products: 0 ft or a minimum of 5 ft. for garages in the rear half of the lot. For detached garages in the front half of the lot, 5 ft. from interior property lines and 18 ft. from exterior property lines.
- b. Minimum rear setbacks:
 - i. Single lot, attached and clustered products:
 - 1. Garages with habitable living space the setbacks shall be those listed for interior & exterior minimum rear setbacks.

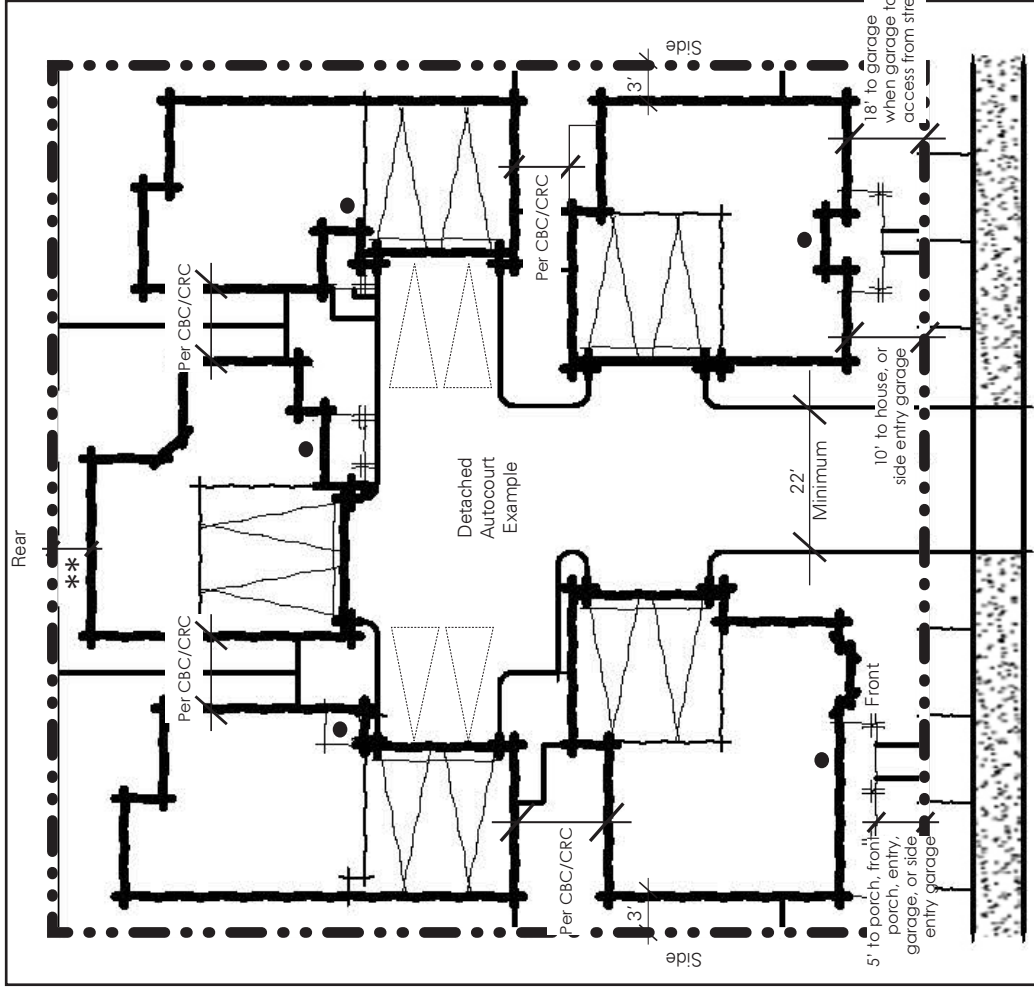
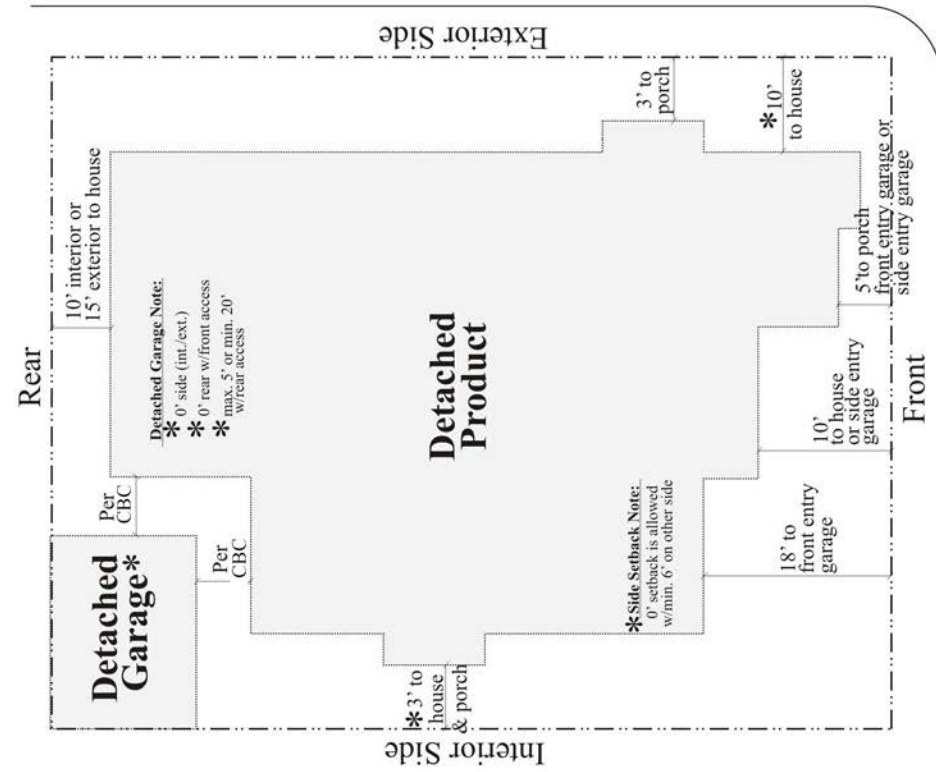
Medium Density Residential (MDR) Performance Standards

- A. A minimum of 15% of all attached "for sale" homes within a project shall be single story (ground floor) units.
- B. With approval of a master plan, as described in the Administration section of this plan, the density range may be broadened from 8 to 12 units per acre to 6 to 14 units per acre. However, the average density (10 units per acre) must be maintained. In order to be considered for this option, the project must be a minimum of 60 acres.
- C. The Multi-family parking standard of the Zoning Ordinance applies to all residential development with a density of 8 dwelling units per acre or more for the purposes of this Specific Plan. The multi-family parking standard also applies when units have been clustered and the developed area of the project has a micro-density of 8 dwelling units per acre or more.

Medium Density Residential (MDR)

MDR 1 Intended Character: The Medium Density Residential Land Use Designation is intended to provide for the development of a wide range of product types, from small-lot single-family detached/attached to multi-family residential dwellings. The intent is to accommodate a multitude of product types and styles that appeal to a range of market segments, from first-time buyers, to families, to seniors. The development standards allow a variety of densities and styles yet maintain the overall limits on the total number of dwelling units. Typical products include for sale and rent detached residences, duplexes, townhomes, clustered residences, courtyard products, pocket lots, postage stamp lots (detached condominium) and condominiums. The intent is to allow a variety of lot configurations for detached and attached products.

Figure MD-1: MEDIUM-DENSITY SETBACKS



Note: Does not depict all development standards, only setbacks. These Figures are not intended to depict the actual building footprints and forms but instead the area within which structures may be developed.



Not to Scale

Section V

MDR2 Permitted Land Uses

- a. Single-family residences.
- b. Multi-family residences.
- c. Dwelling units above garage.
- d. Public parks, private parks, senior centers, community centers and similar facilities.
- e. Accessory Dwelling Units per Chapter 20.11 of the Zoning Code.
- f. Patio covers and patio enclosures per Chapter 20.11 of the Zoning Code.
- g. Per the "Permitted Land Uses" for the RD8 zone, Chapter 20.04 of the Zoning Code.
- h. Non-habitable accessory structures less than 600 SF per Chapter 20.11 of the Zoning code.
- i. Single Story additions to existing single family or duplex dwelling units per Chapter 20.23 of the Zoning Code

MDR3 Uses Subject to a Special Conditional Use Permit

- a. Per the "Conditionally Permitted Land Uses" for the RD8 zone, Chapter 20.04 of the Zoning Code.
- b. Hospitals and medical related facilities.
- c. Recreational vehicle storage located in the transmission line easement overlay.
- d. Church facilities.
- e. Habitable and Non-Habitable accessory structures >1200 SF per Chapter 20.11 of the Zoning Code

MDR4 Prohibited Uses

- a. Per the "Not Permitted Land Uses" for the RD8 zone, Chapter 20.04 of the Zoning Code.

MDR5 Administratively Permitted and Incidental Uses

- a. As provided in the RD8 zone, Chapter 20.04 of the Zoning Code.
- b. Construction of habitable structures accessory to dwellings with the exception of accessory dwelling units.
- c. Non-habitable accessory structures between 600 square feet and 1,200 square feet per Chapters 20.11 of the Zoning Code.

Section V **DEVELOPMENT PLAN**

MDR6 Development Requirements

- a. Minimum side setbacks:
 - i. Detached products:
 - 1. 0 ft. for detached 1 to 2 car garages or 5 ft. for 3 and up car garages located in the rear half of the lot.
 - 2. 3 ft. from interior property line for detached garages, including habitable space above a garage, in the front half of the lot.
 - 3. 10 ft. from exterior property line for detached garages.
 - ii. Attached and clustered products:
 - 1. 10 ft. from interior and exterior property line for habitable structures. 3 ft. from interior property line for duplexes.
 - 2. 0 ft. for detached 1 to 2 car garages or 5 ft. for 3 and up car garages located in the rear half of the lot. For detached garages in the front half of the lot 10 ft. from interior and exterior property lines.
- b. Minimum rear setbacks:
 - i. Detached products:
 - 1. Garages with habitable living space the setbacks shall be those listed for interior & exterior minimum rear setbacks.
- c. Minimum open space setbacks:
 - i. Attached, and clustered products within Rancho Miramonte : 5ft from the perimeter of open space.

High Density Residential 16 (HDR16)

HDR16-1 **Intended Character:** The High Density Residential 16 Land Use Designation is intended to provide for the development of a variety of multi-family residential dwellings. The intent is to allow the flexibility to offer a multitude of product types and styles that appeal to a range of market segments, from first-time buyers, to families, to seniors. Flexibility is provided in the development standards to both allow a variety of densities and styles while maintaining the overall limits on the total number of dwelling units. Typical products include for sale and rent attached residences, apartments, duplexes, townhomes, clustered, courtyard, flats, pocket lots, postage stamp lots and condominiums. The intent is to allow a variety of lot configurations.

HDR16-2 **Permitted Land Uses**

- d. Multi-family residences.
- e. Single-family residences including dwelling units above the garage.
- f. Public parks, senior centers, community centers and similar facilities.
- g. Attached and detached units per the "Permitted Land Uses" for the RD14 zone, Chapter 20.04 of the Zoning Code.
- h. Non-habitable accessory structures less than 600 SF per Chapter 20.11 of the Zoning code.
- i. Single Story additions to existing single family or duplex dwelling units per Chapter 20.23 of the Zoning Code

HDR16-3 **Uses Subject to a Special Conditional Use Permit**

- a. Per the "Conditionally Permitted Land Uses" for the RD14 zone, Chapter 20.04 of the Zoning Code.
- b. Hospitals.

HDR16-4 **Prohibited Uses**

- a. Per the "Not Permitted Land Uses" for the RD14 zone, Chapter 20.04 of the Zoning Code.

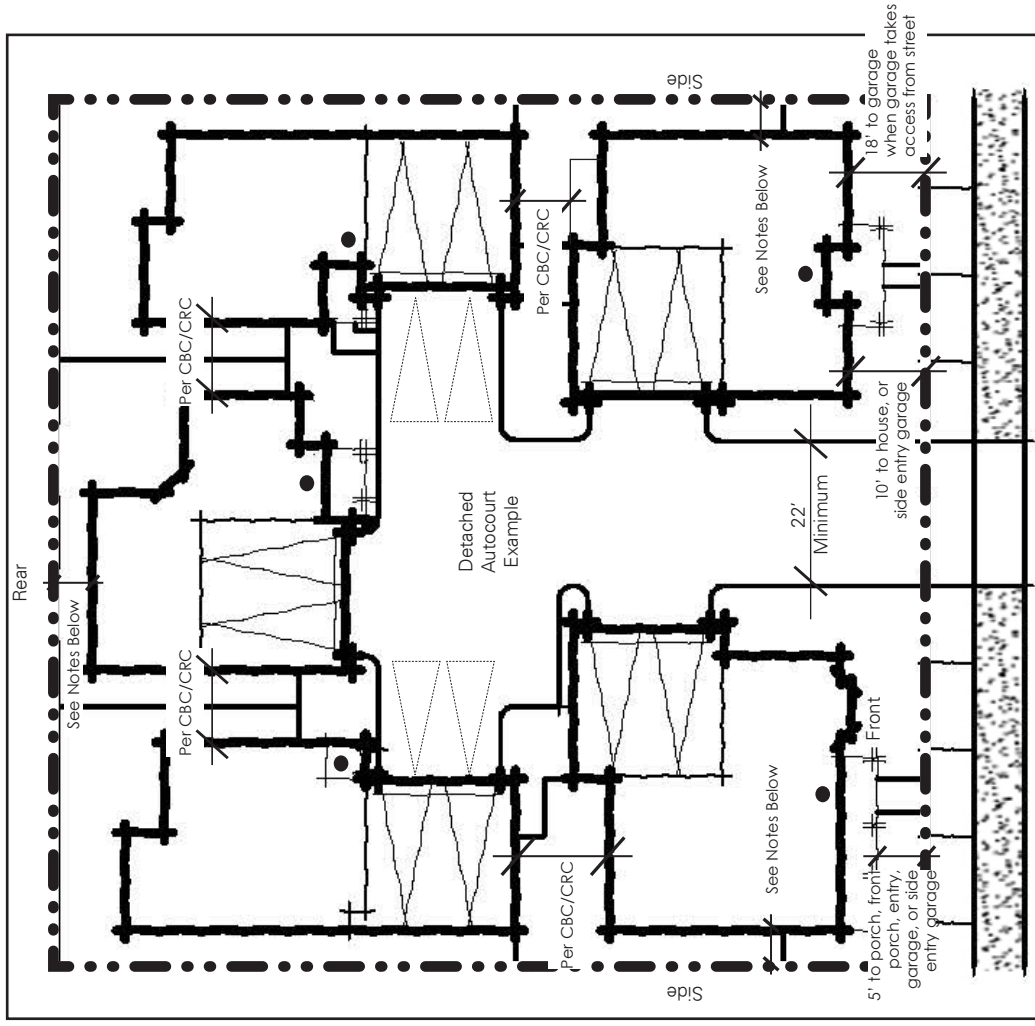
HDR16-5 **Administratively Permitted and Incidental Uses**

- a. Per the "Permitted Land Uses" for the RD14 zone, Chapter 20.04 of the Zoning Code.
- b. Crop cultivation, as provided in the RD14 zone, Chapter 20.04 of the Zoning Code.

HDR16-6 **Development Requirements**

- a. Minimum side setbacks:
 - i. Detached products:
 - 1. 3 ft. from interior property line for habitable structures and detached garages in front half of the lot.
 - 2. 10 ft. from exterior property line for habitable structures and detached garages in front half of the lot.
 - 3. 0 ft. for detached 1 to 3 car garages or 3 ft. for 4 or more car garages.
 - ii. Attached and clustered products:
 - 1. 15 ft. from interior property line for habitable structures and detached garages in front half of the lot. 3 ft. from interior property line for duplexes or triplexes.
 - 2. 10 ft. from exterior property line for habitable structures and detached garages in front half of the lot.

Figure HD-1: HIGH-16 DENSITY SETBACKS



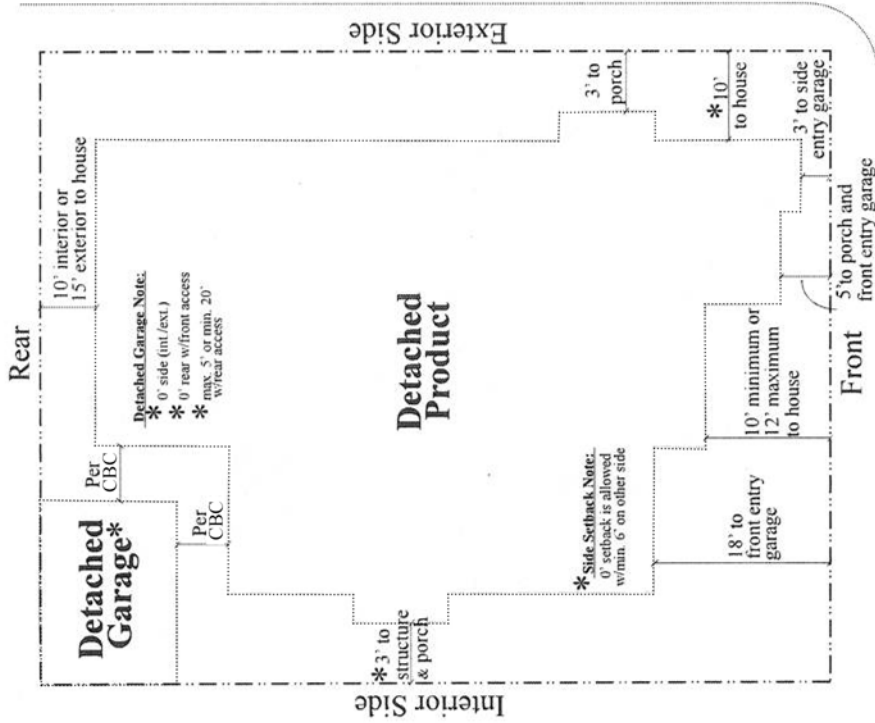
Private Open Space:
Refer to Table 3 for Minimum Private Open Space Dimensions

Detached Garage Notes:
0' side (int/ext)
0' rear w/front access
Max 5' or min 20' w/rear access

Notes:
Rear Setback Notes:
10' for 2-Story Detached Cluster Products
15' for 3-Story Detached Cluster Products
15' for Attached Products

Side Setbacks to Interior Property Line:
5' to HDR16/20/30
15' to LDR/MDR

Side Setbacks to Exterior Property Line:
10'



Note: Does not depict all development standards, only setbacks. These figures are not intended to depict the actual building footprints and forms but instead the area within which structures may be developed.

- a. Minimum rear setbacks:
 - i. Attached and clustered products:
 - 1. 10 ft. from interior property line for duplexes.
- a. Minimum open space setbacks:
 - i. Clustered products within Rancho Miramonte: 5ft from the perimeter of open space.

High Density Residential 20 (HDR20)

HDR20-1 Intended Character: The High Density Residential 20 Land Use Designation is intended to provide for the development of a variety of multi-family residential dwellings. The intent is to allow the flexibility to offer a multitude of product types and styles that appeal to a range of market segments, from first-time buyers, to families, to seniors. Flexibility is provided in the development standards to both allow a variety of densities and styles while maintaining the overall limits on the total number of dwelling units. Typical products include for-sale and for-rent attached residences, apartments, townhomes and courtyard apartments and flats.

HDR20-2 Permitted Land Uses

- a. Multi-family residences.
- b. Accessory Dwelling Units per Chapter 20.11 of the Zoning Code.
- c. Public parks, senior centers, community centers and similar facilities.
- d. Non-habitable accessory structures less than 600 SF per Chapter 20.11 of the Zoning code.
- e. Single Story additions to existing single family or duplex dwelling units per Chapter 20.23 of the Zoning Code

HDR20-3 Uses Subject to a Special Conditional Use Permit

- a. Per the "Conditionally Permitted Land Uses" for the RD20 zone, Chapter 20.04 of the Zoning Code.
- b. Habitable and Non-Habitable accessory structures >1200 SF per Chapter 20.11 of the Zoning Code
- c. Hospitals.

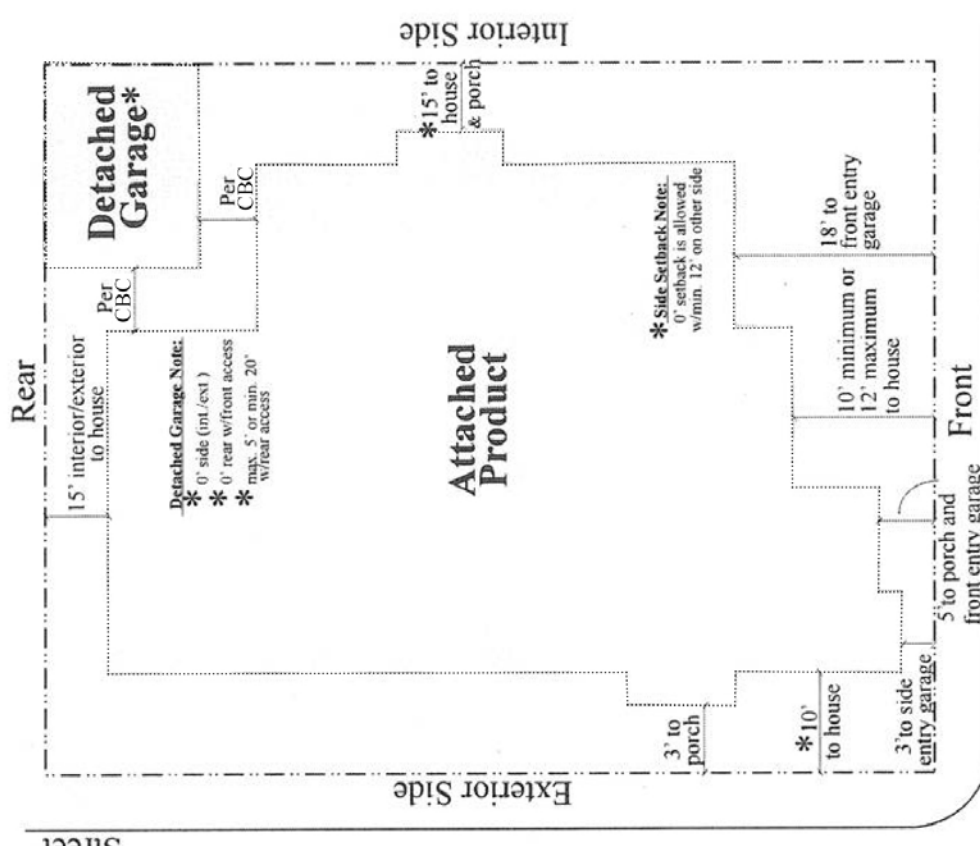
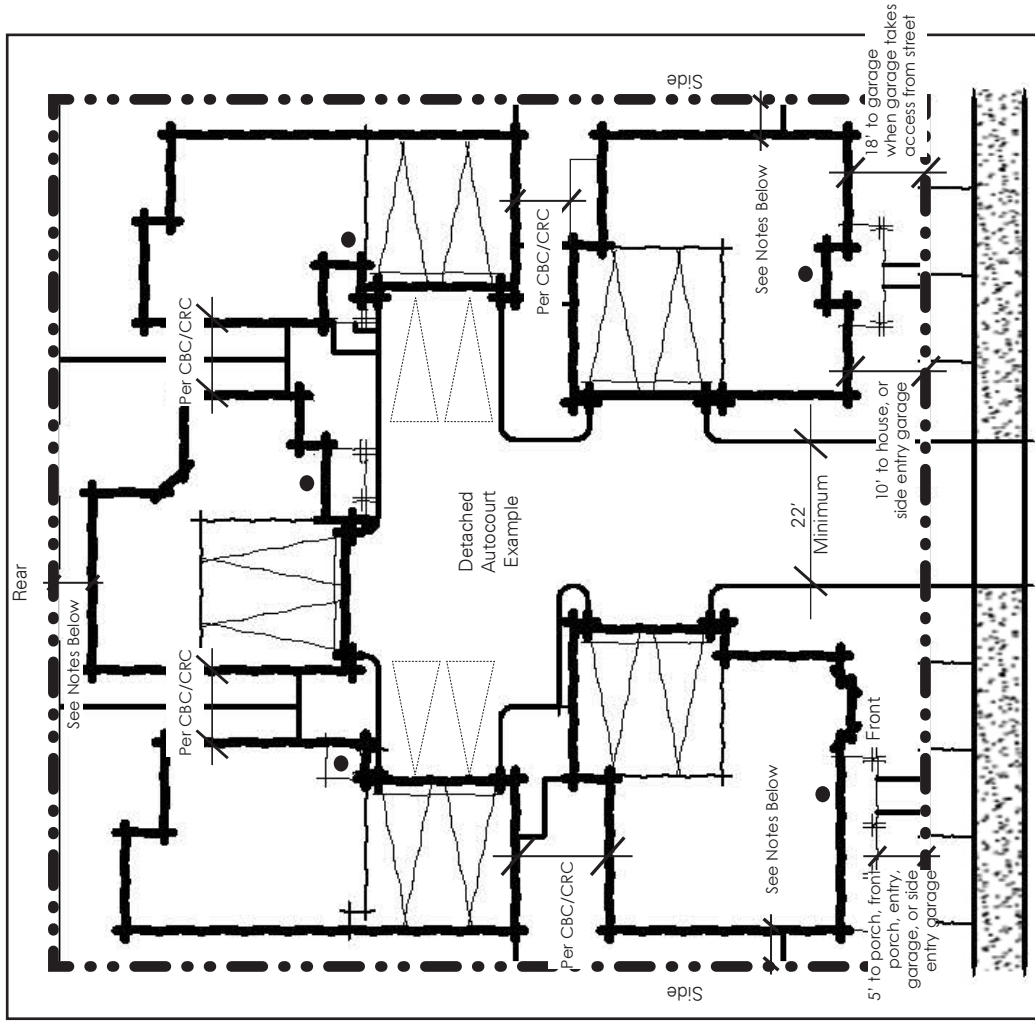
HDR20-4 Prohibited Uses

- a. Per the "Not Permitted Land Uses" for the RD20 zone, Chapter 20.04 of the Zoning Code.
- b. Detached units.
- c. Single-family units.
- d. Secondary units.
- e. Duplexes.
- f. Mobile home parks.
- g. Small lot residential subdivisions.
- h. Temporary recreational vehicle living units.

HDR20-5 Administratively Permitted and Incidental Uses

- a. Per the "Permitted Land Uses" for the RD20 zone, Chapter 20.04 of the Zoning Code.
- b. Construction of habitable structures accessory to dwellings with the exception of accessory dwelling units.

Figure HD-2: HIGH-20 DENSITY SETBACKS



Not to Scale

Section V

- NOTES:**
- Rear Setback Notes:**
 - 10' for 2-Story Detached Cluster Products
 - 15' for 3-Story Detached Cluster Products
 - 15' for Attached Products
 - Side Setbacks to Interior Property Line:**
 - 5' to HDR16/20/30
 - 15' to LDR/MDR
 - Side Setbacks to Exterior Property Line:**
 - 10'
 - Private Open Space:**
 - Refer to Table 3 for Minimum Private Open Space Dimensions
 - Detached Garage Notes:**
 - 0' side (int./ext.)
 - 0' rear w/front access
 - Max 5' or min 20' w/rear access

Note: Does not depict all development standards, only setbacks. These Figures are not intended to depict the actual building footprints and forms but instead the area within which structures may be developed.

- c. Crop cultivation, as provided in the RD20 zone, Chapter 20.04 of the Zoning Code.

HDR20-6 Development Requirements

- a. Minimum side setbacks:
 - i. Detached products:
 1. 3 ft. from interior property line for habitable structures and detached garages in front half of the lot.
 2. 10 ft. from exterior property line for habitable structures and detached garages in front half of the lot.
 3. 0 ft. for detached 1 to 3 car garages or 3 ft. for 4 or more car garages.
 - ii. Attached and clustered products:
 1. 15 ft. from interior property line for habitable structures and detached garages in front half of the lot. 3 ft. from interior property line for duplexes or triplexes.
 2. 10 ft. from exterior property line for habitable structures and detached garages in front half of the lot.
- b. Minimum open space setbacks:
 - i. Clustered products within Rancho Miramonte: 5ft from the perimeter of open space.

High Density Residential 30 (HDR30)

HDR30-1 Intended Character: RD 30 Density Residential Land Use Designation is intended to provide for the development of a variety of multi-family residential dwellings. The intent is to allow the flexibility to offer a multitude of product types and styles that appeal to a range of market segments, from first-time buyers, to families, to seniors. Flexibility is provided in the development standards to both allow a variety of densities and styles while maintaining the overall limits on the total number of dwelling units. Typical products include for sale and rent attached residences, apartments, townhomes, flats, lots, and condominiums.

The HDR 30 standards assist in the development of spaces aimed towards the establishment of urban, downtown-oriented residential uses. Variations in building massing and height are allowed in order to strengthen this urban feel, and architectural accent features are strongly encouraged in order to frame views and create focal points.

HDR30-2 Permitted Land Uses

- a. Multi-family residences
- b. Public parks, senior centers, community centers, and similar facilities.
- c. Attached and detached units per the "Permitted Land Uses" for the RD20 zone, Chapter 20.04 of the Zoning Code.
- d. Non-habitable accessory structures less than 600 SF per Chapter 20.11 of the Zoning code.
- e. Single Story additions to existing single family or duplex dwelling units per Chapter 20.23 of the Zoning Code

- HDR30-3 Uses Subject to a Special Conditional Use Permit
- a. Per the “Conditionally Permitted Land Uses” for the RD20 zone, Chapter 20.04 of the Zoning Code.
 - b. Hospitals
- HDR30-4 Prohibited Uses
- a. Per the “Not Permitted Land Uses” for the RD20 zone, Chapter 20.04 of the Zoning Code.
 - b. Single-family dwellings.
- HDR30-5 Administratively Permitted and Incidental Uses
- a. Per the “Permitted Land Uses” for the RD 20 zone, Chapter 20.04 of the Zoning Code.
 - b. Crop cultivation, as provided in the RD 20 zone, Chapter 20.04 of the Zoning Code.
- HDR30-6 Development Requirements
- a. Minimum setback to interior property line:
 - i. Residential buildings and associated parking structures:
 1. 5 ft.
 - b. Maximum building height:
 - i. Residential buildings and associated parking structures:
 1. Building height is measured from 5 feet off building at adjacent grade to midpoint of roof or built-up roof. Penthouses or roof structures for the housing of elevators, stairways, tanks, ventilating fans, or similar equipment required to operate and maintain a building; and fire or parapet walls, skylights, towers, steeples, flagpoles, chimneys, antennae, or other similar structures may be erected 12 ft. above the permitted height limits. Additional height variances are subject to approval by the Director of Development Services.
- HDR 30-7 Performance Standards
- a. The primary entrances of buildings on Main Street must be oriented toward the street, except in instances where public spaces are provided between the building and Main Street.
 - b. Parking lots and structures should be oriented away from Main Street.
 - c. Buildings fronting on streets that are part of the Transit System and/or contain a transit lane shall be designed to facilitate the use of the transit system through their site design, orientation, and architectural design.

DEVELOPMENT PLAN

TABLE 4 - BUSINESS AND PUBLIC FACILITIES DEVELOPMENT REQUIREMENTS

Land Use Designation	Neighborhood Commercial	Regional Commercial	Airport Related ¹¹	Light Industrial ¹¹	Public Facilities ¹	Community Core 16	Community Core 30
Development Requirements							
Average Intensity/Density: Mixed Projects Light Industrial component Business Park/Office component Commercial component Hotel component Residential component	.25 FAR	.25 FAR	.45 FAR .35 FAR .25 FAR .35 FAR	.47 FAR		12-20 du/ac N/A .4 FAR office business park N/A) .3 FAR 16 du/ac. ⁴	24-40 du/ac N/A .4 FAR office business park N/A) .3 FAR 30 du/ac. ⁴
Minimum lot size	3 acres or 25,000 SF ⁹	None 8	Per the M1 Zone, Section 20.07 5	Per the M1 Zone, Section 20.07 5	None	None	None
Minimum project size	3 acres	None 8	5 acres	5 acres	None	None	None
Minimum front, side and rear setbacks ^{6, 7, & 10}	None, except: 25 ft. from street 10 ft. from residential Per UBC	Per CR Zone, table 20.06-2 ^{2&5}	25 ft. front 0 ft. interior side and rear 25 ft. exterior side and rear	25 ft. front 0 ft. interior side and rear 25 ft. exterior side and rear		Maximum 0 ft front ³ No minimum side and rear setbacks	Maximum 0 ft front ³ No minimum side and rear setbacks

DEVELOPMENT PLAN

TABLE 4 - BUSINESS AND PUBLIC FACILITIES DEVELOPMENT REQUIREMENTS

Land Use Designation	Neighborhood Commercial	Regional Commercial	Airport Related ¹¹	Light Industrial ¹¹	Public Facilities ¹	Community Core 16	Community Core 30
Maximum Building Height: Habitable Structures Non-Habitable Structures or Architectural Details Within 30 ft. of residential property Within 50 ft. of residential property Within 100 ft. of residential property Single use structure Residential units mixed w/non-residential	25 ft. 25 ft. 25 ft.	45 ft. 65 ft. 40 ft.	45 ft. 65 ft. 40 ft.	45 ft. 65 ft. 40 ft.		45 ft. 55 ft.	45 ft. 55 ft.
Development Requirements							
Minimum Landscape Coverage	15%	15%	15%	15%		None	None
Parking	Per Chapter 20.18 ⁵	Per Chapter 20.18 ⁵	Per Chapter 20.18 ⁵	Per Chapter 20.18 ⁵	Per Chapter 20.18 ⁵	Per Chapter 20.18 ⁵	Per Chapter 20.18 ⁵
Walls/Fences	Per Section 20.10.080 ⁵	Per Section 20.10.080 ⁵	Per Section 20.10.080 ⁵	Per Section 20.10.080 ⁵	Per Section 20.10.080 ⁵	Per Section 20.10.080 ⁵	Per Section 20.10.080 ⁵

1 Any proposed development shall be evaluated by the City on a case-by-case basis. Projects shall be evaluated for the impacts to surrounding uses in terms of noise, odors, light penetration, aesthetics, traffic and parking. It is the discretion of the Director of Development Services if a Special Conditional Use Permit is required based upon the scale of the project and potential impacts.

2 Unless modified through an approved Master Plan.

3 Unless public space is provided. Does not preclude the use of recesses for entryways, windows and dining areas.

4 Residential development is subject to the development regulations of the HDR designation for CCI 16 and HDR30 for CC30.

5 Chapter in the Zoning Code.

6 See Specific Plan text for drive aisle setbacks.

7 Setbacks may vary if adjacent to residential uses. See the Specific Plan text for details.

8 A Master Plan is required for the entire Regional Commercial designated area. See the text of the Regional Commercial land use designation.

9 A minimum lot size of 25,000 SF may be established subject to approval of a master plan.

10. Setbacks for Industrial require an additional 1' setback for each 1' in building height over 25'.

11 For Airport Related (AR) and Light Industrial (LI) Land Use Designations, refer to Zoning Code Chapter 20.07 for additional information..

Section V **DEVELOPMENT PLAN**

General Business Use Requirements

The General Use Regulations address the use and development of specific uses within the Neighborhood Commercial, Regional Commercial, Airport Related, Light Industrial and Community Core land use designations.

GBU1 Per Chapter 20.21 of the Zoning Code including:

- a. Alcoholic Beverage Sales for On-Site Consumption.
- b. Alcoholic Beverage Sales for Off-Site Consumption.
- c. Nightclubs, Bars and Cocktail Lounges.
- d. Outdoor Seating Areas.
- e. Convenience Markets/Grocery Stores/Supermarkets.
- f. Open Air Sales, Display and Activities – Permanent.
- g. Open Air Sales, Display and Activities – Temporary.
- h. Hotels and Motels.
- i. Service Stations.
- j. Live Entertainment.
- k. Child Care Facilities.
- l. Outdoor Storage.
- m. Hazardous Materials.
- n. Recycling Facilities.
- o. Ancillary Facilities.

GBU2 Communication Facilities: Per Chapter 20.22 of the Zoning Code.

GBU3 Temporary Facilities Per Chapter 20.12 of the Zoning Code.

Business Designations

There are six business- and employment-related land use designations in The Preserve: Neighborhood Commercial, Regional Commercial, Light Industrial, Airport Related, Community Core 16, and Community Core 30. Each land use designation includes a description of the intended character, allowable uses, intensity and development standards, as summarized in Table 4.

The business related land use designations allow a wide range of intensities in order to encourage an exciting mixture of uses and ensure the long-term viability of The Preserve. To ensure this variety, a number of innovative tools are used in the development plan.

Neighborhood Commercial (NC)

NC1 Intended Character: The Neighborhood Commercial Land Use Designation is intended to provide for the retail commercial, office and service needs of the community. The Neighborhood Commercial designation is intended to accommodate small-scale centers or freestanding buildings that are designed to minimize impacts on adjacent residential uses and to complement, not degrade, the physical character of adjacent residential neighborhoods.

The Preserve Specific Plan

- NC2 Permitted Land Uses
- a. Per the "Permitted Land Uses" for the Commercial Neighborhood (CN) zone, Chapter 20.06 of the Zoning Code.
- NC3 Uses Subject to a Special Conditional Use Permit
- a. Per the "Conditionally Permitted Land Uses" for the CN Zone of Chapter 20.06 of the Zoning Code.
 - b. Automobile, light truck and van cleaning:
 - i. Automated only.
 - ii. Noise and lighting studies shall be required to identify the potential noise and lighting impacts to the adjacent land uses and mitigation measures shall be implemented into the project in order to mitigate those impacts.
 - iii. The Planning Commission may restrict the hours of operation based upon the potential adverse impacts on the surrounding neighborhood.
 - c. Vehicle repair and maintenance:
 - i. Types of vehicle services permitted: oil changes, oil filter changes, diagnostic checks of vehicle brakes, changing fluids for brakes, transmissions and radiators and other minor automobile repairs.
 - ii. Noise and lighting studies shall be required to identify the potential noise and lighting impacts to the adjacent land uses and mitigation measures shall be implemented into the project in order to mitigate those impacts.
 - iii. The Planning Commission may restrict the hours of operation based upon the potential adverse impacts on the surrounding neighborhood.
 - d. Gas and service stations.
 - i. Fuel amounts and setbacks on gas stations will be required to meet General Plan Policy P9.
- NC4 Prohibited Land Uses
- a. Per the "Not Permitted Land Uses" for the CN zone, Chapter 20.06 of the Zoning Code.
- NC5 Administratively Permitted and Incidental Uses
- a. As provided in the CN zone, Chapter 20.06 of the Zoning Code.
- NC6 Development Requirements
- a. Minimum front, side and rear setbacks:
 - i. No setback except in the following circumstances:
 1. 25 ft. setback from any street.
 2. 10 ft. setback if adjacent to a residentially designated property (the 10ft. area must be landscaped).
 3. As necessary to conform to the Uniform Building Code.
 - ii. Minimum parking and drive aisle setbacks:
 1. Parking stalls or drive aisle to exterior property line: 10 ft.
 2. Parking stalls or drive aisle to interior side or rear property line: 5 ft.
 3. Parking stall to building: 5 ft.
 4. Drive aisle to building: 10 ft.

Section V **DEVELOPMENT PLAN**

- b. Performance Standards:
 - i. Commercial centers and large box retail stores occupying more than 25,000 square feet shall comply with the following:
 - 1. For the purpose of these provisions, "large box retail store" shall mean a retail establishment, or any combination of retail establishments, in a single building, occupying more than twenty-five thousand square feet.
 - 2. Exterior building facades in excess of one hundred feet, shall incorporate recesses and projections comprising at least twenty percent of the façade length, with a minimum depth of three percent of the façade length. Further more, windows, awnings, arcades or other similar architectural features must total at least sixty percent of the façade length visible abutting the public street or containing a public entrance.
 - 3. The development must contribute toward the enhancement of the community and public spaces by providing at least two community amenities, such as a patio/seating area, water feature, art feature, clock tower, pedestrian plaza or other space/feature acceptable to the city.
 - 4. Within commercial centers, a continuous internal pedestrian walkway shall be provided, linking the public sidewalk at the site perimeter, to each principal customer entrance within the center. Enhanced landscape features, such as lighting bollards, benches, decorative pavement, and intensified planting, shall be provided for no less than fifty percent of the walkway length.
 - 5. Sidewalks extending the full length of the building must be provided along any building façade featuring public entrance and where public parking areas abut a building wall. Such sidewalks shall be located at least five feet from the building wall to provide planting beds for foundation landscaping.
 - 6. Internal pedestrian walkways shall be distinguished from internal drive surfaces through the use of decorative pavers or stamped or scored concrete to enhance pedestrian safety and attractiveness of the walkways.

Regional Commercial (RC)

RC1 Intended Character: The Regional Commercial Land Use Designation is intended to provide for regional commercial, entertainment and office uses. Development occurring within this designation should be coordinated and integrated. As detailed in the performance standards section, a master plan is required for development in the Regional Commercial area.

RC2 Permitted Land Uses

- a. Big box retail.
- b. Regional commercial malls.
- c. Automobile dealerships (new and used) in compliance with Section 20.21.250 of the Zoning Code.
- d. Per the "Permitted Land Uses" for the Commercial Regional (CR) zone, Chapter 20.06 of the Zoning Code.

The Preserve Specific Plan

DEVELOPMENT PLAN *Section V*

- RC3 Uses Subject to a Special Conditional Use Permit
- a. Per the “Conditionally Permitted Land Uses” for the CR zone, Chapter 20.06 of the Zoning Code.
- RC4 Prohibited Land Uses
- a. Per the “Not Permitted Land Uses” for the CR zone, Chapter 20.06 of the Zoning Code.
- RC5 Administratively Permitted and Incidental Uses
- a. As provided in the CR zone, Chapter 20.06 of the Zoning Code.
- RC6 Development Requirements
1. Performance Standards:
 - a. Master Plan requirement: The area designated Regional Commercial is intended to be developed as one cohesive unit. As such, any new development in the area requires submittal and approval of a detailed Master Plan for the entire site, prior to any development. The Master Plan shall be developed in accordance with the Master Plan requirements in the Administration section of this plan. The Master Plan must also address the use of the land that is located below the 566-foot dam inundation elevation. Any use of the property below the 566-foot elevation must be coordinated with the Army Corp of Engineers.
 - b. Commercial centers and large box retail store occupying more than 25,000 square feet in area shall comply with the following requirements:
 - i. For the purpose of these provisions, “large box retail store” shall mean a retail establishment, or any combination of retail establishments, in a single building, occupying more than twenty-five thousand square feet.
 - ii. Exterior building facades in excess of one hundred feet, shall incorporate recesses and projections comprising at least twenty percent of the façade length, with a minimum depth of three percent of the façade length. Further more, windows, awnings, arcades or other similar architectural features must total at least sixty percent of the façade length visible abutting the public street or containing a public entrance.
 - iii. The development must contribute toward the enhancement of the community and public spaces by providing at least two community amenities, such as a patio/seating area, water feature, art feature, clock tower, pedestrian plaza or other space/feature acceptable to the city.
 - iv. Within commercial centers, a continuous internal pedestrian walkway shall be provided, linking the public sidewalk at the site perimeter, to each principal customer entrance within the center. Enhanced landscape features, such as lighting bollards, benches, decorative pavement, and intensified planting, shall be provided for no less than fifty percent of the walkway length.
 - v. Sidewalks extending the full length of the building must be provided along any building façade featuring public entrance and where public parking areas abut a building wall. Such sidewalks shall be located at least five feet from the building wall to provide planting beds for foundation landscaping.
 - vi. Internal pedestrian walkways shall be distinguished from internal drive surfaces through the use of decorative pavers or stamped or scored concrete to enhance pedestrian safety and attractiveness of the walkways.

Section V **DEVELOPMENT PLAN**

- c. Landscaping: developments within the Regional Commercial land use designation shall comply with the landscaping requirements of the CR zoning district, per the Zoning Code.

Airport Related (AR)

AR1 Intended Character: The Airport Related Land Use Designation is intended to provide for a range of uses that are directly related to and/ or complement the Chino Airport.

AR2 Permitted Land Uses

- d. Service stations.
- e. Car rental agencies.
- f. Office.
- g. Airplane sales and repair.
- h. Research & development.
- i. Travel agencies.
- j. Business park.
- k. Per the "Permitted Land Uses" for the Business Park (BP) and Light Industrial (M1) zones, Chapter 20.07 of the Zoning Code (least restrictive zone applies).
- l. Allowable uses and building design may be further restricted depending upon their location. Prior to pursuing development, parcels located within the Chino Airport Influence or the Chino Airport Overlay must refer to the Comprehensive Land Use Plan, Chino Airport, for additional information.

AR3 Uses Subject to a Special Conditional Use Permit

- a. Hotels.
- b. Hospitals.
- c. Per the "Conditionally Permitted Land Uses" for the BP and M1 zones, Chapter 20.07 of the Zoning Code (least restrictive zone applies).
- d. Alcohol sales for off-premise consumption of beer and wine.
- e. Cemeteries.
- f. Car washes (includes coin operated).
- g. Sales, leasing and rental of automobiles, light trucks and vans, boats and motorcycles in compliance with Section 20.21.250 and 20.21.410 of the Zoning Code.
- h. Kennels and catteries.
- i. Common Interest Subdivisions.
- j. Allowable uses and building design may be further restricted depending upon their location. Prior to pursuing development, parcels located within the Chino Airport Influence or the Chino Airport Overlay must refer to the Comprehensive Land Use Plan, Chino Airport, for additional information.

AR4 Prohibited Land Uses

- a. Per the "Not Permitted Land Uses" for the BP and M1 zones, Chapter 20.07 of the Zoning Code.

The Preserve Specific Plan

- AR5 Administratively Permitted and Incidental Uses
- a. As provided by the BP and M1 zones, Chapter 20.07 of the Zoning Code.
- AR6 Development Requirements
- a. Minimum interior side and rear setbacks: 0 ft. Properties that abut a residential land use designation shall provide a minimum setback of 20ft. Additionally, a 6 ft. high masonry block wall shall be constructed at the property line. The 5 ft. nearest the wall shall consist of a landscape screen that will reach a height of at least 10 ft. These are minimums and shall be increased if necessary to adequately buffer residentially designated property.
 - i. Parking stalls or drive aisle to exterior property line: 10 ft.
 - ii. Parking stall or drive aisle to interior side or rear property line:
 1. Public areas: 5 ft.
 2. Private areas: 5 ft.
 - iii. Parking stall or drive aisle to building:
 1. Public areas (at office/wall): 10/5 ft.
 2. Private areas: 0 ft.
 - b. Maximum building height:
 - i. See the Chino Airport Overlay regarding potential height limitations imposed by the Chino Airport.
 - c. Performance Standards:
 1. See the Chino Airport Overlay regarding potential use and development restrictions.

Light Industrial (LI)

- LI1 Intended Character: The Light Industrial Land Use Designation is intended to provide for industrial uses that can be considered light in nature by reason of size, activity and performance characteristics. It is intended that this designation be used to provide for a wide variety of industrial uses that produce relatively limited volumes of traffic, noise, odors or pollutants.
- LI2 Permitted Land Uses
- a. Light manufacturing, assembly and processing.
 - b. Office.
 - c. Per the "Permitted Land Uses" for the M1 zone, Chapter 20.07 of the Zoning Code.
 - d. Allowable uses and building design may be further restricted depending upon their location. Prior to pursuing development, parcels located within the Chino Airport Influence area must refer to the Chino Airport Land Use Plan for additional information.
- LI3 Uses Subject to a Special Conditional Use Permit
- a. Per the "Conditionally Permitted Land Uses" for the M1 zone, Chapter 20.07 of the Zoning Code.
 - b. Car Washes (includes coin operated)
 - c. Sales, leasing and rental of automobiles, light trucks and vans, boats and motorcycles in compliance with Section 20.21.250 and 20.21.410 of the Zoning Code.

Section V **DEVELOPMENT PLAN**

- d. Kennels and catteries.
- e. Cemeteries.
- f. Common Interest Subdivisions.
- g. Allowable uses and building design may be further restricted depending upon their location. Prior to pursuing development, parcels located within the Chino Airport Influence or the Chino Airport Overlay must refer to the Comprehensive Land Use Plan, Chino Airport, for additional information.

LI4 Prohibited Land Uses

- a. Per the "Not Permitted Land Uses" for the M1 zone, Chapter 20.07 of the Zoning Code.

LI5 Administratively Permitted and Incidental Uses

- a. As provided in the M1 zone, Chapter 20.07 of the Zoning Code.

LI6 Development Requirements

- a. Minimum interior side and rear setbacks: 0 ft. Properties that abut a residential land use designation shall provide a minimum setback of 20ft. Additionally, a 6 ft. high masonry block wall shall be constructed at the property line. The 5 ft. nearest the wall shall consist of a landscape screen that will reach a height of at least 10 ft. These are minimums and shall be increased if necessary to adequately buffer residentially designated property.
 - i. Parking stalls or drive aisle to exterior property line: 10 ft.
 - ii. Parking stall or drive aisle to interior side or rear property line:
 - 1. Public areas: 5 ft.
 - 2. Private areas: 5 ft.
 - iii. Parking stall or drive aisle to building:
 - 1. Public areas (at office/wall): 10/5 ft.
 - 2. Private areas: 0 ft.
- b. Maximum building height:
 - i. See the Chino Airport Overlay regarding potential height limitations imposed by the Chino Airport.
- c. Performance Standards:
 - i. See the Chino Airport Overlay regarding potential use and development restrictions.

Public Facilities (PF)

PF1 Intended Character: The Public Facility Land Use Designation is intended to provide for local and regional serving public and quasi-public facilities and services.

PF2 Permitted Land Uses

- a. Minor utility facilities.
- b. Police and fire stations.
- c. Row crops.

PF3 Uses Subject to a Special Conditional Use Permit

- a. New correctional facilities.
- b. Airports and related facilities.

The Preserve Specific Plan

- c. Museums.
- d. Schools/Day Care.
- e. Libraries.
- f. Places of worship.
- g. Public safety facilities.
- h. Utility stations.
- i. Transportation facilities.
- j. Cemeteries.

PF4 Administratively Permitted and Incidental Uses

- a. Crop cultivation per the provisions of Section 20.21.020 of the Zoning Code.

PF5 Development Requirements

- a. Any proposed development shall be evaluated by the City on a case-by-case basis. Projects shall be evaluated for the impacts to surrounding uses in terms of noise, odors, light penetration, aesthetics, traffic and parking. Uses located within the Chino Airport Overlay are subject development restrictions contained within this Overlay.

Community Core 16 (CC16)

The Community Core 16 land use designation allows for a combination of retail, commercial, office, high-density residential uses, as well as civic, institutional, public, recreational uses and places of worship.

The intent of this land use designation is to create a compact, walkable and pedestrian oriented downtown. As such, the Community Core land use designation stands in contrast to traditional zoning that separates residential, commercial, business parks and public/institutional uses into distinct areas or zones. By allowing a mixture of uses, a high level of activity and diversity can be generated. Integrating housing with retail, work places, civic facilities and recreational uses creates exciting opportunities. This concentration also allows nearby residents convenient access to nearby shopping, civic and recreational facilities. In addition, by allowing uses to concentrate in the Community Core, infrastructure and parking can be more efficiently provided and shared.

The Community Core 16 land use designation is based upon design principles that are intended to create a unique, walkable downtown. In general, this means that buildings are located on and oriented to the street. In addition, the sidewalk is filled with pedestrian amenities, such as benches, low planter walls, public art and outdoor dining to create exciting pedestrian spaces. Building massing and height is allowed to vary. Prominent architectural accent buildings are strongly encouraged. Streets and pedestrian linkages are oriented to frame views of the core area, public buildings, natural features and recreational focal points. All of these efforts help to create a strong sense of identity and interest.

CC16-1 Intended Character: The Community Core Land Use Designation provides for an integrated mixture of uses, including residential, commercial, office, civic, entertainment, religious, educational, recreational and civic uses.

Section V **DEVELOPMENT PLAN**

The mix of uses can be horizontal (side-by-side) or vertical (on top of each other), with commercial or office uses located on the ground floor and with office or residential uses located above.

The residential portion of this land use designation is intended to provide for the development of multi-family residential dwellings in a downtown atmosphere. Flexibility is provided to offer a multitude of product types and styles that appeal to a range of market segments, from first-time buyers, to families, to seniors.

Flexibility is provided in the development standards to both allow a variety of densities and styles while maintaining the overall limits on the total number of dwelling units. Typical products include for sale and rent duplexes, townhomes, clustered residences and courtyard products, flats, live-work products, residential lofts over commercial, pocket lots, postage stamp lots (detached condominium) and condominiums. The intent is to allow a variety of lot configurations for both attached and detached products. A master design and development plan is required to ensure coordinated and integrated development in this area, as described in the Performance Standards section.

CC16-2 Permitted Land Uses

- a. Permitted Land Uses that are specified under the High Density Residential 16 Land Use Designation of this Specific Plan.
- b. Per the "Permitted Land Uses" of the CG zone, Chapter 20.06 of the Zoning Code, except as modified herein (by sections CC16-2 through CC16-5, inclusive).
- c. Retail sale of motor vehicle parts and accessories, excluding installation.
- d. Athletic fields associated with a public facility.
- e. Libraries, museums and art galleries.
- f. Public parks, senior centers, community centers and similar facilities.
- g. Police stations, fire stations and other similar facilities.
- h. Day care facilities for 8 or less (small family day care home).
- i. Residential care facilities for 6 or less (includes facilities licensed and/or controlled by the California Department of Social Services).

CC16-3 Uses Subject to a Special Conditional Use Permit

- a. Those land uses subject to a special conditional use permit that are specified under the High Density Residential 16 Land Use Designation of this Specific Plan.
- b. Per the "Conditionally Permitted Land Uses" of the CG zone, Chapter 20.06 of the Zoning Code, except as modified herein (by sections CC16-2 through CC16-5, inclusive).
- c. Ambulance service
- d. Laundromat (coin-operated)
- e. Pet stores (animals kept on site) and animal boarding facilities.
- f. Thrift/second hand stores.
- g. Drive through facilities in compliance with Section 20.21.170 of the Zoning Code (includes drive-through restaurants), except that buildings and establishments with drive through facilities are not permitted to front on or take access from Main Street.

- h. Gasoline and Fuel Sales (service stations), subject to Section 20.21.230 of the Zoning Code, except that Sub-section (c) of Section 20.21.230 shall not apply, and such establishments are not permitted along Main Street.
- i. Day care facilities for 9 or more (child day care facilities, large) in compliance with Section 20.21.090 of the Zoning Code.
- j. Employer day care provided on-site.
- k. Residential care facilities for 7 or more (includes facilities licensed and/or controlled by the California Department of Social Services) in compliance with Section 20.21.070 of the Zoning Code.

CC16-4 Prohibited Uses

- a. Per the "Not Permitted Land Uses" of the CG zone, Chapter 20.06 of the Zoning Code, except as modified herein (by sections CC16-2 through CC16-5, inclusive).
- b. Industrial uses, except as allowed under the CG zone, Chapter 20.06 of the Zoning Code.
- c. Business parks.
- d. Body and paint shops.
- e. Repair garages for automobiles, light & heavy trucks & vans, buses or boats.
- f. Sale lease or rental of buses and trucks.
- g. Sale of automobiles, light trucks, vans, boats and motorcycles.
- h. Outdoor storage of vehicles, equipment and materials.
- i. Transportation terminals.
- j. Mobile, manufactured and factory built buildings and structures.

CC16-5 Administratively Permitted and Incidental Uses

- a. As provided in the CN zone, Chapter 20.06 of the Zoning Code.

CC16-6 Development Requirements

- a. Front Setback:
 - i. Outdoor dining is allowed to encroach 7 ft. into the public right-of-way on Main Street with an encroachment permit, maintenance agreement and administrative approval by the Director of Development Services and the City Engineer, and conform to the provisions of Section 20.21.160 of the Zoning Code.
- b. Parking:
 - i. Per Chapter 20.18 of the Zoning Code with the following exception: for the purposes of this Specific Plan, the multi-family parking standard of the Zoning Code applies to all residential development with a density of 8 dwelling units per acre or more. The multi-family parking standard also applies when units have been clustered and the developed area of the project has a micro-density of 8 dwelling units per acre or more.
- c. Performance standards:
 - i. The primary entrances of structures on Main Street must be oriented toward the street, except in instances where public spaces are provided between the structure and Main Street.

Section V **DEVELOPMENT PLAN**

- ii. Parking lots must be oriented away from Main Street.
- iii. Master Plan and Overall Design Concept Requirements. The Community Core is a critical component of Chino's vision for The Preserve. When developed, Community Core 16, along with the higher-density Community Core 30, will be a high-activity area that will be the heart of The Preserve. It is likely that the Community Core will build out in parts over the long term. In order to ensure that the Core develops in a coordinated and cohesive manner over time, and is designed at a high level of quality consistent with the City's vision, the following provisions are required:
 1. A Master Plan and Overall Design Concept (MPODC) for the area encompassed by Community Core 16 and Community Core 30 designations has been developed and is available as a separate document. The provisions of the MPODC shall apply to Community Core 16 and 30 designations, with the exception of up to 15 acres in the area north of Bickmore Avenue, to which the following standards apply:
 - The proposed development of such area is consistent with the intended character of the Community Core as described in the introductory language of the Community Core Land Use Designation and section CC16-1.
 - The Community Core Design Guidelines are adhered to, including but not limited to; the use of "signature architecture" elements at key locations along Main street; recreation/landscaping features as community focal points; themed hardscape/landscape concepts are employed to define the Community Core and Main Street; structures are designed and oriented to facilitate pedestrian activity along Main Street.
 - Pedestrian, street and open space connections are well defined and linkages to other parts of the core are taken into account as part of the design and layout proposed. The purpose of this provision is to ensure that development opportunities for the portion of the Community Core to the south are not unduly constrained or compromised by development of the initial 15 acres.
 2. None of the requirements of this section apply to existing agricultural land uses unless a change of use is proposed, nor do they restrict improvements or modifications to such uses that would otherwise be allowed by this Specific Plan.
- iv. Commercial centers and large box retail stores occupying more than 25,000 square feet in area shall comply with the following requirements:
 1. For the purpose of these provisions, "large box retail store" shall mean a retail establishment, or any combination of retail establishments, in a single building, occupying more than twenty-five thousand square feet.
 2. Exterior building facades in excess of one hundred feet, shall incorporate recesses and projections comprising at least twenty percent of the façade length, with a minimum depth of three percent of the façade length. Further more, windows, awnings, arcades or other similar architectural features must

total at least sixty percent of the façade length visible abutting the public street or containing a public entrance.

3. The development must contribute toward the enhancement of the community and public spaces by providing at least two community amenities, such as a patio/seating area, water feature, art feature, clock tower, pedestrian plaza or other space/feature acceptable to the city.
4. Within commercial centers, a continuous internal pedestrian walkway shall be provided, linking the public sidewalk at the site perimeter, to each principal customer entrance within the center. Enhanced landscape features, such as lighting bollards, benches, decorative pavement, and intensified planting, shall be provided for no less than fifty percent of the walkway length.
5. Sidewalks extending the full length of the building must be provided along any building façade featuring public entrance and where public parking areas abut a building wall. Such sidewalks shall be located at least five feet from the building wall to provide planting beds for foundation landscaping.
6. Internal pedestrian walkways shall be distinguished from internal drive surfaces through the use of decorative pavers or stamped or scored concrete to enhance pedestrian safety and attractiveness of the walkways.

Community Core 30 (CC30)

The Community Core 30 land use designation allows for a high-density combination of retail, commercial, office and residential uses, as well as civic, institutional, public, recreational uses and places of worship.

The intent of this land use designation is to create a compact, walkable and pedestrian-oriented downtown, at a higher density than the Community Core 16 land use designation. The mixture and intensity of uses creates a high level of activity and diversity within the Community Core. This concentration also allows local residents convenient access to nearby shopping, civic and recreational facilities. In addition, the concentration of uses in the Community Core allows infrastructure and parking to be provided more efficiently.

The Community Core 30 land use designation is based upon design principles that are intended to create a unique, walkable downtown. In general, buildings are located on and oriented to the street, and the sidewalk is filled with pedestrian amenities, such as benches, low planter walls, public art and outdoor dining to create lively pedestrian spaces. Building massing and height is allowed to vary. Prominent architectural accent buildings are strongly encouraged. Streets and pedestrian linkages are oriented to frame views of the core area, public buildings, natural features and recreational focal points. All of these efforts help to create a strong sense of identity and interest.

CC30-1 Intended Character: The Community Core Land Use Designation provides for an integrated mixture of uses, including residential, commercial, office, civic, entertainment, religious, educational, recreational and civic uses.

The mix of uses can be horizontal (side-by-side) or vertical (on top of each other), with commercial or office uses located on the ground floor and office or residential uses located above.

Section V **DEVELOPMENT PLAN**

The residential portion of this land use designation is intended to provide for the development of multi-family residential dwellings in a downtown atmosphere. Flexibility is provided to offer a multitude of product types and styles that appeal to a range of market segments, including first-time buyers, families and seniors.

The development standards to both allow a variety of densities and styles while maintaining the overall limits on the total number of dwelling units. Typical products include for sale and rent townhomes, apartments, clustered residences and courtyard products, flats, live-work products, residential lofts over commercial and condominiums. The Community Core 30 land use designation allows a variety of lot configurations for attached products. A master design and development plan is required to ensure coordinated and integrated development in this area, as described in the Performance Standards section.

CC30-2 Permitted Land Uses

- a. Permitted Land Uses that are specified under High Density Residential 20 & 30 of this Specific Plan.
- b. Per the "Permitted Land Uses" of the CG, General Commercial, zone, Section 20.09.030 of the Zoning Code, except as modified herein (by sections CC30-2 through CC30-5 inclusive).
- c. Athletic fields associated with a public facility.
- d. Libraries, museums and art galleries.
- e. Public parks, senior centers, community centers and similar facilities.
- f. Police stations, fire stations and other similar facilities.
- g. Day care facilities for 8 or less (small family day care home).
- h. Residential care facilities for 6 or less (includes facilities licensed and/or controlled by the California Department of Social Services).

CC30-3 Uses Subject to a Special Conditional Use Permit

- a. Those land uses subject to a special conditional use permit that are specified under the High Density Residential 20 & 30 Land Use Designation of this Specific Plan.
- b. Per the "Conditionally Permitted Land Uses" of the CG, General Commercial, zone, Section 20.09.030 of the Zoning Code, except as modified herein (by sections CC2 through CC5, inclusive).
- c. Ambulance service
- d. Laundromat (coin-operated)
- e. Pet stores (animals kept on site) and animal boarding facilities.
- f. Drive through facilities in compliance with Section 20.09.050.D.2 of the Zoning Code (includes drive-through restaurants), except that buildings and establishments with drive through facilities are not permitted to front on or take access from Main Street.
- g. Gasoline and Fuel Sales (service stations), subject to Section 20.09.040.B.18 and Section 20.09.050.D5 of the Zoning Code, except that Sub-section "a" of Section 20.09.050.D4 shall not apply, and such establishments are not permitted along Main Street.
- h. Day care facilities for 9 or more (child day care facilities, large) in compliance with Section 20.21.090 of the Zoning Code.
- i. Employer day care provided on-site.

The Preserve Specific Plan

CC30-4 Prohibited Uses

- a. Per the "Not Permitted Land Uses" of the CG, General Commercial zone, Section 20.09.030 (Table 20.09.01) of the Zoning Code, except as modified herein (by sections CC2 through CC5 inclusive).
- b. Industrial uses, except as allowed under the CG, General Commercial zone, Section 20.09.030 of the Zoning Code.
- c. Single-family detached residences.
- d. Business parks.
- e. Large box retail stores.
- f. Body and paint shops.
- g. Repair garages for automobiles, light & heavy trucks & vans, buses or boats.
- h. Sale lease or rental of buses and trucks.
- i. Sale of automobiles, light trucks, vans, boats and motorcycles.
- j. Outdoor storage of vehicles, equipment and materials.
- k. Transportation terminals.
- l. Mobile, manufactured and factory built buildings and structures.

CC30-5 Administratively Permitted and Incidental Uses

- a. As provided in the CN zone, Section 20.06 of the Zoning Code.

CC30-6 Development Requirements

- a. Front Setback:
 - i. Outdoor dining is allowed to encroach 7 ft. into the public right-of-way on Main Street with an encroachment permit, maintenance agreement and administrative approval by the Director of Development Services and the City Engineer.
- b. Minimum landscape coverage:
 - i. None, although there must be compliance with applicable design guidelines and requirements of the Master Plan and Overall Design Concept (MPODC) discussed below:
- c. Parking:
 - i. Per Chapter 20.14 of the Zoning Code with the following exception: for the purposes of this Specific Plan, the multi-family parking standard of the Zoning Code applies to all residential development with a density of 8 dwelling units per acre or more. The multi-family parking standard also applies when units have been clustered and the developed area of the project has a micro-density of 8 dwelling units per acre or more.
- d. Performance standards:
 - i. The primary entrances of structures on Main Street must be oriented toward the street, except in instances where public spaces are provided between the structure and Main Street.
 - ii. Parking lots must be oriented away from Main Street.
 - iii. Master Plan and Overall Design Concept Requirements. The Community Core 30 land use designation is a critical component of Chino's vision for The Preserve. When developed, CC30, along with Community Core 16, will be a

Section V **DEVELOPMENT PLAN**

high-activity area at the heart of The Preserve. It is likely that the Community Core will build out gradually over the long term. In order to ensure that the Core develops in a coordinated and cohesive manner over time, and is designed at a high level of quality consistent with the City's vision, the following provisions are required :

1. A Master Plan and Overall Design Concept (MPODC) for the area encompassed by Community Core 16 and Community Core 30 designations has been developed and is available as a separate document. The provisions of the MPODC shall apply to Community Core 16 and 30 designations, with the exception of up to 15 acres in the area north of Bickmore Avenue, to which the following standards apply:
 - The proposed development of such area is consistent with the intended character of the Community Core as described in the introductory language of the Community Core Land Use Designation and section CC30-1.
 - The Community Core Design Guidelines are adhered to, including but not limited to; the use of "signature architecture" elements at key locations along Main street; recreation/landscaping features as community focal points; themed hardscape/landscape concepts are employed to define the Community Core and Main Street; structures are designed and oriented to facilitate pedestrian activity along Main Street.
 - Pedestrian, street and open space connections are well defined and linkages to other parts of the core are taken into account as part of the design and layout proposed. The purpose of this provision is to ensure that development opportunities for the portion of the Community Core to the south are not unduly constrained or compromised by development of the initial 15 acres.
2. None of the requirements of this section apply to existing agricultural land uses unless a change of use is proposed, nor do they restrict improvements or modifications to such uses that would otherwise be allowed by this Specific Plan.

Open Space Designations

The open space land use designations are divided into five land use designations: Agriculture, Open Space-Recreation, Agriculture/Open Space-Natural, Open Space-Natural and Open Space-Water. Each subcategory includes a description of the intended character, allowable uses, and development standards as summarized in Table 5.

The open space land use designations address a specific range of uses intended to help preserve the historic, agriculture character of Chino and to protect open space and biological resources.

Most of the land within the open space designations is also within the 566-foot elevation dam inundation area. The open space designations within this area have been designed to recognize flood hazards and support and protect the biological habitat and open space resource values inherent in this area from incompatible land uses that could damage these resources.

The Preserve Specific Plan

DEVELOPMENT PLAN

TABLE 5 - OPEN SPACE DEVELOPMENT REQUIREMENTS ¹

	Agriculture ²	Agriculture/Open Space-Natural ²	Open Space-Recreation ²	Open Space-Natural ²	Open Space-Water ²
Development Requirements					
Minimum Lot Size	10 Acres	None	None	None	None
Minimum Lot Width	None	None	None	None	None
Minimum Front Setback	25 ft.	None	None 3	None	None
Minimum Side and Rear Setbacks	None	None	None 3	None	None
Maximum Site Coverage	None	None	None	None	None
Maximum Building Height	35 ft.	35 ft.	35 ft.	35 ft.	None

¹ Summary only. Does not include all standards. See the Specific Plan text for complete standards.

² Any proposed development shall be evaluated by the City on a case-by-case basis. Projects shall be evaluated for the impacts to surrounding uses in terms of noise, odors, light penetration, aesthetics, traffic and parking.

³ If adjacent to residentially designated property then setbacks are required. See the Specific Plan text for details.

Section V **DEVELOPMENT PLAN**

Agriculture (AG)

- AG1 Intended character: The Agricultural Land Use Designation is intended to provide for agricultural uses including farming, stables, pastures, and grazing. Uses and structures in AG designated areas below the 566' dam inundation elevation must comply with the requirements of the Dam Inundation Overlay, and must also comply with the Resource Management Plan which provides for the protection and enhancement of biological resources.
- AG2 Permitted Land Uses
- a. Commercial row, field, tree and nursery crops cultivation.
 - b. Grazing.
 - c. Nurseries
 - d. Conservation and habitat enhancement areas
 - e. Uses permitted by the General Agriculture Zone, Chapter 20.08 of the Zoning Code except as modified herein and as restricted by the Dam Inundation Overlay.
 - f. Public infrastructure facilities including but not limited to those necessary for: drainage and flood control including watershed, water recharge and percolation areas, the retention or detention of flood waters, and other facilities necessary to provide water quality improvements; reducing water runoff pollutants; public communications; and other publicly owned facilities necessary to provide for public safety or health.
 - g. Existing residential uses and structures. A residential use legally established within the unincorporated areas of the County of San Bernardino prior to the effective date of the annexation of the Preserve into the City of Chino may be expanded, changed, or replaced, subject to the following:
 - i. The expansion, change, or replacement shall be subject to Administrative Approval in accordance with Section 20.23.120 of the Zoning Code and shall comply with all other applicable requirements of the Zoning Code and The Preserve Specific Plan;
 - ii. The expansion, change, or replacement shall not adversely affect, or be materially detrimental to, adjoining properties;
 - iii. The expansion, change, or replacement shall be subject to review in accordance with the California Environmental Quality Act (CEQA) and CEQA Guidelines, as applicable;
 - iv. The expansion, change, or replacement will improve the appearance or stability of the vicinity; and
 - v. The expansion, change or replacement will not result in a greater number of legally established residential structures than currently exists on the property.
- AG3 Uses Subject to a Special Conditional Use Permit
- a. Per the Conditionally Permitted Land Uses for the AG zone, Chapter 20.08 of the Zoning Code, except as modified herein and as restricted by the Dam Inundation Overlay.
 - b. Kennels and Catteries outside the Dam Inundation Overlay.
- AG4 Administratively Permitted and Incidental Uses
- a. As allowed by the AG zone, Chapter 20.08 of the Zoning Code.

The Preserve Specific Plan

AG5 Prohibited Uses

- a. New dairies and expansions of existing dairies, calf nurseries and other similar intense animal uses are prohibited within the Dam Inundation Overlay (area below the 566' elevation).
- b. Animal clinics and hospitals.
- c. Animal Keeping in excess of established density standards as specified in Section 20.21.030 of the Zoning Code, for AG designated properties within the Dam Inundation Overlay.
- d. Cemeteries
- e. Kennels and catteries within the Dam Inundation Overlay.
- f. Educational Services as they are specified by Chapter 20.08 of the Zoning Code, except that home schools are a permitted use.
- g. Uses of similar type, intensity, or operational characteristics as determined by the Planning Commission.

AG6 Development Requirements

- a. Setbacks to avoid impacts to biological resources: Additional setbacks for structures or uses may be required if determined by the Director of Development Services to be necessary to ameliorate negative impacts on biological resources that adjoin such structure or use.

AG7 Performance Standards

- a. All development and all land uses below the 566' dam inundation elevation shall comply with the requirements of the Dam Inundation Overlay.
- b. Portions of the AG Land Use Designation are located in areas that either have significant biological resources and/or have the potential to negatively affect such resources. A Resource Management Plan (RMP) has been prepared as part of the environmental mitigation program for The Preserve in order to address and protect these resources. All developments within the AG designation must comply with the requirements and guidelines of the RMP.

Agriculture/Open Space-Natural (AG/OSN)

A/OS1 Intended character: The Agricultural/Open Space-Natural Land Use Designation is intended to provide for limited agricultural and open space uses, including passive recreation, trails, crop farming, and open space. It is also intended to protect important biological resources found within lands designated AG/OSN from incompatible land uses that could damage these resources. Land uses in AG/OSN designated areas must be compatible and coordinated with the Resource Management Plan, which provides for the protection and enhancement of biological resources. They must also comply with the requirements of the Dam Inundation Overlay.

A/OS2 Permitted Land Uses

- a. Commercial row, field, tree and nursery crops cultivation, except that expansions of such crop farming to areas that have not been farmed within the previous 5 years are subject to an Administrative Approval.
- b. Continuation of grazing where grazing has occurred within the previous 5

Section V **DEVELOPMENT PLAN**

years. Areas where grazing has not occurred within the past 5 years require an Administrative Approval. The Administrative Approval must also comply with any applicable requirements or standards of the Resource Management Plan.

- c. Conservation Areas (wildlife/natural habitats and sanctuaries and habitat enhancement areas).
- d. Hiking and riding trails, including comfort stations and excluding trails for motor vehicles.
- e. Public infrastructure facilities including but not limited to those necessary for: drainage and flood control including watershed, water recharge and percolation areas, the retention or detention of flood waters, and other facilities necessary to provide water quality improvements; reducing water runoff pollutants; public communications; and other publicly owned facilities necessary to provide for public safety or health.
- f. Existing residential uses and structures. A residential use legally established within the unincorporated areas of the County of San Bernardino prior to the effective date of the annexation of the Preserve into the City of Chino may be expanded, changed, or replaced, subject to the following:
 - i. The expansion, change, or replacement shall be subject to Administrative Approval in accordance with Section 20.23.120 of the Zoning Code and shall comply with all other applicable requirements of the Zoning Code and The Preserve Specific Plan;
 - ii. The expansion, change, or replacement shall not adversely affect, or be materially detrimental to, adjoining properties;
 - iii. The expansion, change, or replacement shall be subject to review in accordance with the California Environmental Quality Act (CEQA) and CEQA Guidelines, as applicable;
 - iv. The expansion, change, or replacement will improve the appearance or stability of the vicinity; and
 - v. The expansion, change or replacement will not result in a greater number of legally established residential structures than currently exists on the property.

A/OS3 Prohibited Uses

- a. Expansions or new dairies, calf nurseries, and other similar intense animal uses.
- b. Cemeteries
- c. Athletic fields.
- d. Auditoriums, Stadiums, and other similar facilities.
- e. Golf Courses and miniature golf
- f. Tennis and swimming facilities.
- g. All off-road motor vehicles and motorcycles.
- h. Uses of similar type, intensity, or operational characteristics as determined by the Planning Commission.

The Preserve Specific Plan

A/OS4 Uses Subject to a Special Conditional Use Permit

- a. Nature interpretive facilities and visitor centers
- b. Low-intensity public parks and other passive recreation uses provided that they do not negatively impact biological resources.
- c. Major Communications Facilities as defined by the Chino Zoning Code and in compliance with Chapter 20.22 of the Zoning Code.
- d. Utility stations and associated equipment buildings.
- e. Apiaries
- f. Public recreational and educational facilities owned, leased or controlled by a public agency, provided that they do not negatively impact wildlife and other biological resources. Examples of such facilities include but are not limited to: historic and monument sites; recreational or organizational camps; botanical gardens and arboretums; hunting and fishing clubs. Development shall be subject to the criteria listed below:
 - i. Landscaping plans should minimize any impact on existing native species especially those species that are of high biological value. In addition, restorative landscaping should incorporate indigenous plant materials as a means of mitigating visual impacts associated with the construction of new buildings, structures or other improvements within the zone.
 - ii. Buildings, structures and improvements should incorporate designs in which scale, mass, and height respect the undisturbed character of the area. Designs should follow existing topography, blend in with the natural landscape and otherwise minimize their visual prominence.
 - iii. The use of herbicides to control or kill vegetation is not permitted, except for the use of EPA approved herbicides to kill invasive exotic species.
 - iv. Parking lots should be unobtrusive. Designs should minimize impacts by contouring to the natural topography and landscaping with indigenous plant materials. Paving materials should be semi-porous (e.g. crushed granite or gravel) to maximize on-site infiltration. Lighting should be limited to levels safe for pedestrian access.

A/OS5 Administratively Permitted and Incidental Uses

- a. As allowed by the OS2 Zone, Chapter 20.08 of the Zoning Code.

A/OS6 Development Requirements

- a. Setbacks to avoid impacts to biological resources: Additional setbacks for structures or uses may be required if determined by the Director of Development Services to be necessary to ameliorate negative impacts on biological resources that adjoin such structure or use.

Section V **DEVELOPMENT PLAN**

A/OS7 Performance Standards

- a. All development and all land uses below the 566' dam inundation elevation shall comply with the requirements of the Dam Inundation Overlay.
- b. Portions of the AG/OSN Land Use Designation is located in areas that either have significant biological resources and/or have the potential to negatively affect such resources. A Resource Management Plan (RMP) has been prepared as part of the environmental mitigation program for The Preserve in order to address and protect these resources. All developments within the AG/OSN designation must comply with the requirements and guidelines of the RMP.

A/OS7 Performance Standards

- a. All development and all land uses below the 566' dam inundation elevations shall comply with the requirements of the Dam Inundation Overlay
- b. Portions of the AG/OSN Land Use Designation is located in areas that either have significant biological resources and/or have the potential to negatively affect such resources. A Resource Management Plan (RMP) has been prepared as part of the environmental mitigation program for The Preserve in order to address and protect these resources. All developments within the AG/OSN designation must comply with the requirements and guidelines of the RMP

Open Space-Recreation (OS-R)

OSR1 Intended character: The Open Space-Recreation Land Use Designation is intended to establish open space areas for active and passive recreation and to provide protection from environmental hazards.

OSR2 Permitted Land Uses

- a. Caretaker quarters.
- b. Child daycare associated with a public facility (community center, public park, etc.).
- c. Commercial row, field, tree and nursery crops cultivation.
- d. Conservation areas (wildlife/natural habitats, habitat enhancement areas and sanctuaries)
- e. Equestrian facilities.
- f. Minor Communications Facilities subject to an Administrative Approval as provided in the Chino Zoning Code and in compliance with Chapter 20.22 of the Zoning Code.
- g. Public and private parks and related facilities (community centers, senior centers, and other community buildings/structures, etc.)
- h. Temporary Facilities subject to an Administrative Approval as provided in the Chino Zoning Code and in compliance with Chapter 20.12 of the Zoning Code. (Includes facilities which do not require the construction /installation of any structures)
- i. Public infrastructure facilities including but not limited to those necessary for: drainage and flood control including watershed, water recharge and percolation areas, the retention or detention of flood waters, and other facilities necessary to provide water quality improvements; reducing water runoff pollutants; public communications; and other publicly owned facilities necessary to provide for public safety or health.

The Preserve Specific Plan

- j. Existing residential uses and structures. A residential use legally established within the unincorporated areas of the County of San Bernardino prior to the effective date of the annexation of the Preserve into the City of Chino may be expanded, changed, or replaced, subject to the following:
 - i. The expansion, change, or replacement shall be subject to Administrative Review in accordance with Section 20.23.120 of the Zoning Code and shall comply with all other applicable requirements of the Zoning Code and The Preserve Specific Plan;
 - ii. The expansion, change, or replacement shall not adversely affect, or be materially detrimental to, adjoining properties;
 - iii. The expansion, change, or replacement shall be subject to review in accordance with the California Environmental Quality Act (CEQA) and CEQA Guidelines, as applicable;
 - iv. The expansion, change, or replacement will improve the appearance or stability of the vicinity; and
 - v. The expansion, change or replacement will not result in a greater number of legally established residential structures than currently exists on the property.

OSR3 Prohibited Uses

- a. Expansions or new dairies, calf nurseries and other similar intense animal uses.

OSR4 Uses Subject to a Special Conditional Use Permit

- a. Major Communications Facilities as designed by the Chino Zoning Code and in compliance with Chapter 20.22 of the Zoning Code.
- b. Eating place in conjunction with the and incidental to permitted or conditionally permitted recreational uses. (Includes restaurants, convenience foods and specialty foods). Alcoholic beverage sales in conjunction with and incidental to eating places may be permitted subject to approval of a Special Conditional Use Permit and in compliance with Section 20.21 of the Zoning Code.
- c. Sporting and Recreational Camps
- d. Trailer Parks and Campsites.
- e. RV Storage above the 566' Dam Inundation Elevation.
- f. Athletic Fields (For commercial uses, only. Does not include those provided as part of a public park.)
- g. Regulation Gold Courses (includes incidental retail activities supporting gold course operation, such as pro shops and eating establishments)
- h. Live entertainment incidental to and in conjunction with another permitted or conditionally permitted use.
- i. Skating rinks.
- j. Sports and Recreation Centers (private and commercial facilities).
- k. Tennis and swimming clubs.
- l. Employer provided on-site daycare.
- m. Utility stations and associated equipment buildings.
- n. Apiaries.
- o. Cemeteries.

Section V **DEVELOPMENT PLAN**

OSR5 Administratively Permitted and Incidental Uses

- a. As allowed by the OS1 Zone, Chapter 20.08 of the Zoning Code.
- b. Incidental processing drying & packing of agricultural commodities produces on site.
- c. Incidental, seasonal sales stands for row, field, trees, and nursery crops produced on site.

OSR6 Development requirements

- a. Minimum front, side and rear setbacks: non, unless adjacent to residentially designated property, in which case a minimum of 30 ft. setback shall apply to all structures.
- b. Setbacks to avoid impacts to biological resources: Additional setbacks for structures or uses may be required if determined by the Director of Development Services to be necessary to ameliorate negative impacts on biological resources that adjoin such structure or use.

Open Space-Natural (OS-N)

OSN1 Intended character: The Open Space-Natural Land Use Designation is intended to accommodate permanent natural open space, wildlife preserves, natural drainage and stream courses, cultural and historic resources, and to protect natural plant and animal habitats. This designation also permits the use of open space areas for crop farming, outdoor recreational uses and other low intensity uses in some instances.

OSN2 Permitted Land Uses

- a. Conservation Areas (wildlife/natural habitats and sanctuaries and habitat enhancement areas).
- b. Hiking and riding trails, including comfort stations and excluding trails for motor vehicles.
- c. Commercial row, field, tree and nursery crops cultivation is permitted for:
 - i. Land currently under cultivation
 - ii. Land that has been under cultivation within the previous five years
 - iii. Lands that have been used for agricultural uses other than cultivation within the previous five years (e.g. dairies, livestock raising, etc.)
- d. Continuation of grazing on lands where grazing has occurred within the previous 5 years. Areas where grazing has not occurred within the previous 5 years require an Administrative Approval. The Administrative Approval must also comply with any applicable requirements or standards of the Resource Management Plan.
- e. Public infrastructure facilities including but not limited to those necessary for: drainage and flood control including watershed, water recharge and percolation areas, the retention or detention of flood waters, and other facilities necessary to provide water quality improvements; reducing water runoff pollutants; public communications; and other publicly owned facilities necessary to provide for public safety or health.

The Preserve Specific Plan

- f. Existing residential uses and structures. A residential use legally established within the unincorporated areas of the County of San Bernardino prior to the effective date of the annexation of the Preserve into the City of Chino may be expanded, changed, or replaced, subject to the following:
 - i. The expansion, change, or replacement shall be subject to Administrative Review in accordance with Section 20.23.120 of the Zoning Code and shall comply with all other applicable requirements of the Zoning Code and The Preserve Specific Plan;
 - ii. The expansion, change, or replacement shall not adversely affect, or be materially detrimental to, adjoining properties;
 - iii. The expansion, change, or replacement shall be subject to review in accordance with the California Environmental Quality Act (CEQA) and CEQA Guidelines, as applicable;
 - iv. The expansion, change, or replacement will improve the appearance or stability of the vicinity; and
 - v. The expansion, change or replacement will not result in a greater number of legally established residential structures than currently exists on the property.

OSN3 Uses Subject to a Special Conditional Use Permit

- a. Low intensity public parks and passive recreation uses provided that they do not negatively impact biological resources.
- b. Nature interpretive facilities and visitor centers.
- c. Expansions of commercial row, field, tree and nursery crops cultivation, if such expansion does not meet any of the conditions specified in section OSN2(c), above. Such expansion must also comply with any applicable requirements or standards of the Resource Management Plan.
- d. Public recreational and educational facilities owned, leased or controlled by a public agency, provided that they do not negatively impact biological resources. Examples of such facilities include but are not limited to: historic and monument sites; recreational or organizational camps; botanical gardens and arboretums; hunting and fishing clubs. Development shall be subject to the criteria listed below:
 - i. The use of herbicides to control or kill vegetation is not permitted, except for the use of EPA approved herbicides to kill invasive exotic species.
 - ii. Landscaping plans should minimize any impact on existing native species especially those species that are of high biological value. In addition, restorative landscaping should incorporate indigenous plant materials as a means of mitigating visual impacts associated with the construction of new buildings.
 - iii. Buildings, structures and improvements should incorporate designs in which scale, mass, and height respect the undisturbed character of the area. Designs should follow existing topography, blend in with the natural landscape and otherwise minimize their visual prominence.

Section V **DEVELOPMENT PLAN**

- iv. Parking lots should be unobtrusive. Designs should minimize impacts by contouring to the natural topography and landscaping with indigenous plant materials. Paving materials should be semi-porous (e.g. crushed granite or gravel) to maximize on-site infiltration. Lighting should be limited to levels safe for pedestrian access.

OSN4 Prohibited Uses

- a. New and expansions of existing dairies, calf nurseries and other similar intense animal uses.
- b. Cemeteries
- c. Athletic fields.
- d. Auditoriums, Stadiums, and other similar facilities.
- e. Golf Courses and miniature golf.
- f. Tennis and swimming facilities.
- g. All off-road motor vehicles and motorcycles.
- h. Uses of a similar type, intensity, or operational characteristics as determined by the Planning Commission.

OSN5 Administratively Permitted and Incidental Uses

- a. As allowed by the OS2 Zone, Chapter 20.08 of the Zoning Code.
- b. Administratively permitted agricultural uses referenced under Section OSN 2.

OSN6 Development Requirements

- a. Setbacks to avoid impacts to biological resources: Additional setbacks for structures or uses may be required if determined by the Director of Development Services to be necessary to ameliorate negative impacts on biological resources that adjoin such structure or use.

OSN7 Performance Standards

- a. All development and all land uses below the 566' dam inundation elevation shall comply with the requirements of the Dam Inundation Overlay.
- b. The OS-N Land Use Designation is located in areas that either have significant biological resources and/or have the potential to negatively affect such resources. A Resource Management Plan (RMP) has been prepared as part of the environmental mitigation program for The Preserve in order to address and protect these resources. All developments within the OS-N designation must comply with the requirements and guidelines of the RMP.

Open-Space-Water (OS-W)

OSW1 Intended Character: The Open Space-Water Land Use Designation applies to the existing Prado Lake and is intended to preserve water resources.

OSW2 Permitted Land Uses

- a. Lakes and water bodies.
- b. Wildlife/habitat conservation areas.
- c. Public parks.
- d. Educational/interpretive facilities.
- e. Water related recreation in Prado Lake

OSW3 Development Requirements

- a. Any proposed development shall be evaluated by the City on a case-by-case basis. Projects shall be evaluated for the impacts to surrounding uses in terms of noise, odors, light penetration, aesthetics, traffic and parking. It is the discretion of the Director of Development Services if a Special Conditional Use Permit is required based upon the scale of the project and potential impacts.

OVERLAYS

Overlays apply to a specific issue, such as a habitat overlay or the Chino Airport safety zones. Each Overlay includes a description of the intended character, allowable uses, density and development standards. The locations of the overlays are shown on Figure 9A, Overlays.

Open Space Corridor Overlay (OSO)

The Open Space Corridor Overlay provides a habitat linkage from Prado Lake to the drainage area to the north. The overlay applies over a portion of the Prado Regional Park and depicts an area where structures and active recreational uses are limited in order to provide non-intrusive uses to encourage habitat movement.

OSO1 Intended Character: The Open Space Corridor Overlay is applied to an area where a drainage course crosses the Prado Regional Park. The intent is to provide for both passive recreational uses and habitat. The overlay denotes an area where minimal physical improvements and landscape improvements/ maintenance should be undertaken.

OSO2 Permitted Land Uses

- a. Passive recreational uses.
- b. Multi-purpose trails.

566-Foot Dam Inundation Elevation Overlay (DIO)

2,917 acres of The Preserve lies below the 566-foot elevation and within the inundation area created by the proposed raising of Prado Dam. The DIO is defined by the 566-foot dam inundation elevation and is subject to change.

Section V **DEVELOPMENT PLAN**

The United States Army Corps of Engineers (ACOE) determines the type of structures that are appropriate within the dam inundation area. The primary criterion used by the USACE to determine if a structure is appropriate in the inundation area is whether it is capable of supporting human habitation. The criteria for this determination are detailed in Appendix 1.

D101 Intended Character:

To preserve the area within the 566-foot dam inundation elevation for flooding purposes and other open space/habitat uses, while balancing the need to allow some use of the property with the need to protect the health, safety and welfare of the residents of Chino.

D102 Inundation Restrictions

- a. Allowable land uses are as specified in the underlying land use designation except that habitable structures are not permitted below the 566-foot dam inundation elevation.
- b. The ACOE determines what other types of structures are appropriate within the dam inundation area. The criteria used by the ACOE are detailed in Appendix 1. Appropriate structures include, but are not limited to, backstops, shade structures, floodable restrooms, trails and other "flood-proofed" structures.
- c. Proposals for development and use within the 566-foot dam inundation area shall be submitted to the ACOE for review.
- d. Proposals must also comply with provisions of any cooperative management plan that may apply to the Lower Chino Basin/Prado area as well as the requirements of the Resources Management Plan prepared as part of the mitigation monitoring program for The Preserve Environmental Impact Report.

Transmission Line Easement Overlay (TLO)

The 300-foot wide Southern California Edison transmission line easement crosses The Preserve in a generally east-west manner. The TLO Overlay is co-terminus with the easement.

TLO1 Intended Character: To accommodate active and passive recreation uses and the electric transmission line.

TLO2 Uses Subject to a Special Conditional Use Permit: The following land uses are allowed within the Transmission Line Overlay with approval of a Special Conditional Use Permit (SCUP), written permission from the property owner of record and written permission from SCE:

- a. As specified by the underlying land use designation.
- b. Wholesale nurseries.
- c. Orchards, vineyards, row crops.
- d. Active or passive recreational uses.
- e. Equestrian facilities.
- f. Fully enclosed storage, except for nursery stock, which may be open.
- g. Overflow parking areas in connection with adjacent land uses.
- h. Other uses determined to be compatible by the Director of Development Services.
- i. The Community Paseo and Open Space system shall be accommodated within the Transmission Line Overlay.

The Preserve Specific Plan

Chino Airport Overlay (CAO)

The Chino Airport is located immediately north of The Preserve. In order to ensure the long-term viability of the airport and the health, safety and welfare of the residents of Chino, certain use and building restrictions apply to the lands within the Chino Airport Overlay. The Chino Airport Overlay affects the type, extent and design of land uses that may be located within the overlay.

Proposed development within the Chino Airport Overlay must comply with the underlying land use designation and Section 20.09.050, Airport Overlay District, of the Chino Zoning Code in consideration of the following:

CAO1 Airport Safety Zones: Surrounding the Chino Airport are three safety zones intended to limit incompatible uses and reduce the impacts of potential accidents. The Chino ACLUP delineates the precise location of the safety zones surrounding the Chino Airport and defines special land use requirements within these zones.

The safety zones are depicted on Figure 9A, Overlays. The land use requirements associated with these safety zones are defined in Appendix 2, Airport Compatibility Matrix. The following three safety zones must be considered prior to any development in The Preserve:

- a. Safety Zone I, Runway Protection Zone (RPZ), or Referral Area "A."
 - i. It is desirable to restrict all objects from the RPZ. However, low intensity uses, such as agriculture and auto parking may be allowed provided they do not attract wildlife and are located outside the runway Object Free Area.
 - ii. Roads are an allowable use within the RPZ provided that a minimum 17-foot clearance from the airport imaginary surfaces is provided.
- b. Safety Zone II, or Referral Area "B." This zone includes the balance of the approach and departure zones, the remaining portion of the 70 CNEL noise contour and all of the area within the 65 CNEL noise contour area.
 - i. Uses in this safety zone include limited recreational, industrial and warehouse uses with low levels of human occupancy.
 - ii. Noise attenuation may be required in this area.
- c. Safety Zone III, or Referral Area "C." This zone indicates an area where aircraft accident and potential noise exposure is minimal. Safety Zone III generally does not present significant constraints to future land use development in The Preserve.

CAO2 Airport Noise Contours: The 1991 ACLUP provides the adopted Chino Airport noise contours (See Figure 9A). For planning purposes, the 65-dB contour is a threshold wherein noise sensitive uses, such as residences, schools, hospitals and churches, are prohibited. The adopted 65-dB contour is located in the area substantially north of Kimball Avenue within airport property, except in the area immediately east of the Chino Airport.

Section V **DEVELOPMENT PLAN**

CAO3 Airport Height Restrictions: An imaginary surface is superimposed on the airspace around the airport to determine whether an object is an obstruction to aircraft. Within The Preserve, the imaginary surface extends approximately to the Euclid Avenue/SR 71 interchange and includes The Preserve.

- a. Federal Aviation Administration (FAA) Part 77 requires that the FAA Regional Office receive notice of any construction that would pierce an imaginary surface. The FAA would perform an aeronautical study to determine whether or not the proposed construction might create an airspace hazard or have an adverse impact on the operation of airport navigational aids. The FAA recommendations are then transmitted to the applicant/agency for their consideration in processing development applications and entitlements.
- b. In terms of aircraft operations, the maximum building heights outside of the runway protection zones range from 160 feet to over 200 feet within the planning area. These maximum heights are limited by the height restrictions contained in each land use designation.

CAO4 Water Features: The location of wildlife areas and/or water features near airports is a safety concern for aircraft operations. The FAA recommends that water features be located at least 1,200 feet from the runway centerline and as far away from the runway end as is physically possible.

Agricultural Overlay (AO)

The agricultural overlay allows for the continuation of agricultural uses that are under "Williamson Act Land Conservation Contract." The agricultural uses within this overlay are transitional and it is intended that they will ultimately develop consistent with this Specific Plan. The Agricultural Overlay is shown on Figure 9B, Agricultural Overlay.

AO1 Agricultural uses shall comply with Chapter 20.09.040 of the Zoning Code, which contains the provisions of the agricultural overlay.

Open Space Recreational – Active Use Overlay (OS-RA)

Open Space Recreational – Active Use Overlay appears within the western portions of This overlay depicts areas that, as deemed necessary, could be converted to land available for active recreational use and provide amenities like playing fields. This overlay zone is shown in Figure 9A.

Figure 9A: OVERLAYS



Figure 9B: AGRICULTURAL OVERLAY



MOBILITY PLAN

The ability to access population and employment centers within The Preserve and throughout the surrounding area is a critical consideration of the plan. Given its regional location, limitations on north-south movement and the desire to minimize traffic congestion and air pollution, The Preserve has been specifically designed to accommodate a wide spectrum of mobility options, from vehicles, to transit, to bicycles, to pedestrian and equestrians. Mobility within The Preserve and surrounding areas will be accommodated through an efficient roadway system, bicycle and trail system, as well as an innovative transit system.

Vehicular Mobility

The Preserve is near a number of major transportation facilities including the Chino Valley Freeway (SR 71), the Pomona Freeway (SR 60), which is located about four miles north, the Riverside Freeway (SR 91), which is located approximately three miles to the south, and Interstate 15, which is located approximately four miles to the east. The most significant vehicular connections within The Preserve to these facilities are Euclid and Pine Avenues.

North and south movements are restricted by the presence of the Chino Airport, the men's and women's correctional facilities and the Prado Basin.

The vehicular circulation system for The Preserve is depicted in Figure 10A, Circulation Plan. The Rancho Miramonte Circulation Plan is shown in Figure 10B. The corresponding roadway cross sections are depicted on Figures 11A through 11U. Finally, Table 6, Roadway Segment Description, presents the classifications and general configurations for the roadways within The Preserve.

Precise road alignments will be determined with final engineering design. Minor modifications to the locations of collector level roads may be approved through a master plan as approved by the City Engineer, Director of Development Services and Fire Chief. However, such change shall not cause a substantial negative impact in related intersection capacity.

The Circulation Plan features two levels of functional roadways. The first level consists of roadways of regional significance, including an expressway and primary major arterials, that cross The Preserve and serve through traffic as well as traffic generated by this project. These roadways are Euclid, Pine, Hellman and Kimball Avenues. The second level provides for internal circulation. This local internal roadway system consists of collectors and local streets.

Figure 10A: CIRCULATION PLAN

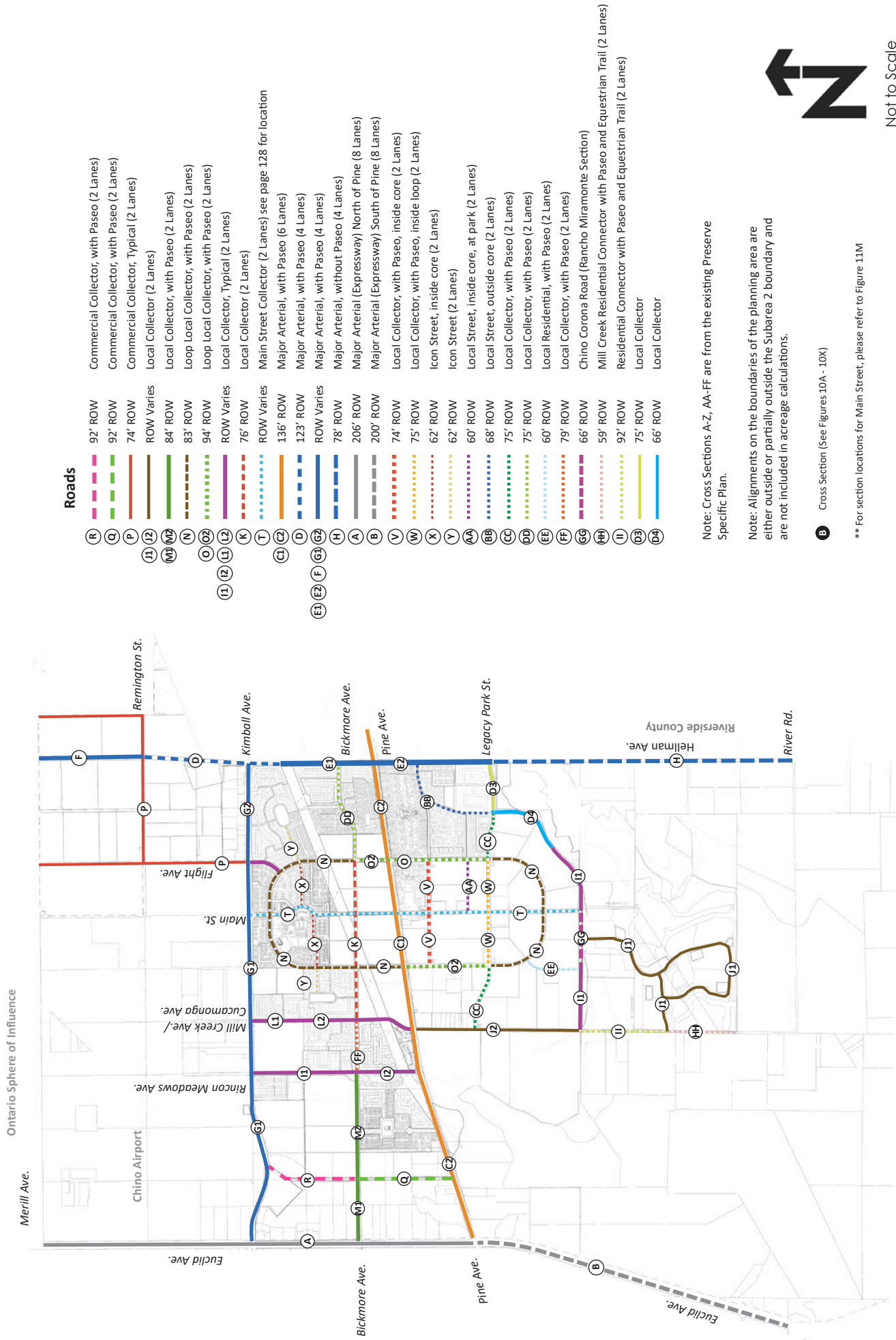
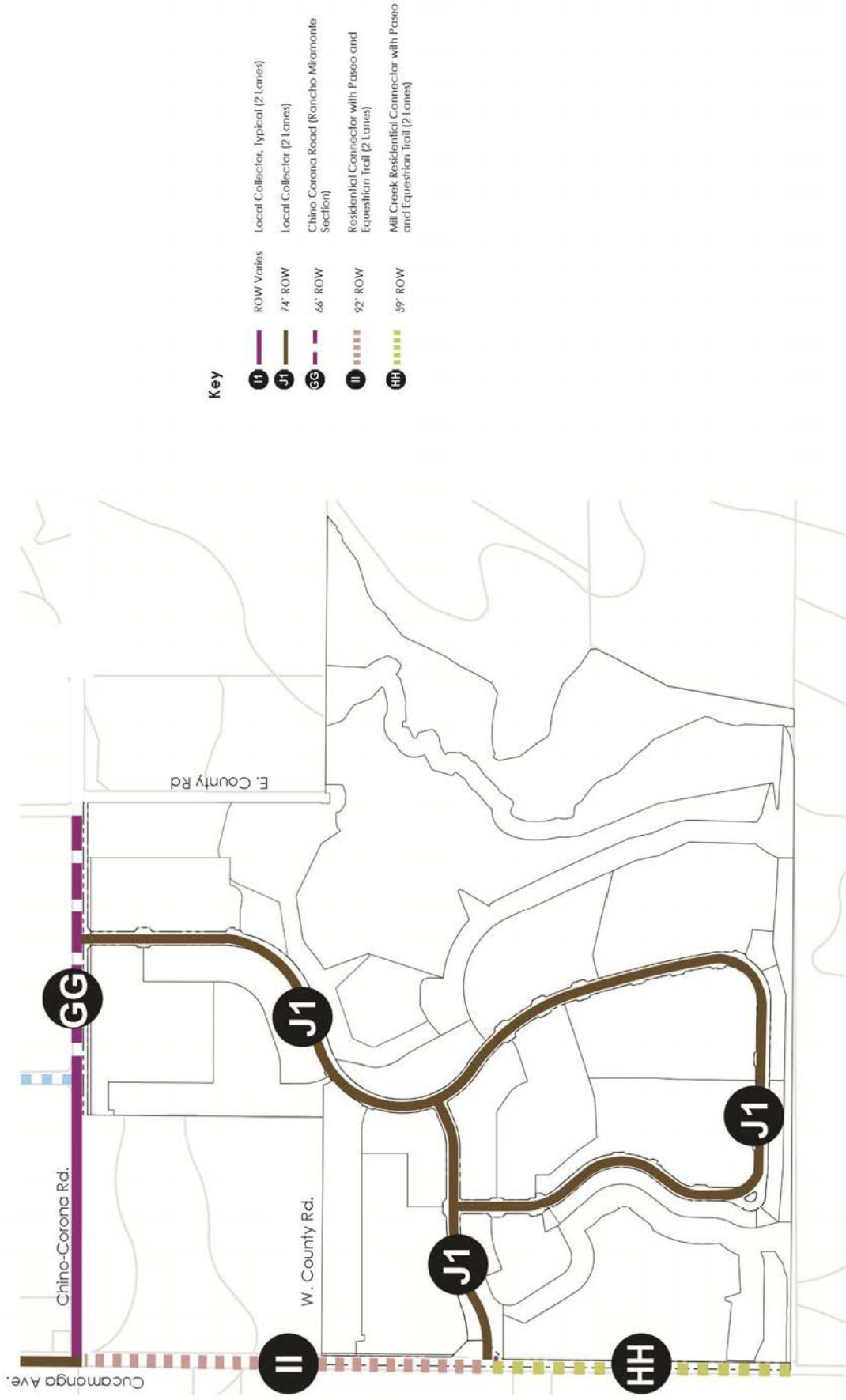


Figure 10B: RANCHO MIRAMONTE CONCEPTUAL CIRCULATION PLAN



Section V **DEVELOPMENT PLAN**

Typical Roadway Standards

Typical roadway standards for The Preserve roadway system are based upon the City of Chino Design Standards. The following is a brief description of the proposed roadway classification system that will be used in this Plan. The corresponding roadway cross sections are depicted on Figures 11A through 11U.

Expressway (Euclid Avenue, SR83)

Euclid Avenue is the only Expressway in The Preserve and forms the western edge of the project site. Euclid Avenue is classified as a State Route (SR 83) and is under the jurisdiction of the California Department of Transportation (Caltrans), which owns the existing 199-foot right-of-way. Euclid Avenue provides a direct connection to the 71 and the 60 Freeways. Euclid Avenue also provides the most direct link to the rest of the City of Chino.

Euclid Avenue is intended to carry a significant volume of regional and local traffic at higher speeds. This roadway passes through a variety of areas and, in order to tailor its design to fit the surrounding character, urban and rural street sections are provided.

Between Kimball and Pine Avenues, Euclid Avenue is an eight-lane, high capacity roadway with a 206-foot right-of-way and a curb-to-curb width of 168-feet, including a 64-foot median (See Roadway Section A). Beyond the required 206-foot right-of-way, a landscaped easement is required to be dedicated on both sides of Euclid Avenue. In addition, an average building setback of 50 feet, 35 feet minimum, is required to create a wide boulevard.

Between Pine Avenue and the 71 Freeway, Euclid Avenue has a 200-foot right-of-way width with six travel lanes, a 90-foot curb-to-curb dimension and a 14-foot striped median (See Roadway Section B).

On-street parking is prohibited on an Expressway, except on the shoulder in emergency situations and access to this facility is restricted in order to minimize turning movement conflicts and maintain higher speeds. Shared bicycle lanes (Class I) and pedestrian paths are provided.

Major Arterial (Pine Avenue)

Pine Avenue is intended to accommodate a significant volume of regional and local traffic at higher speeds. A Major Arterial is a six-lane, high capacity roadway with a minimum 136-foot right-of-way and a curb-to-curb width of 90 feet, including a 14-foot landscape median. On-street parking is prohibited, except in emergency situations, and access is controlled to reduce conflict points and maintain higher speeds. Shared bicycle lanes (Class I) and pedestrian paths are provided. (See Roadway Section C).

Pine Avenue is the only Major Arterial in The Preserve and serves as an important east-west link between the 71 Freeway, west of the plan area, and the I-15 Freeway in Riverside County.

Pine Avenue divides The Preserve into a northern and southern half and serves as the primary east-west roadway in the project area. Due to its significance, special landscaping and setback treatment are required. These are detailed in the Design Guidelines section. Fifty-foot Paseos are provided on both sides of Pine Avenue to help define the unique character of The Preserve.

The Preserve Specific Plan

Due to the nature of this roadway, access to and across Pine Avenue is limited to major intersections unless required for access to commercial sites. The treatment of the Pine Avenue/Main Street intersection is a critical component of The Preserve (see sidebar).

Beyond the required 136-foot right-of-way, a 27-foot easement is required to be dedicated on each side of Pine Avenue. This easement may be narrowed within the Community Core if approved by the City Engineer and Director of Development Services.

Major Arterial (Hellman and Kimball Avenues)

A Major Arterial is intended to accommodate a significant volume of traffic and provide access to collectors, some local collectors, and major traffic generators. There are five unique roadway sections for Kimball and Hellman Avenues, as shown on Roadway Sections D, E, F, G and H. Each of the roadway sections has four travel lanes; however, the required right-of-way varies between 78 feet and 123 feet excluding landscape lots and the curb-to-curb width varies between 58 feet and 74 feet. A 14-foot landscaped median is included on Kimball Avenue and on Hellman Avenue north of the linear buffer. As shown on Roadway Section H, there is no median included on Hellman Avenue south of the linear buffer.

Beyond the various required rights-of-way for these street sections, some street segments also require an additional dedicated easement. Particularly, a 10-foot easement is required on the west side of Hellman Avenue between Remington Avenue and the SCE Easement. A 20-foot easement is required on the west side of Hellman Avenue between Merrill Avenue and Remington and between the SCE Easement and the linear buffer. A 20-foot easement is required on the north side of Kimball Avenue between Hellman Avenue and Mill Creek Avenue.

Shared bicycle lanes (Class I) and pedestrian paths are provided on Hellman Avenue from Merrill Avenue to the linear buffer and along Kimball between Hellman and Euclid Avenue. Equestrian trails are provided along Hellman Avenue between Remington Avenue and the SCE Easement.

On-street parking is prohibited on the Major Arterial.

Kimball Avenue extends east into the Eastvale Community Plan area of Riverside County and west, past the Chino Correctional Facility, into the remainder of the City. A portion of Kimball Avenue, between Euclid Avenue and Cucamonga Avenue, forms the northern boundary of The Preserve. Hellman Avenue runs north to south and provides a critical connection between Ontario to the north and River Road. River Road eventually joins the 91 Freeway in Corona. The majority of Hellman Avenue forms the eastern boundary of The Preserve.

A wide paseo is included on this street section to provide mobility options and to provide an open space edge, which creates a separation between adjacent communities and the Chino Airport and helps to identify The Preserve.

DEVELOPMENT PLAN

Local Collector (e.g. Bickmore, Mayhew and Rincon Meadow, Walker, Loop Road, Chino Corona, Carpenter, and Market and Legacy Park Streets)

A Local Collector is intended to accommodate the bulk of local traffic, provide connections with arterials and local streets, and provide immediate access to each land use. On-street parking is permitted in certain locations and exclusive (Class I) or striped (Class II) bicycle lanes are accommodated depending upon the location of the roadway. Dwellings may not front on the collector streets except side loaded (corner) and rear loaded dwellings may front on if such dwellings are approved by the City Engineer and the Director of Development Services.

A Local Collector has two travel lanes; however, the pavement and right-of-way widths vary depending upon the character of the surrounding land uses and the functions of the roadway itself. The configuration of Local Collectors varies depending on the character of adjacent land uses, either residential and commercial, and whether the roadway accommodates a dedicated transit lane and/or paseo. The residential roadway sections are shown on Roadway Sections I through O and the commercial oriented collectors are shown on Roadway Sections P through R.

The Loop Road is classified as a Local Collector; however, due to its prominence, unique street sections are provided. See Roadway Sections N and O. In addition to the required right-of-way for the Loop Road East and West, a six-foot easement is required on both sides of the street. On the outside of the Loop Road, a 24-foot open area is required within which a minimum eight-foot landscaped area and a minimum five-foot wide meandering sidewalk are located. The on-street bike lane should be relocated and combined with the walkway on Loop Road where Transit lanes are located, to reduce possible conflicts.

Main Street

Main Street, which traverses the Community Core, is intended to have an entirely different character than other roadways in The Preserve. In the commercial core, Main Street's focus is upon the pedestrian and the experience of the shopper and visitor. Vehicular traffic is not the focus of this street segment. Main Street is purposefully narrow to help slow and "calm" traffic. On-street parking is limited and angled to help narrow the street (See Roadway Section T).

In the commercial core, a wide sidewalk is provided to enhance the experience of the pedestrian. The sidewalk is intended to accommodate outdoor dining, street furniture, planters, public art and other pedestrian amenities. Curb bulb-outs, and special paving treatments, are encouraged to facilitate the use of Main Street by the pedestrian and identify crossing areas provided a minimum paved width of 26 feet (excluding parking) is maintained.

In addition, alternate roadway sections on the extreme north and south ends of Main Street within the Loop Road may be utilized as part of a master plan and if approved by the City Engineer, Director of Development Services and the Fire Chief.

Local Streets

Local Streets are the streets within each tract or development project and provide direct access to individual parcels. These streets are not depicted on the Circulation Plan (Figure 10A). However, Typical Local Residential streets are depicted in Roadway Sections I1, I2, J1, J2, K, L, M1, M2, S and (Figures 11D-11L).

In the Estate Residential Land Use designation, the local streets are encouraged to be rural in nature. The General Plan "Rural Local" street section shall be a guideline for local streets in this land use designation.

In Rancho Miramonte, the local streets serve individual parcels as well as provide the primary access to and around the residential neighborhood and associated open space features. The widths of these streets may also increase at the entrances to the neighborhood to incorporate more scenic entry amenities and intersection geometry. The Rancho Miramonte typical local streets are based on Roadway Sections I1, J1, S, GG, HH, and II (Figures 11D, 11E, 11L, and 11U).

The local street section may be modified on a case-by-case basis if approved by the Fire Chief, the City Engineer and the Director of Development Services. Although the location of the local street network is not defined, intersection and driveway spacing guidelines will be developed as an implementation measure of this Specific Plan.

The Rancho Miramonte residential backbone streets within Rancho Miramonte adapt to the curvilinear nature of the community and. The roadway section has two travel lanes and on-street parking, with 40 feet of pavement curb-to-curb. The required right-of-way is 74 feet to accommodate a sidewalk and landscaping on one side and a shared bicycle (Class I) and pedestrian path with landscaping on the other. This paseo system provides mobility options to not only the surrounding open space and land areas, but also to the Community Core to the north.

Rancho Miramonte Residential Connector

The Rancho Miramonte Residential Connector, depicted in Roadway Section II and HH, is an additional residential backbone street for the Rancho Miramonte Neighborhood along Cucamonga Avenue. The street provides direct access from the western edge of the Rancho Miramonte community to The Preserve to the north.

North of the Rancho Miramonte entry, the roadway section has 48-feet of pavement curb-to-curb, two travel lanes, and on-street parking. The required right-of-way is 92 feet to accommodate a sidewalk, Class I bicycle path, and landscaping on one side and an equestrian path, sidewalk, and landscaping on the other (see Section II). This paseo system provides recreational opportunities and mobility options to not only the surrounding open space and land areas, but also to the Community Core to the north.

Figure 11A: ROADWAY SECTIONS A & B

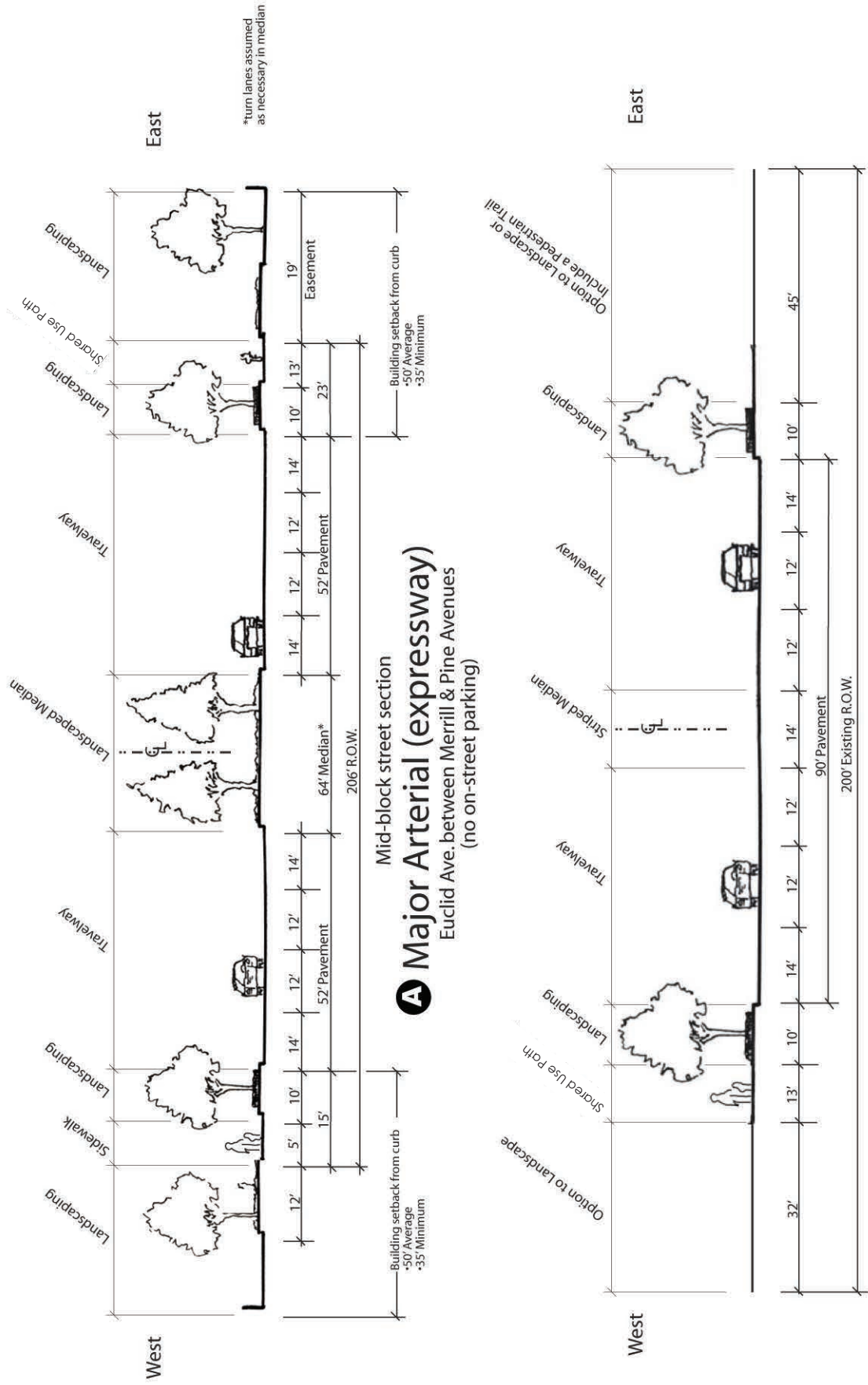
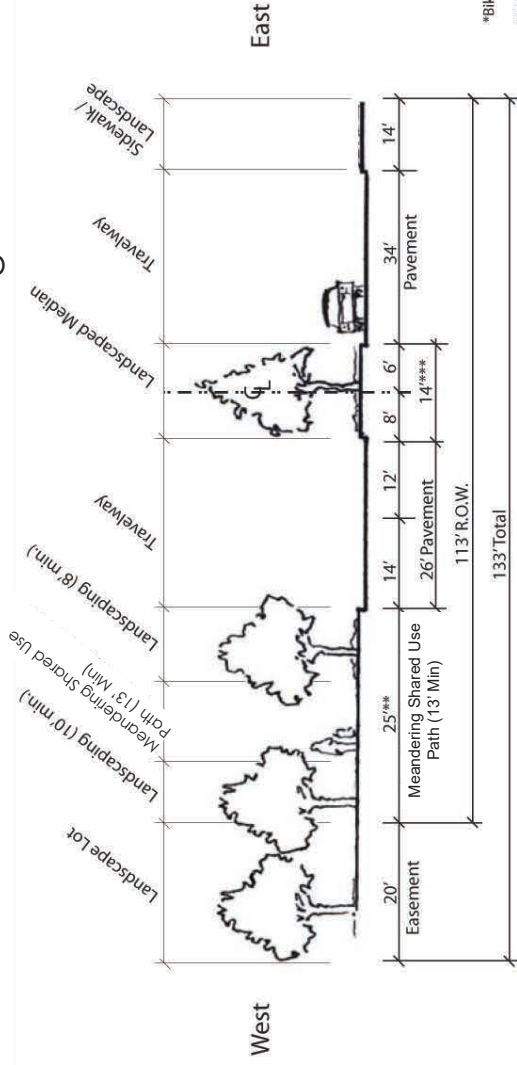
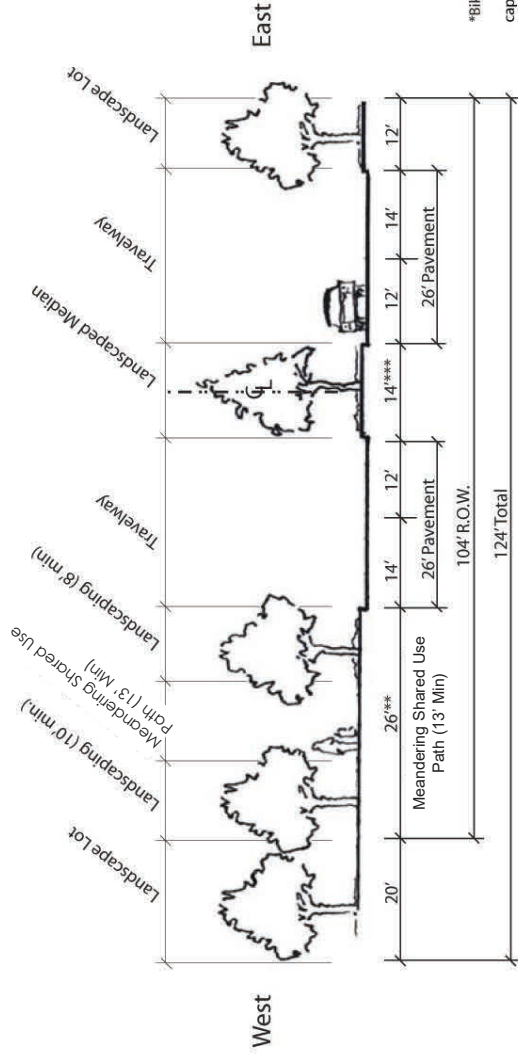


Figure 11D: ROADWAY SECTIONS E2 & F



E2 Mid-block street section
Major Arterial with Paseo
 Hellman Ave. from Pine Ave. to linear buffer
 (no on-street parking)

*Bike path (8') and sidewalk (5') may be separated.
 **Within the 26' landscaping and meandering sidewalk area, the sidewalk may meander; however, the minimums for each component (10', 13, and 8') must be maintained.
 ***Turn Lanes assumed as necessary in medians.

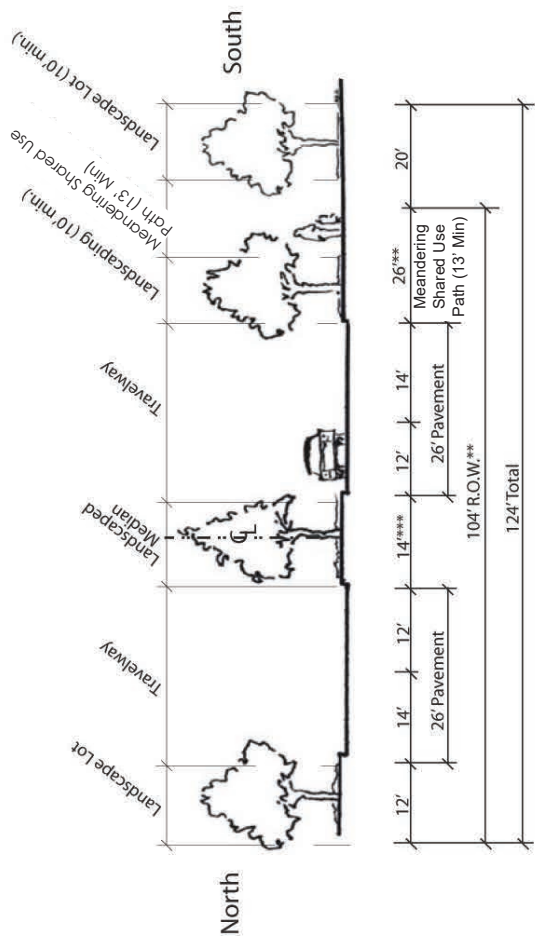


F Mid-block street section
Major Arterial with Paseo
 Hellman from Merrill to Remington

*Bike path (8') and sidewalk (5') may be separated.
 **Within the 26' landscaping and meandering sidewalk area, the sidewalk may meander; however, the minimums for each component (10', 13, and 8') must be maintained.
 ***Turn Lanes assumed as necessary in medians.

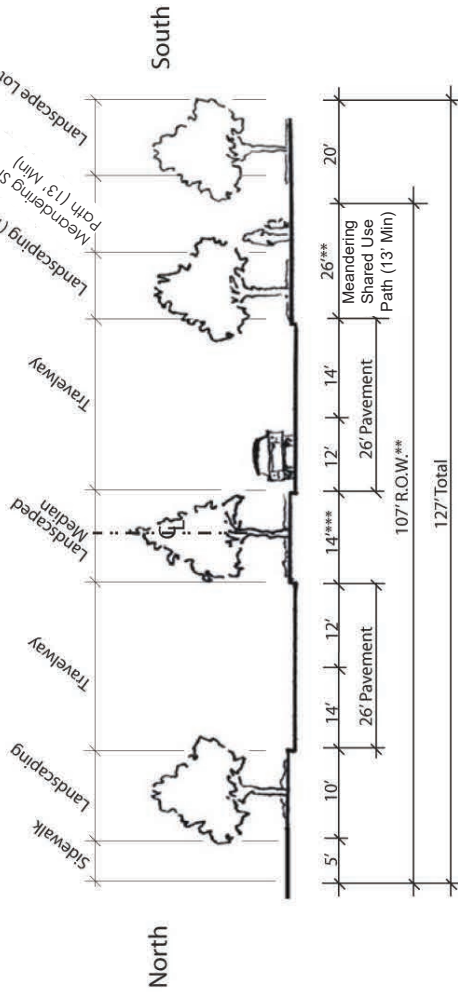


Figure 11E: ROADWAY SECTIONS G1 & G2



G1 Major Arterial with Paseo
 Mid-block street section
 Kimball Ave. between Euclid to Flight/Walker Avenues
 (no on-street parking)

*Bike path (8') and sidewalk (5') may be separated.
 **Within the 26' landscaping and meandering sidewalk area, the sidewalk may meander; however, the minimums for each component (10', 13, and 10') must be maintained.
 ***Turn Lanes assumed as necessary in medians.

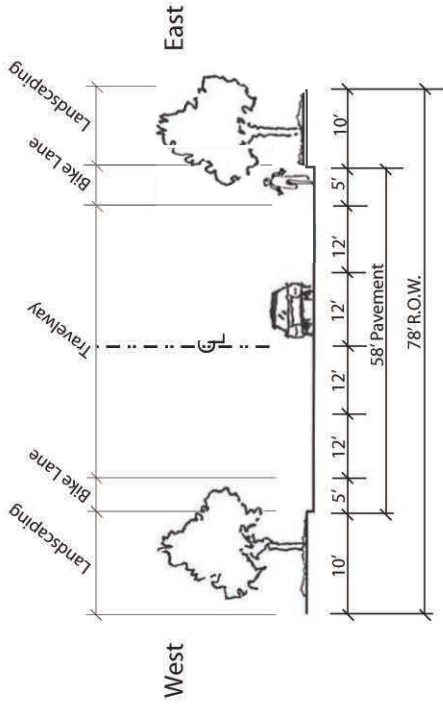


G2 Major Arterial with Paseo
 Mid-block street section
 Kimball Ave. between Flight/Walker to Hellman Avenues
 (no on-street parking)

*Bike path (8') and sidewalk (5') may be separated.
 **Within the 26' landscaping and meandering sidewalk area, the sidewalk may meander; however, the minimums for each component (10', 13, and 10') must be maintained.
 ***Turn Lanes assumed as necessary in medians.



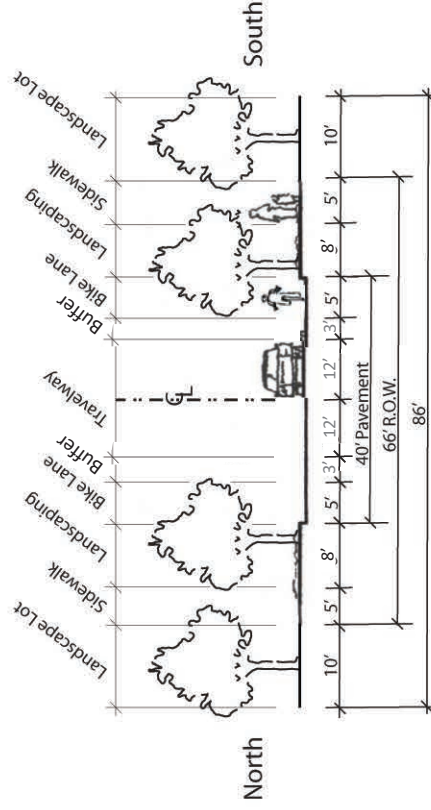
Figure 11F: ROADWAY SECTIONS H & I1



Mid-block street section

H Major Arterial without Paseo

Hellman Ave. south of linear buffer
(no on-street parking)



Mid-block cross section

I1 Local Collector, Typical

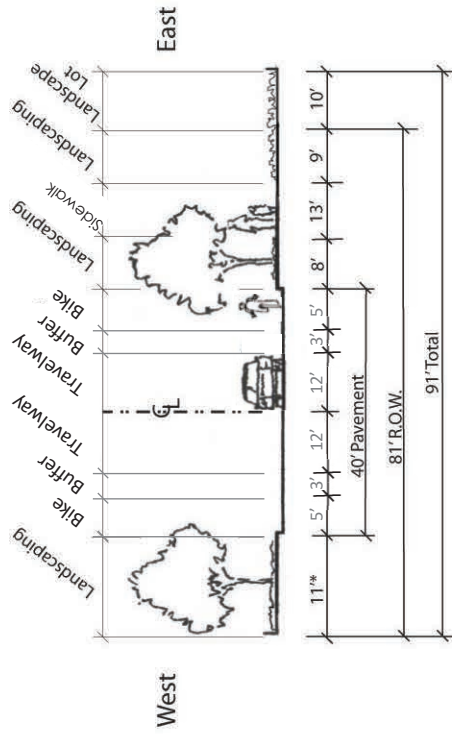
(with bike lane, no on-street parking)
Rincon Meadows between Kimball and Bickmore Avenues;
portions of Chino-Corona Road (East-West)
Class II Buffered Bike Lane



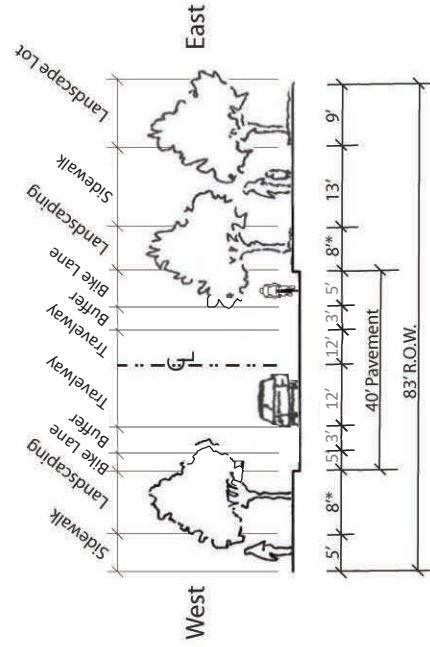
Not to Scale

Section V

Figure 11G: ROADWAY SECTIONS I2, J1 & J2

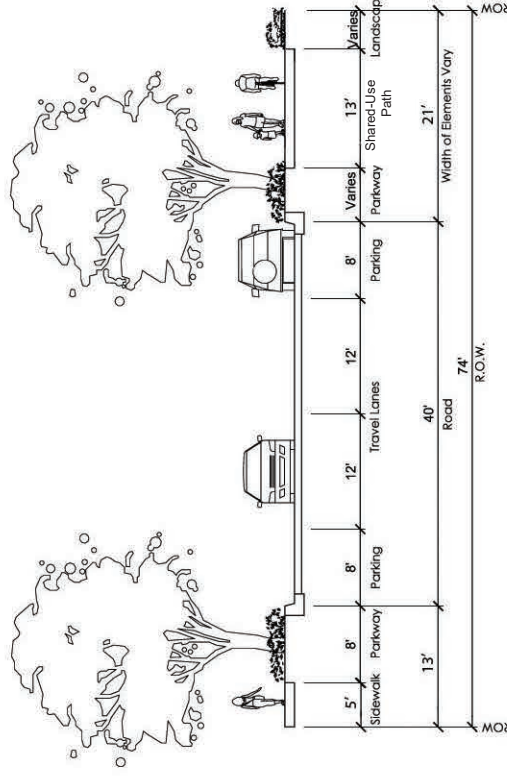


I2 Local Collector, Typical
Rincon Meadows between Bickmore and Pine Avenues
Class II Buffered Bike Lane



J2 Local Collector, with Paseo
(no on-street parking)
Cucamonga Avenue below Pine Avenue
Class II Buffered Bike Lane

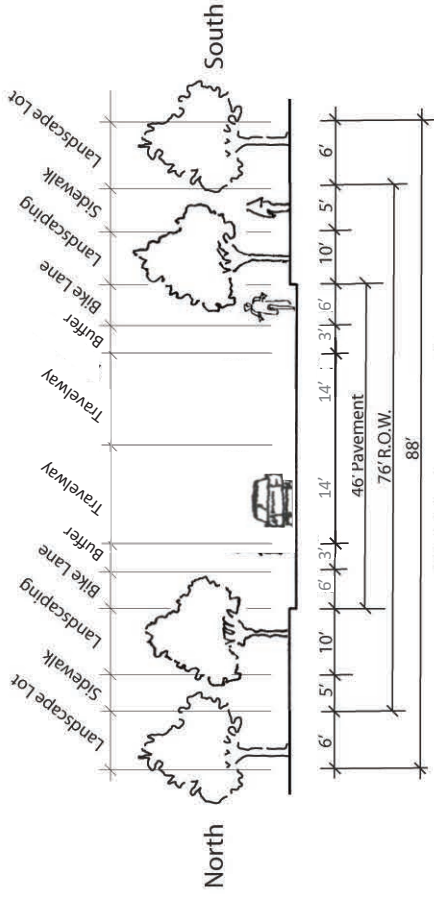
Loop street



J1 Local Collector (Inside Rancho Miramonte)



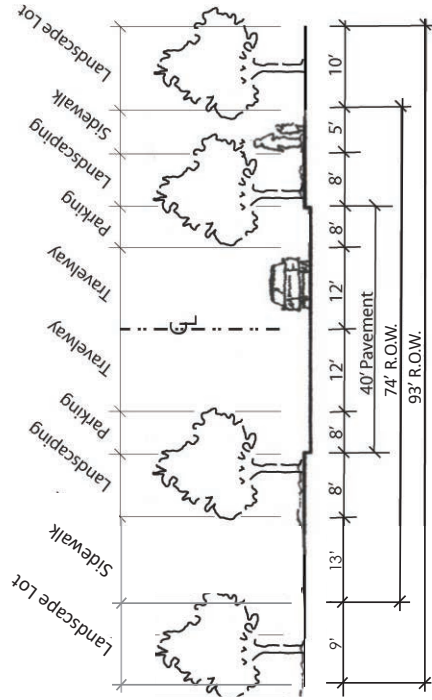
Figure 11H: ROADWAY SECTIONS K & L



Mid-block cross section

K Local Collector, with Transit

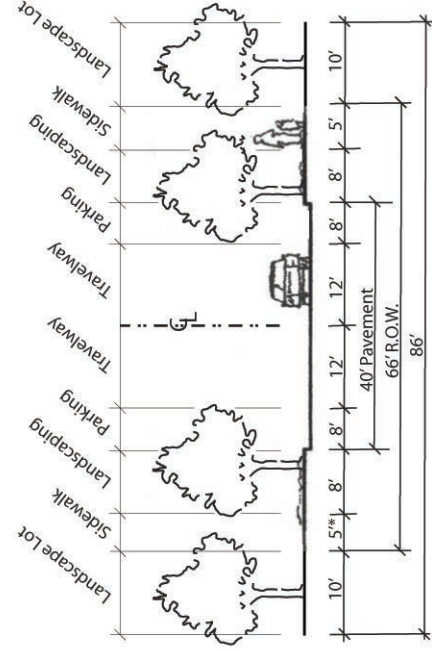
Bickmore Avenue between Mill Creek/Cucamonga to East Preserve Loop
Class II Buffered Bike Lane
High Priority Transit Route



Mid-block cross section

L1 Local Collector, Typical

(with parking)
Mill Creek/Cucamonga from Kimball to Sping Hill Street



Mid-block cross section

L2 Local Collector, Typical

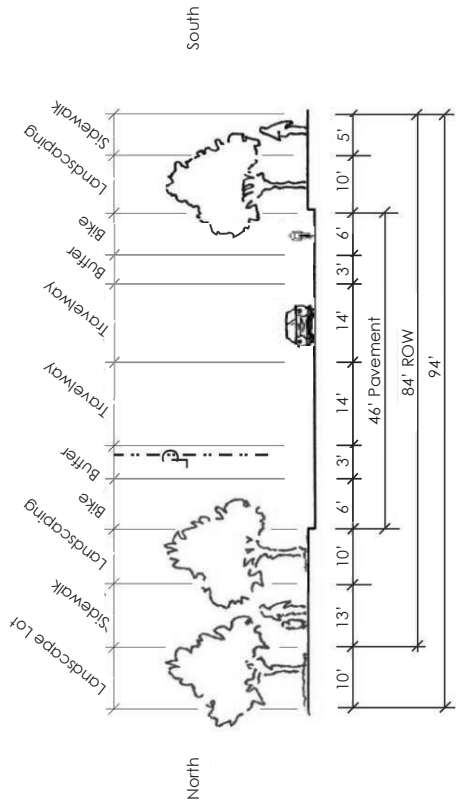
(with parking)
Mill Creek/Cucamonga from Sping Hill Street to Pine Avenues



Not to Scale

Section V

Figure 11: ROADWAY SECTIONS M1 & M2

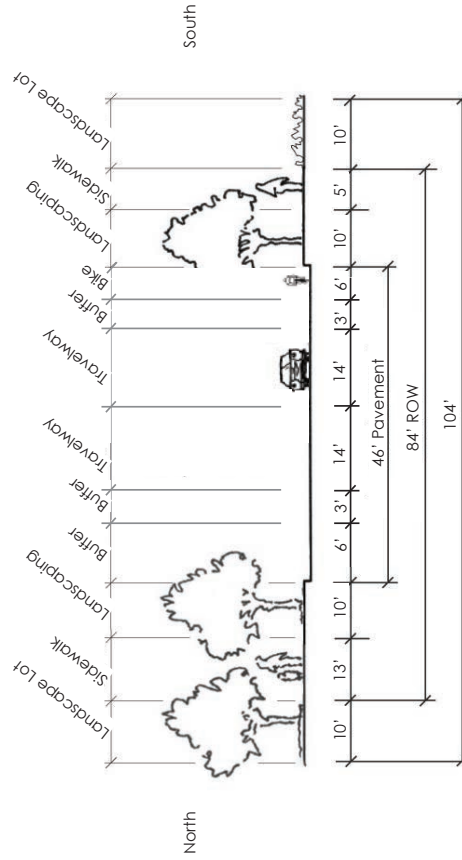


Mid-block street section

M1 Local Collector

Bickmore between Euclid to Mayhew Avenue/Quality Way
(no on-street parking)

High Priority Transit Route
Class II Buffered Bike Lane



Mid-block street section

M2 Local Collector

Bickmore between Mayhew to Rincon Meadows
(no on-street parking)

High Priority Transit Route
Class II Buffered Bike Lane



Not to Scale

Section V

Figure 11J: ROADWAY SECTIONS N, O, & O2

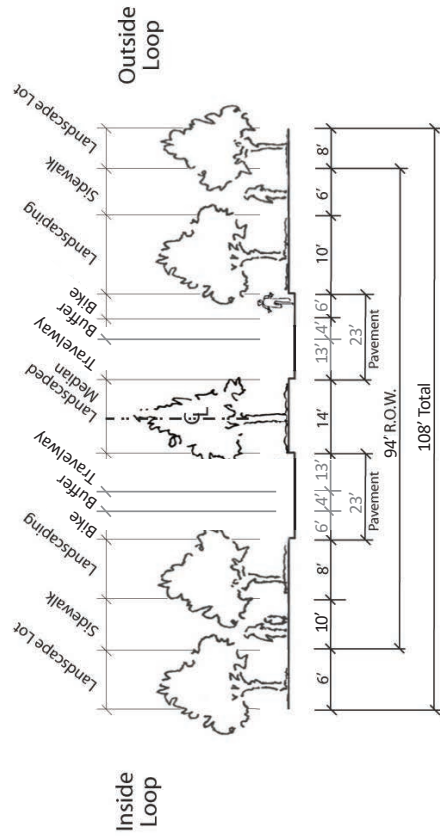
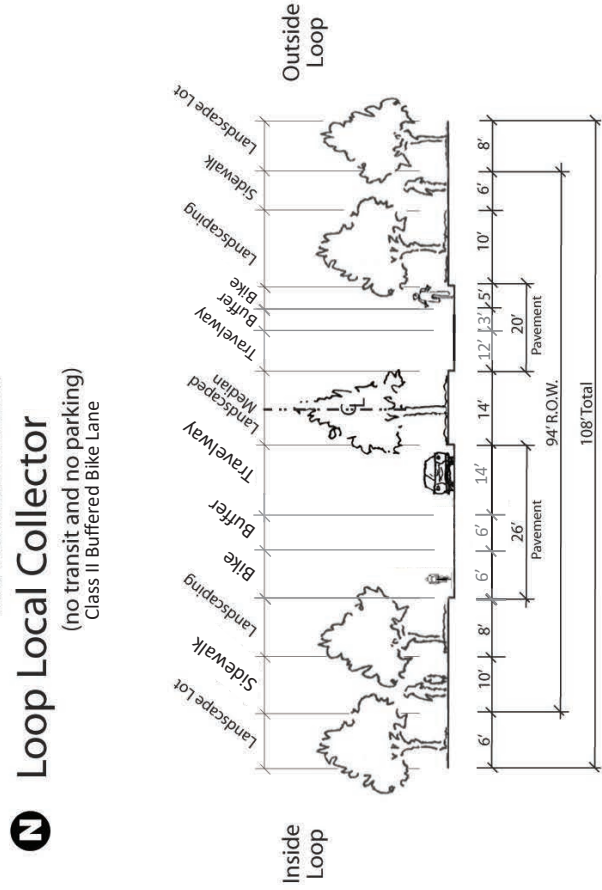
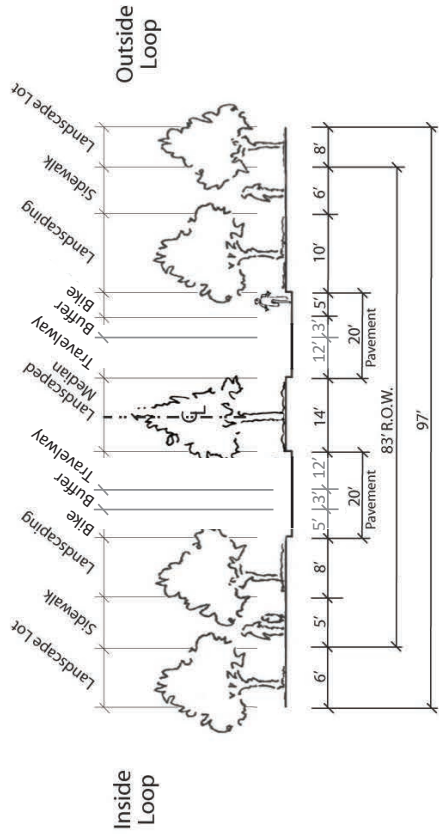
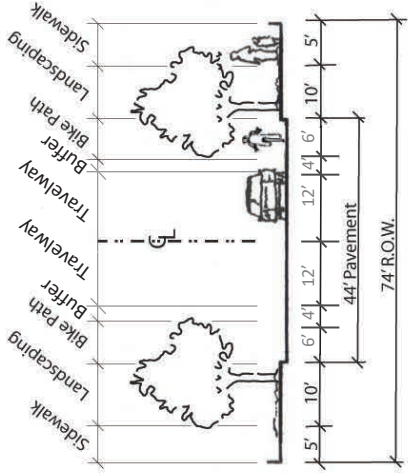


Figure 11K: ROADWAY SECTIONS P & Q



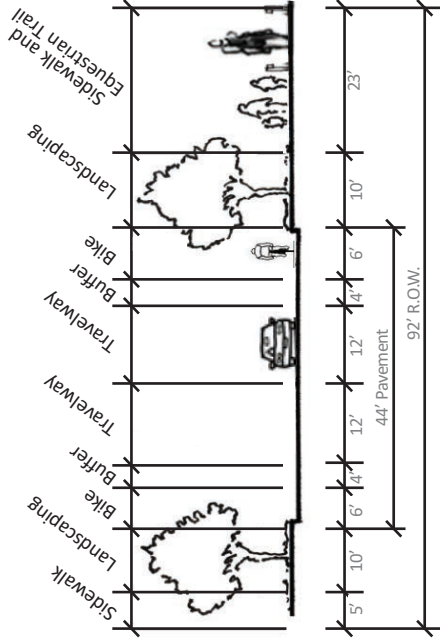
Mid-block cross section

P Commercial Collector, Typical

(no on-street parking)

Flight/Walker Avenue North of Kimball

Class II On-Street Buffered Bike Lane



Mid-block street section

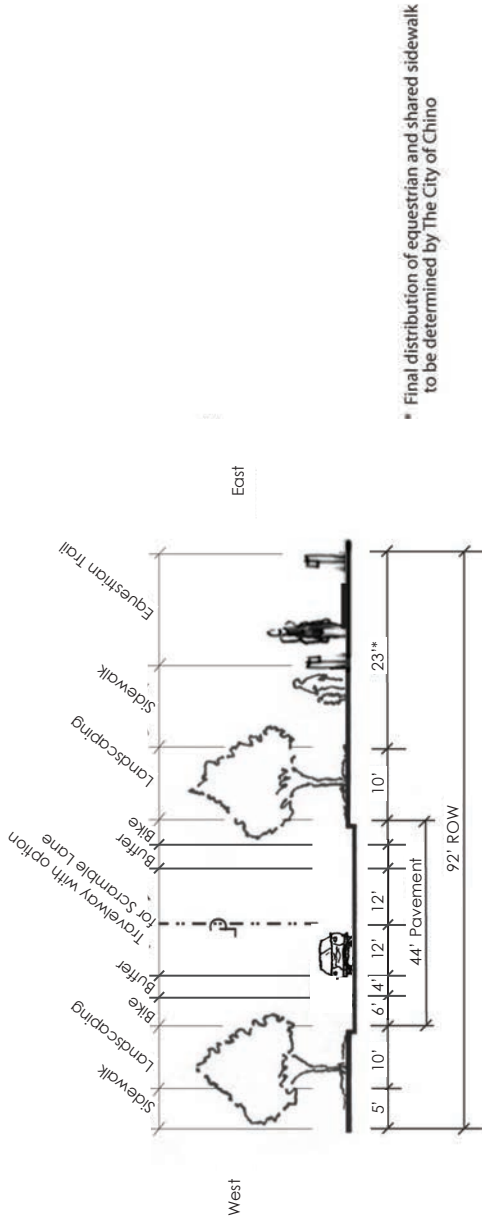
Q Commercial Collector

Mayhew south of Bickmore
(no on-street parking)

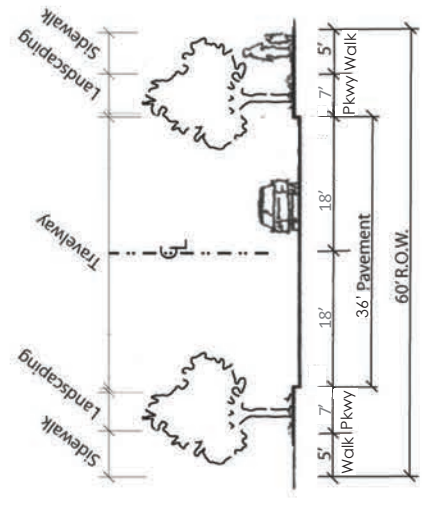
Class II On-Street Buffered Bike Lane



Figure 11L: ROADWAY SECTIONS R & S



R Mid-block street section
Commercial Collector with Paseo
 Quality Way north of Bickmore
 (no on-street parking)
 Class II Buffered Bike Lane



S Mid-block street section
Typical Local Residential
 General Access within a Tract
 (with on-street parking)



Not to Scale

Section V

Figure 11N: ROADWAY SECTIONS T3 & T4

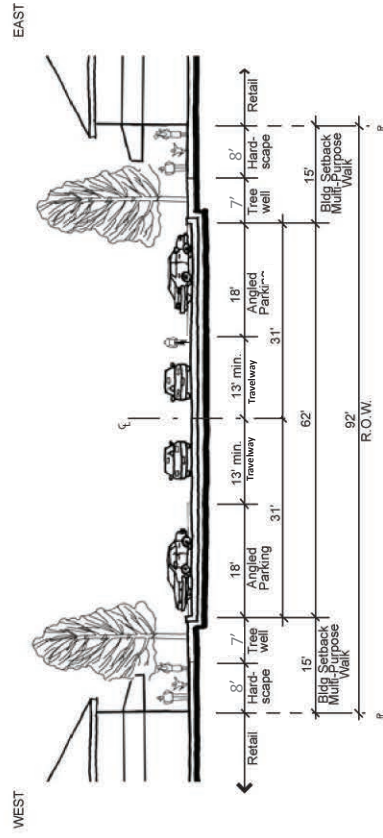
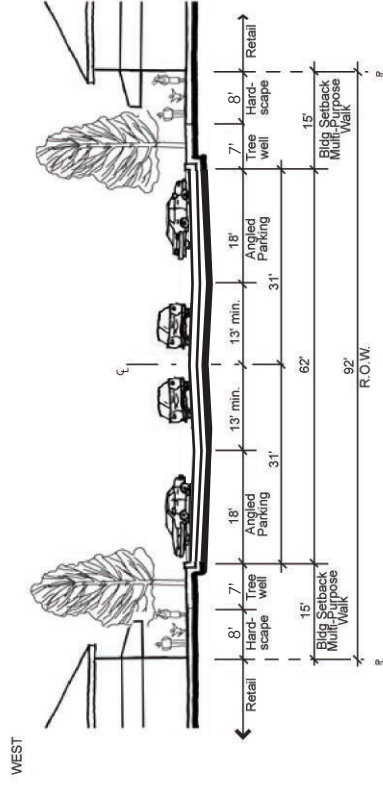
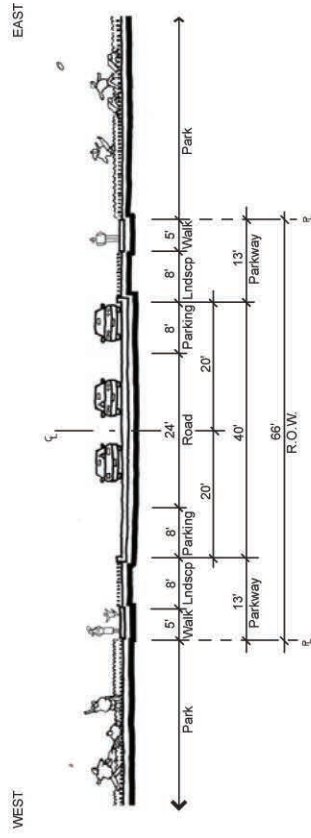
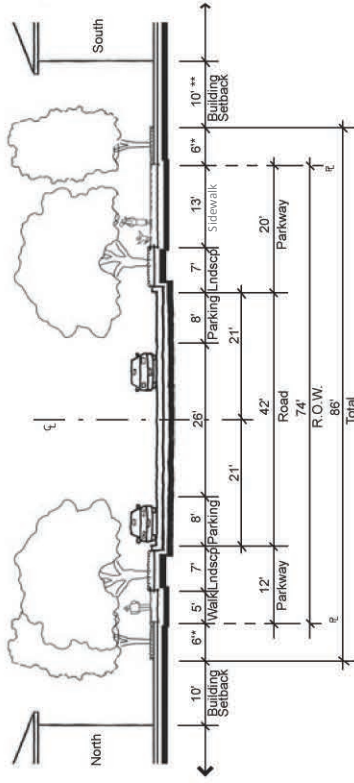
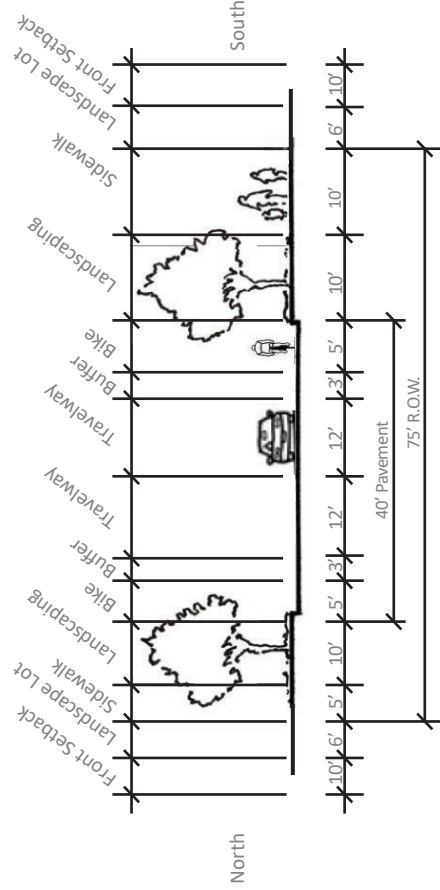


Figure 11P: ROADWAY SECTIONS V & W



*No Landscape Lots along Schools, Parks, and Community Center Areas (Typ.)

V Market Street
Between East and West Loop Roads
(On-street Parking)
Class III Bike Route



W Major Arterial with Paseo
Legacy Park within the Loop
Class II Buffered Bike Lane
Mid-block street section



Not to Scale

Section V

Figure 11Q: ROADWAY SECTIONS X & Y

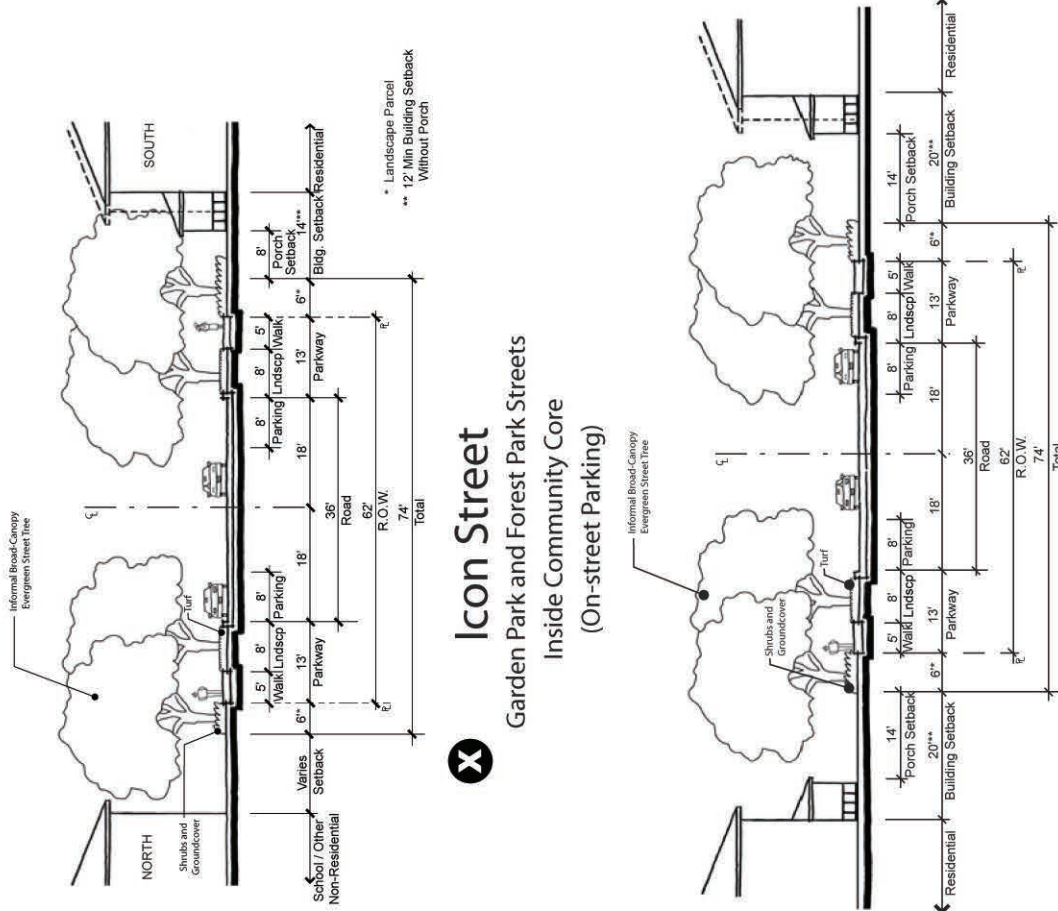


Figure 11R: ROADWAY SECTIONS Z, AA, & ALLEY

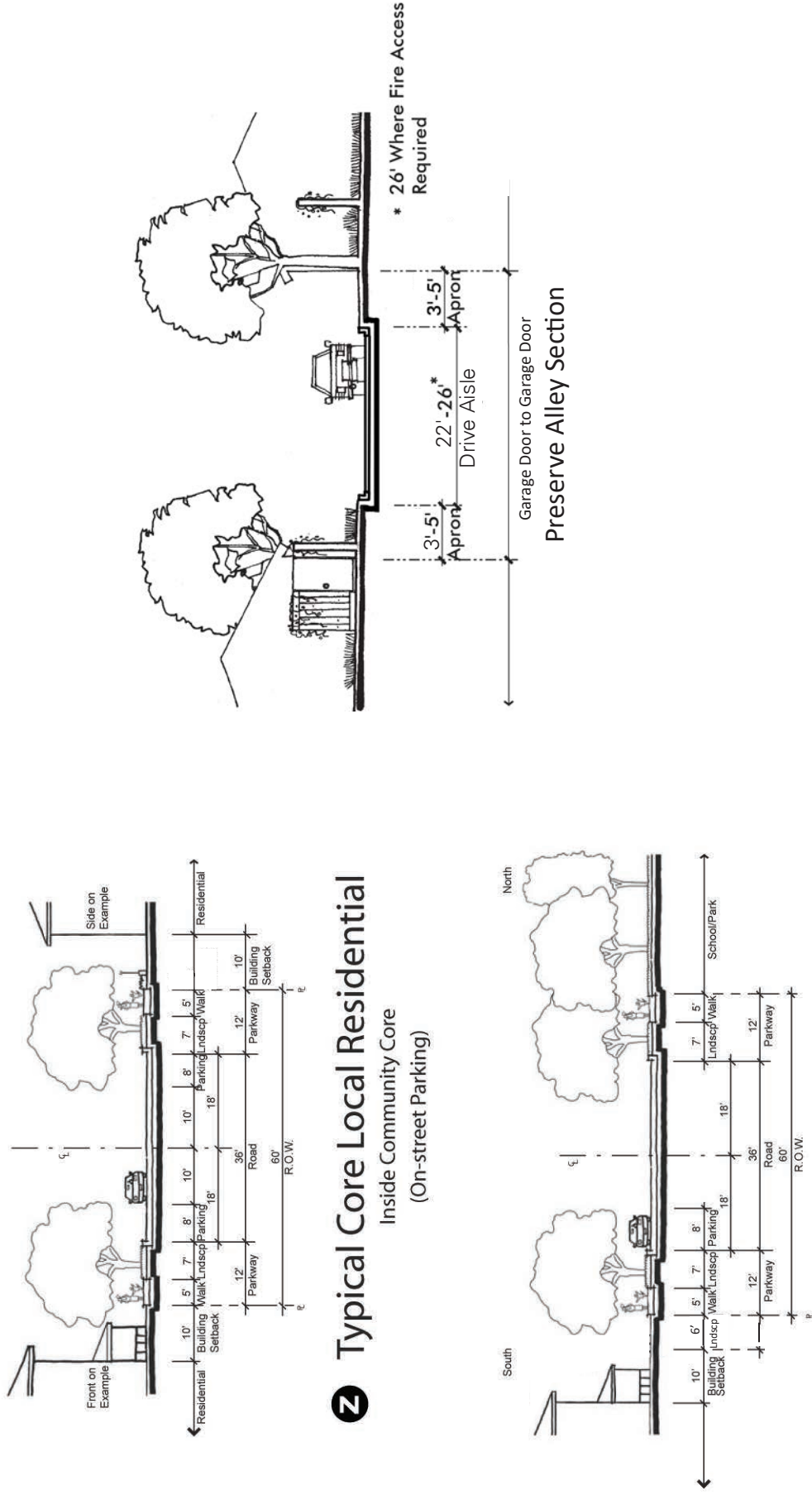
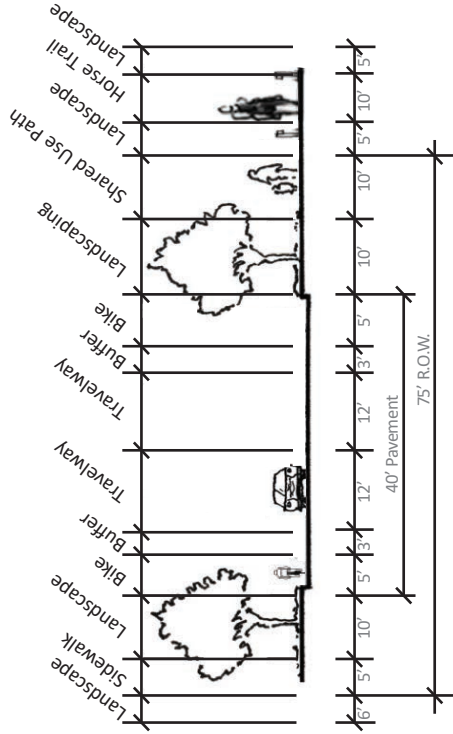
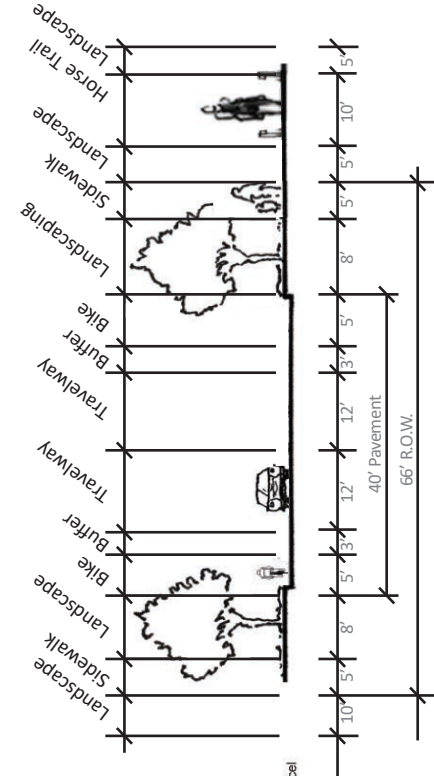


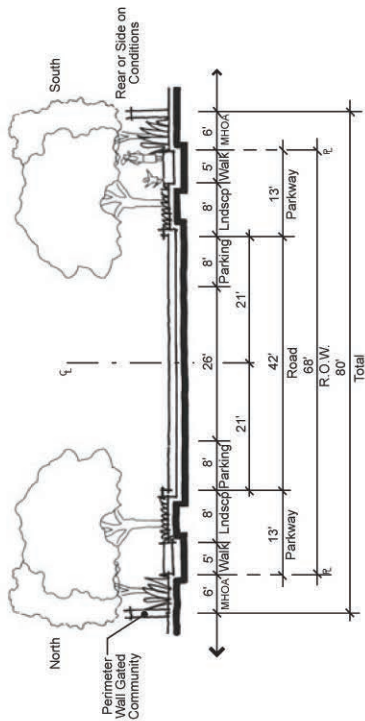
FIGURE 11S: ROADWAY SECTIONS BB, CC1, D3 & D4



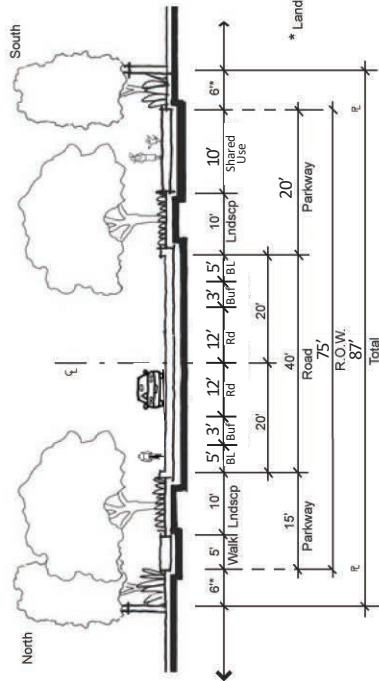
D3 Legacy Park Street with Equestrian Trail
Discovery Avenue to Hellman Avenue
Class II Buffered Bike Lane



D4 Chino-Corona Road with Equestrian Trail
From Mill Creek Wetlands Parking Lot Driveway to Legacy Park Street
Class II Buffered Bike Lane



BB Market Street & Discovery
Park Avenue
Outside Loop Road
(On-street Parking)
Class III Bike Route



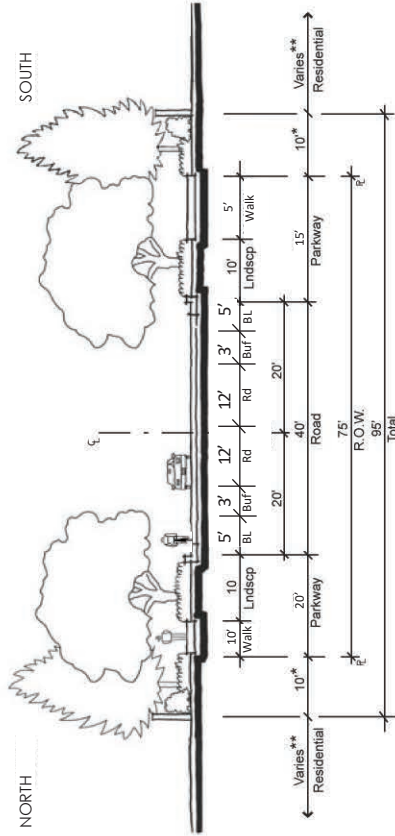
CC Legacy Park Street
Outside Loop Road
Cucamonga Avenue to West Preserve Loop & East
Preserve Loop to Discovery Park Avenue
(No On-street Parking)
Class II Buffered Bike Lane



Not to Scale

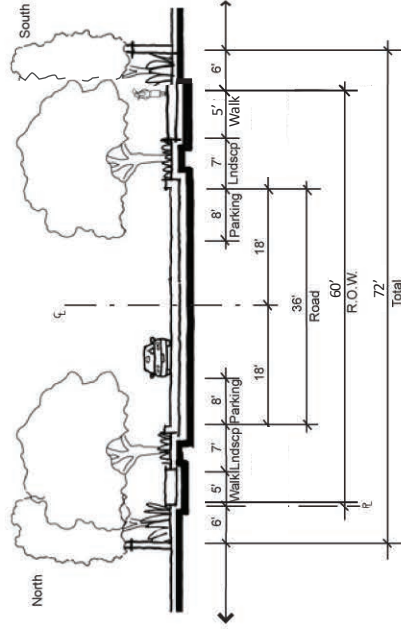
Section V

Figure 11T: ROADWAY SECTIONS DD, EE & II

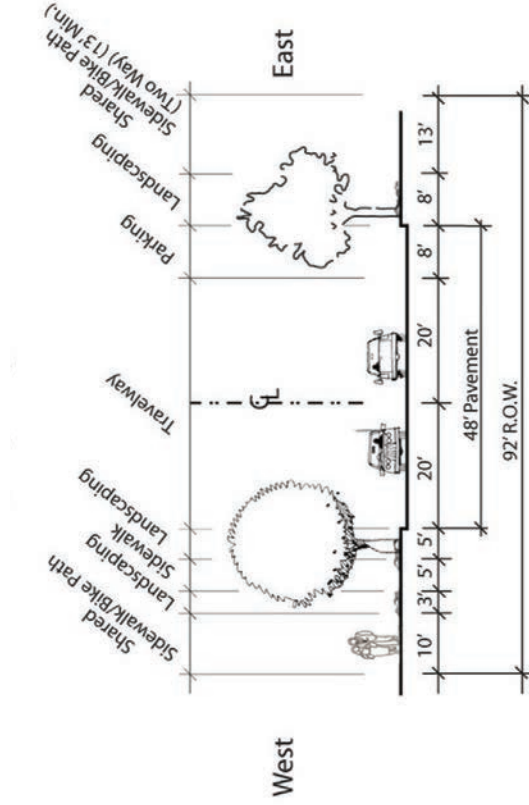


DD Local Collector
Bickmore Avenue at Hellman Avenue
(No On-street Parking)
Class II Buffered Bike Lane

* Landscape Parcel
** See Site Specific Criteria



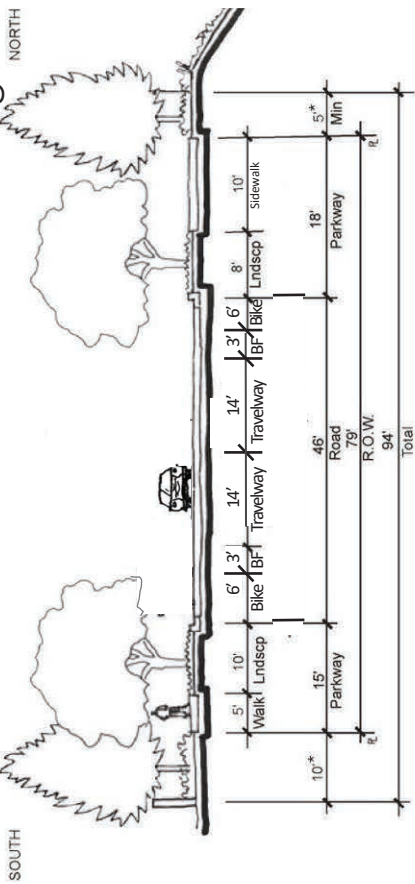
EE Local Residential with Lettered Lots
Outside Core
(On-street Parking)



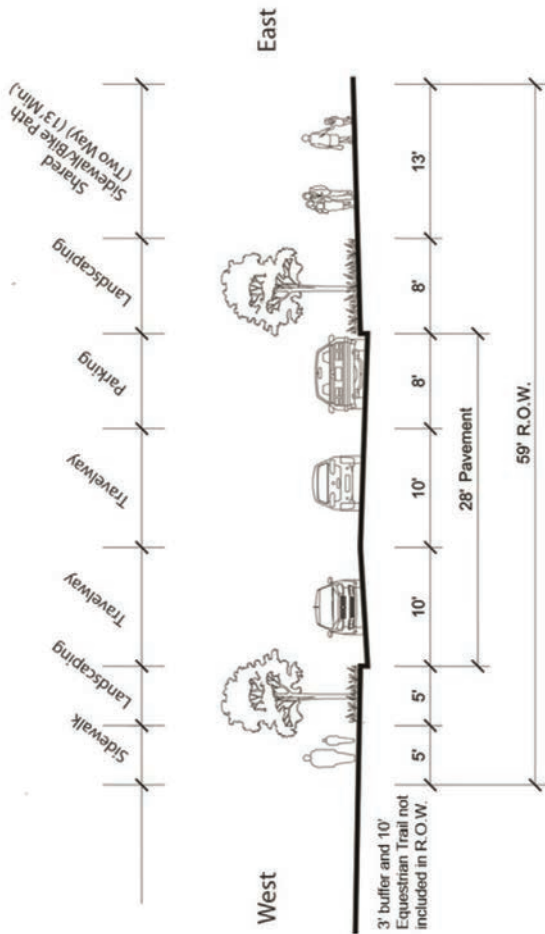
Mid block cross section

II Cucamonga Ave from Chino-Corona
Road to Rancho Miramonte Entry

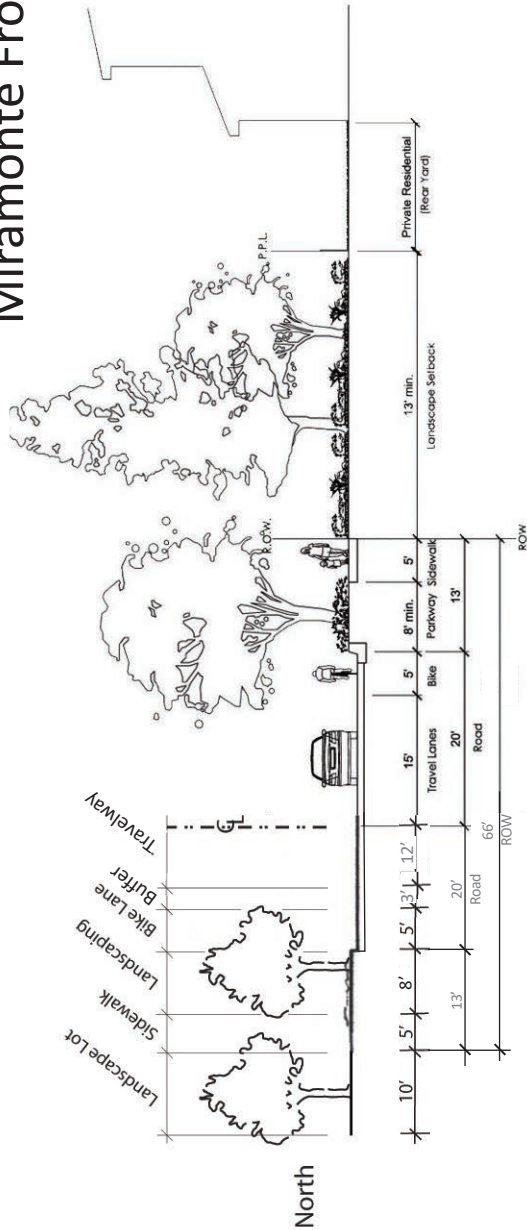
Figure 11U: ROADWAY SECTIONS FF, HH, & GG



FF Local Collector with Paseo
 Bickmore Avenue from Rincon Meadows to Mill Creek Avenue
 (Transit; No On-street Parking)
 High Priority Transit Route
 Class II Buffered Bike Lane



HH Cucamonga Ave. Along Rancho Miramonte Frontage (with parking)



GG Chino Corona Road Along Rancho Miramonte Frontage



Not to Scale

Section V

DEVELOPMENT PLAN

TABLE 6 - ROADWAY SEGMENT DESCRIPTION

Roadway Segment (Roadway Cross Section Reference ¹⁾)	Roadway Classification	General Roadway Configuration ²
Euclid Avenue between Kimball and Pine Avenues (Roadway Section A)	Major Arterial (Expressway)	206' ROW, with 8 travel lanes, raised median, shared-use path, sidewalk, and paseo
Euclid Avenue south of Pine Avenue (Roadway Section B)	Major Arterial (Expressway)	200' ROW, with 6 travel lanes, striped median, shared-use path, and paseo
Pine Avenue between Euclid and Hellman Avenues (Roadway Sections C1 and C2)	Major Arterial with Paseo	136' ROW, with 6 travel lanes, raised median, shared-use paths, and paseo
Pine Avenue between Euclid and Hellman Avenues (Roadway Sections C1 and C2)	Major Arterial with Paseo	136' ROW, with 6 travel lanes, raised median, shared-use paths, and paseo
Hellman Avenue between SCE easement and Remington Avenue (Roadway Section D)	Major Arterial with Paseo	123' ROW, with 4 travel lanes, raised median, shared-use path, equestrian trail, and paseo
Hellman Avenue between SCE easement and Linear Buffer (Roadway Sections E1 and E2)	Major Arterial with Paseo	113' ROW, with 4 travel lanes, raised median, shared-use path, and paseo
Hellman Avenue between Merrill and Remington Avenues (Roadway Section F)	Major Arterial with Paseo	104' ROW, with 4 travel lanes, raised median, shared-use path, and paseo
Kimball Avenue between Euclid and Hellman Avenues (Roadway Section G1, and G2)	Major Arterial with Paseo	104'-107' ROW, with 4 travel lanes, raised median, shared-use path, and paseo
Hellman Avenue south of the Linear Buffer (Roadway Section H)	Major Arterial without Paseo	78' ROW, with 4 travel lanes and on-street bicycle lanes
Chino-Corona Road east-west; Rincon Meadows Avenue north of Pine Avenue to the AR designation; Bickmore Avenue between East Preserve Loop and just west of Hellman Avenue and Flight Avenue between Kimball Avenue and East Preserve Loop (Roadway Sections I1, I2 and L)	Local Collector, Typical	66'-86' ROW, with 2 travel lanes, sidewalks, and with or without bicycle lanes and with or without parking
Chino-Corona Road north-south between Pine Avenue and Chino-Corona Road east-west, and inside Rancho Miramonte (Roadway Sections J1 and J2)	Local Collector with Paseo	ROW Varies with 2 travel lanes, shared-use path, sidewalk, and paseo
Bickmore Avenue between Mill Creek and East Preserve Loop (Roadway Section K)	Local Collector with Transit	76' ROW, with 2 travel lanes, on-street bicycle lanes, transit lane, and sidewalks
Bickmore between Euclid and Bon View Rincon Meadows Avenues (Roadway Section M1 and M2)	Local Collector with Transit and Paseo	84' ROW, with 2 travel lanes, striped median, shared-use path, sidewalk, transit lane, and paseo
East and West Preserve Loop south of Legacy Park Street; West Preserve Loop north of Pine Avenue; and East Preserve Loop north of Bickmore Avenue (Roadway Section N)	Loop Local Collector with Paseo	83' ROW, with 2 travel lanes, raised median, on-street bicycle lanes, sidewalks, and paseo
West Preserve Loop between Legacy Park Street and Pine Avenue and East Preserve Loop between Legacy Park Street and Bickmore Avenue (Roadway Section O)	Loop Local Collector with Paseo and Transit	94' ROW, with 2 travel lanes, raised median, on-street bicycle lanes (One Side), sidewalks, transit lane, and paseo
Remington Avenue between Flight Avenue and Carpenter Street; Carpenter Street between Merrill Avenue and Remington Avenue; Flight Avenue between Merrill Avenue and Kimball Avenue; Market Street between East Preserve Loop and West Preserve Loop; and Rincon Meadows Avenue between Kimball Avenue and the AR designation (Roadway Section P)	Commercial Collector, Typical	74' ROW, with 2 travel lanes, on-street bicycle lanes, and sidewalks
Mayhew Avenue between Bickmore Avenue and Pine Avenue (Roadway Section Q)	Commercial Collector with Paseo and Transit	92' ROW, with 2 travel lanes, shared-use path, sidewalk, transit lane, and paseo, and equestrian trail

The Preserve Specific Plan

DEVELOPMENT PLAN

TABLE 6 - ROADWAY SEGMENT DESCRIPTION

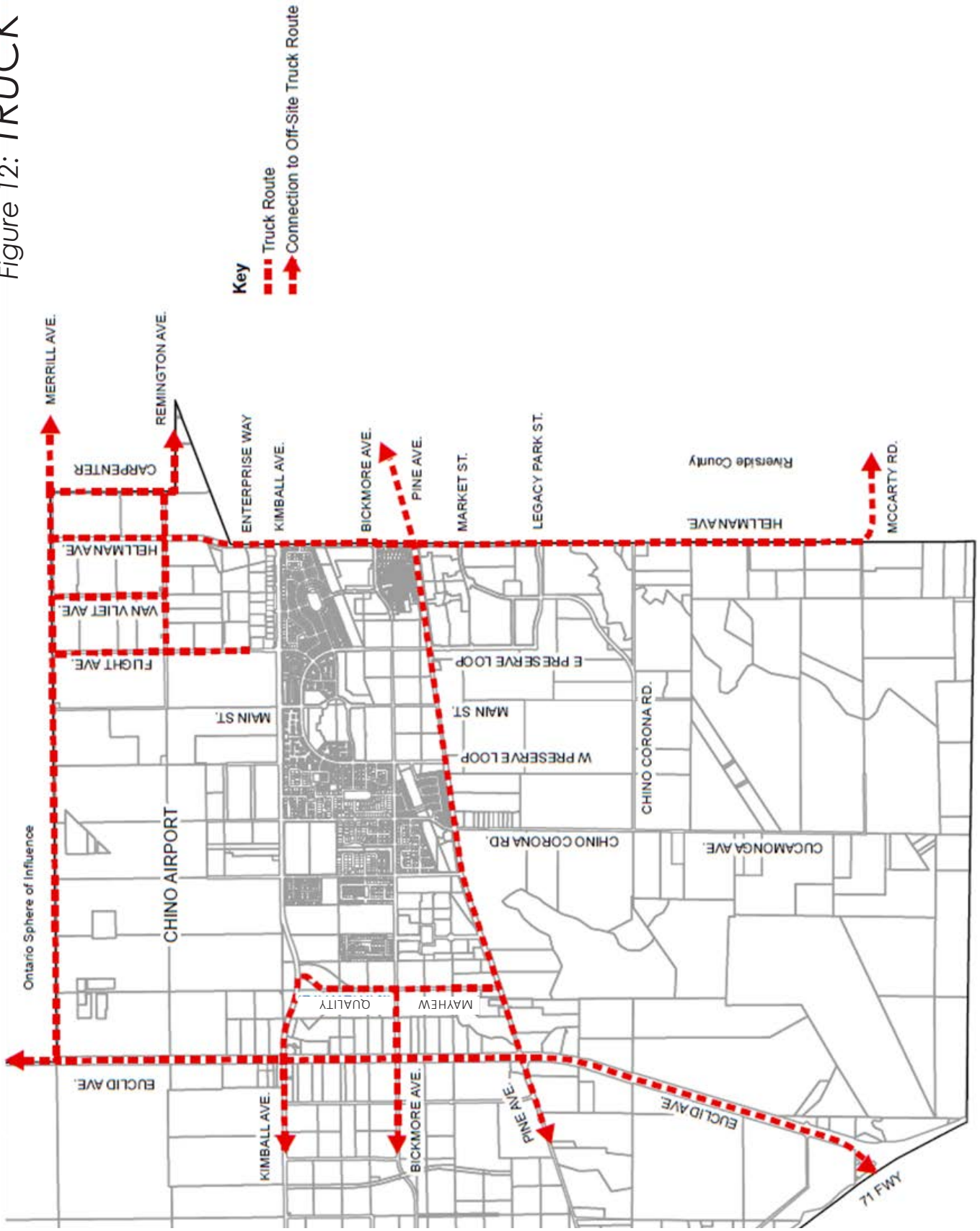
Roadway Segment (Roadway Cross Section Reference ¹)	Roadway Classification	General Roadway Configuration ²
Quality Way between Bickmore Avenue and Kimball Avenue (Roadway Section R)	Commercial Collector with Paseo	92' ROW with 2 travel lanes, shared-use path, sidewalk, and paseo and equestrian trail
Main Street between the northern and southern ends of the Loop (Roadway Section T1 through T6)	Main Street Collector	ROW Varies
Market Street between East and West Preserve Loop; Adjacent to commercial (Roadway Section U)	Local Collector with Paseo	77' ROW with 2 travel lanes, shared-use path, sidewalk with tree wells, and parking
Market Street between East and West Preserve Loop; Adjacent to residential (Roadway Section V)	Local Collector with Paseo	74' ROW with 2 travel lanes, shared-use path, sidewalk, and parking
Legacy Park Street between East and West Preserve Loop (Roadway Section W)	Local Collector with Paseo and Transit	84' ROW with 2 travel lanes, scramble lane, shared-use path, sidewalk, and transit lane
Garden Park and Forest Park Streets between East and West Preserve Loop (Roadway Section X)	Local Residential	62' ROW with 2 travel lanes, sidewalk, and parking
Garden Park Street between West Preserve Loop and Garden Park; Forest Park Street between East Preserve Loop and Forest Park (Roadway Section Y)	Local Residential	62' ROW with 2 travel lanes, sidewalk, and parking
Local Residential Streets between East and West Preserve Loop (Roadway Section Z)	Local Residential	60' ROW with 2 travel lanes, sidewalk, and parking
Academy Street between East Preserve Loop and Main Street (Roadway Section AA)	Local Residential	60' ROW with 2 travel lanes, sidewalk, and parking (One Side)
Market Street between East Preserve Loop and Hellman Avenue (Roadway Section BB)	Local Collector	68' ROW with 2 travel lanes, sidewalk, and parking
Legacy Park Street between Chino Corona Road and West Preserve Loop and East, Legacy Park Street from Chino-Corona Rd to Hellman, Preserve and Hellman Avenue (Roadway Section CC1, CC2)	Local Collector with Paseo	78'-88' ROW with 2 travel lanes, scramble lane, shared-use path or equestrian path, and sidewalk
Bickmore Avenue at Hellman Avenue (Roadway Section DD)	Local Collector with Paseo	75' ROW with 2 travel lanes, scramble lane, shared-use path, and sidewalk
Westgate Street between West Preserve Loop and Chino Corona Road (Roadway Section EE)	Local Residential with Paseo	68' ROW with 2 travel lanes, shared-use path, sidewalk, parking
Bickmore Avenue between Mill Creek and Rincon Meadows Avenues (Roadway Section FF)		79' ROW with 2 travel lanes, scramble lane, shared-use path, and sidewalk
For Rancho Miramonte Roadway Segments see Figure 10B, 11F 11G, and 11L. Entry Streets and internal collector (Roadway Section J)	Rancho Miramonte Residential Entry Streets and Loop Connector	74' ROW with 2 travel lanes, parking, sidewalk, and Class I bike shared-use path.
Cucamonga Avenue south of entry to Rancho Miramonte (Roadway Section HH)	Residential Collector with Paseo and Equestrian Trail	59' ROW with 2 travel lanes, parking on one side, and equestrian trail outside ROW.

¹ See Figures 11A through 11X, Roadway Sections, for the relative cross section.

² Typical roadway configurations are provided in this table; however, variations in design may occur for turn lanes or other concepts as described in the Specific Plan

The Preserve Specific Plan

Figure 12: TRUCK ROUTES



Truck Routes

As shown in Figure 12, Truck Routes, The Preserve's mobility system accommodates truck trips on the roadways where the most truck trips occur. That is, on the regional arterials within and adjacent to the light industrial, airport related and regional commercial land uses. In addition, the truck routes are located so as to minimize impacts on noise sensitive uses, such as residences and schools.

Transit Mobility

The Preserve accommodates an innovative transit system. The transit system is intended to provide a viable option to the motor vehicle by providing continuous, convenient service to the area. The concept for the transit system is a two-tiered structure consisting of the local, on-site transit service and the regional bus service.

The on-site transit service is envisioned as a one-way (clockwise), continuous loop on dedicated or prioritized travel lanes. A conceptual transit route is depicted in Figure 13, High Priority Transit Corridor. The High Priority Transit Corridor is assumed in the Circulation Plan and uses technology to prioritize transit movement along the High Priority Transit Corridor.

The transit system is envisioned to provide continuous service with the goal of approximately 10-minute headways at buildout. The transit stops are intended to serve major features, such as the Community Core, and areas of concentrated residential uses. The stops are spaced to serve an approximate walking distance of a quarter mile and help maintain the 10-minute headway. The transit stops are also intended to serve as connection points with regional transit systems.

At this point, the locations of the transit stops are conceptual. The exact location will be determined when adjacent development plans are submitted.

Bicycle Mobility

The bicycle is another viable mobility option in The Preserve. As shown in Figure 14, Bicycle Plan, the bicycle system is connected with major features of The Preserve and with the regional bicycle system. The bicycle system within The Preserve provides facilities for a variety of use types and connects the entire community with alternative active mode of transportation. The bicycle system is composed of off-street (Class I) shared-use paths on primary corridors, on-street (Class II) and and shared (Class III) routes on collector style roadways. The shared-use paths, built into the Community Paseo and Open Space System, are described in further detail below.

The standards for the bikeway system in The Preserve are based on those found in the Circulation Element of City of Chino General Plan.

Section V DEVELOPMENT PLAN

Pedestrian Mobility

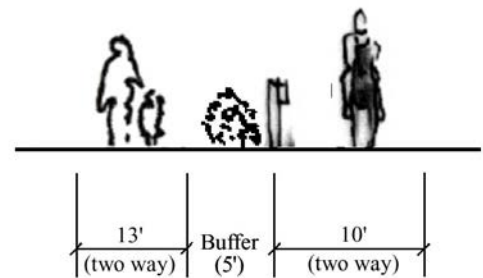
Walkability within The Preserve is an integral part of the mobility plan. The Preserve shall maintain full access and connectivity of pedestrian routes throughout the area. Sidewalks, multi-use paths and crosswalks with curb ramps allow pedestrians to maneuver through The Preserve efficiently and equitably. Greater walkability is provided throughout The Preserve with occasional wide sidewalks, the Community Paseo system and Open Space System.

The standards for accessibility are found in the City of Chino's Policy on Accessible Pedestrian Facilities.

Equestrian System

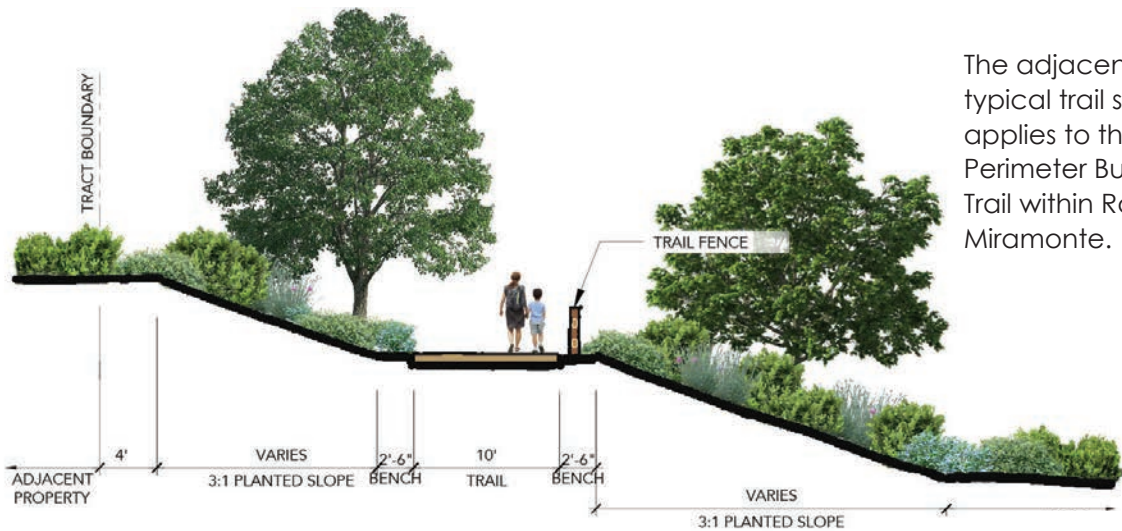
The Preserve accommodates equestrians with an extensive system of trails. As shown in Figure 15, Equestrian Plan, the equestrian system connects the Multi-Purpose Open Space Feature to the south with the rest of the community. Equestrian trail links to the region are provided to Chino Hills State Park to the southwest, the planned Crest-to-Coast Trail to the South, and a trail planned by the County along the Cucamonga Creek Channel to the east.

Portions of the Community Paseo and Open Space System incorporate equestrian trails. As shown on Figure 15, the equestrian trails are located adjacent to open space areas of The Preserve. The trails extend from the Estate Residential areas of The Preserve along Cucamonga Avenue south from Chino-Corona Road. The trails are also included in the Urban Fringe Buffer Zone within Rancho Miramonte as is traversing the southern boundary of the community and extending to the east along the SCE easement.



Combined Bicycle, Hiking & Equestrian Trail

The adjacent typical trail system shall apply to the Community Paseo and Open Space System.

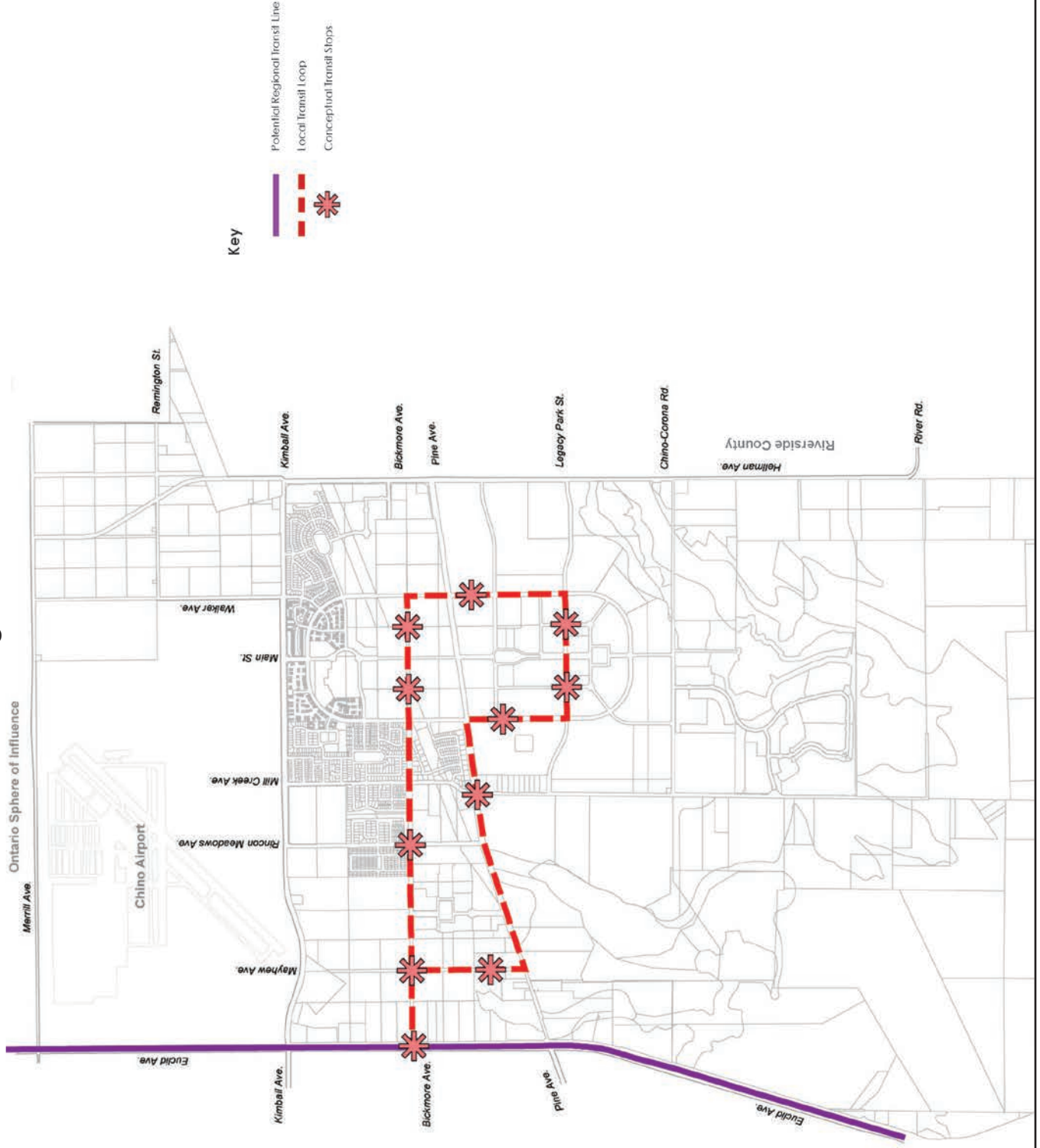


The adjacent typical trail section applies to the Perimeter Buffer Trail within Rancho Miramonte.

Rancho Miramonte Perimeter Buffer Trail

The Preserve Specific Plan

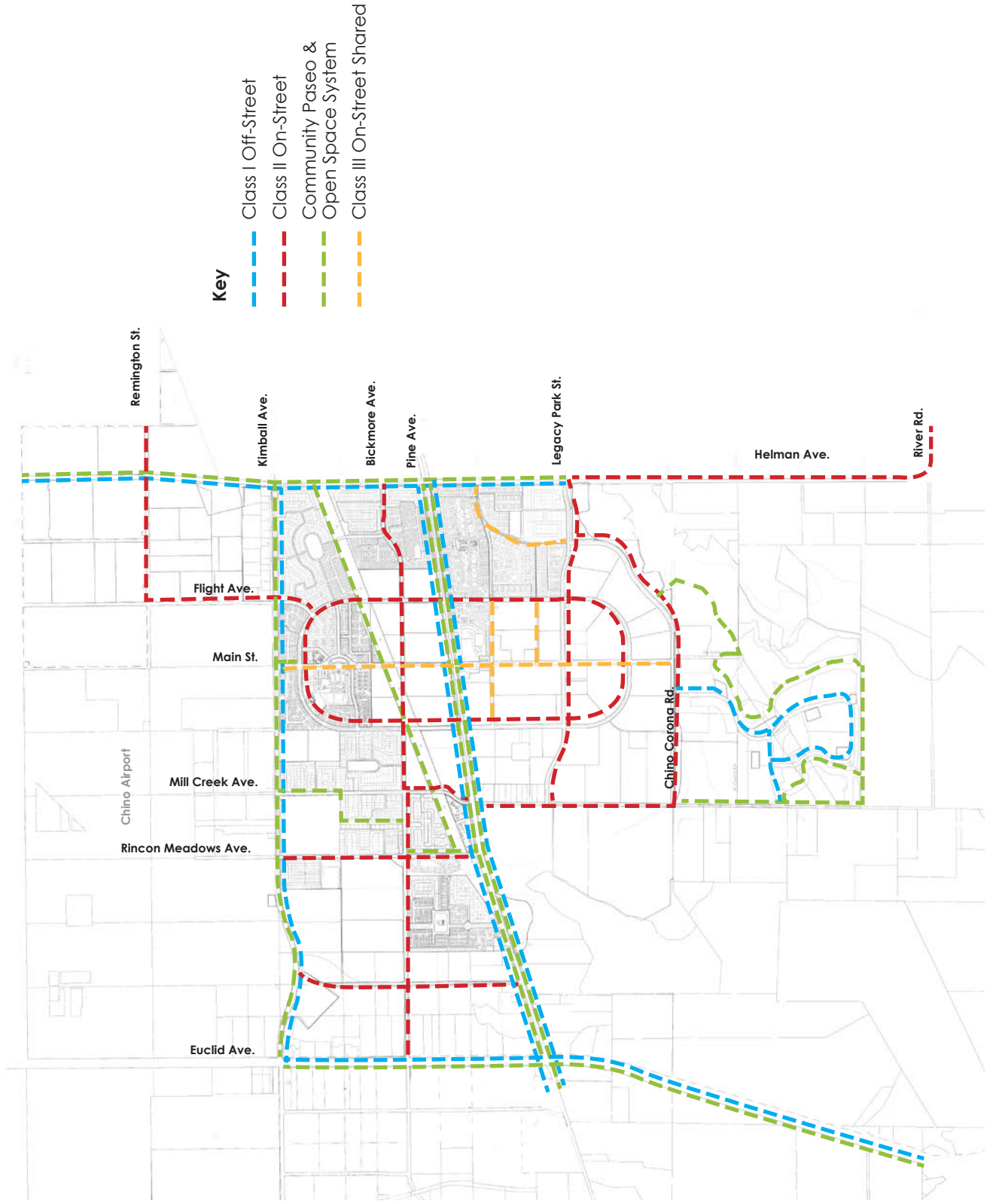
Figure 13: HIGH PRIORITY TRANSIT CORRIDOR



Not to Scale

Section V

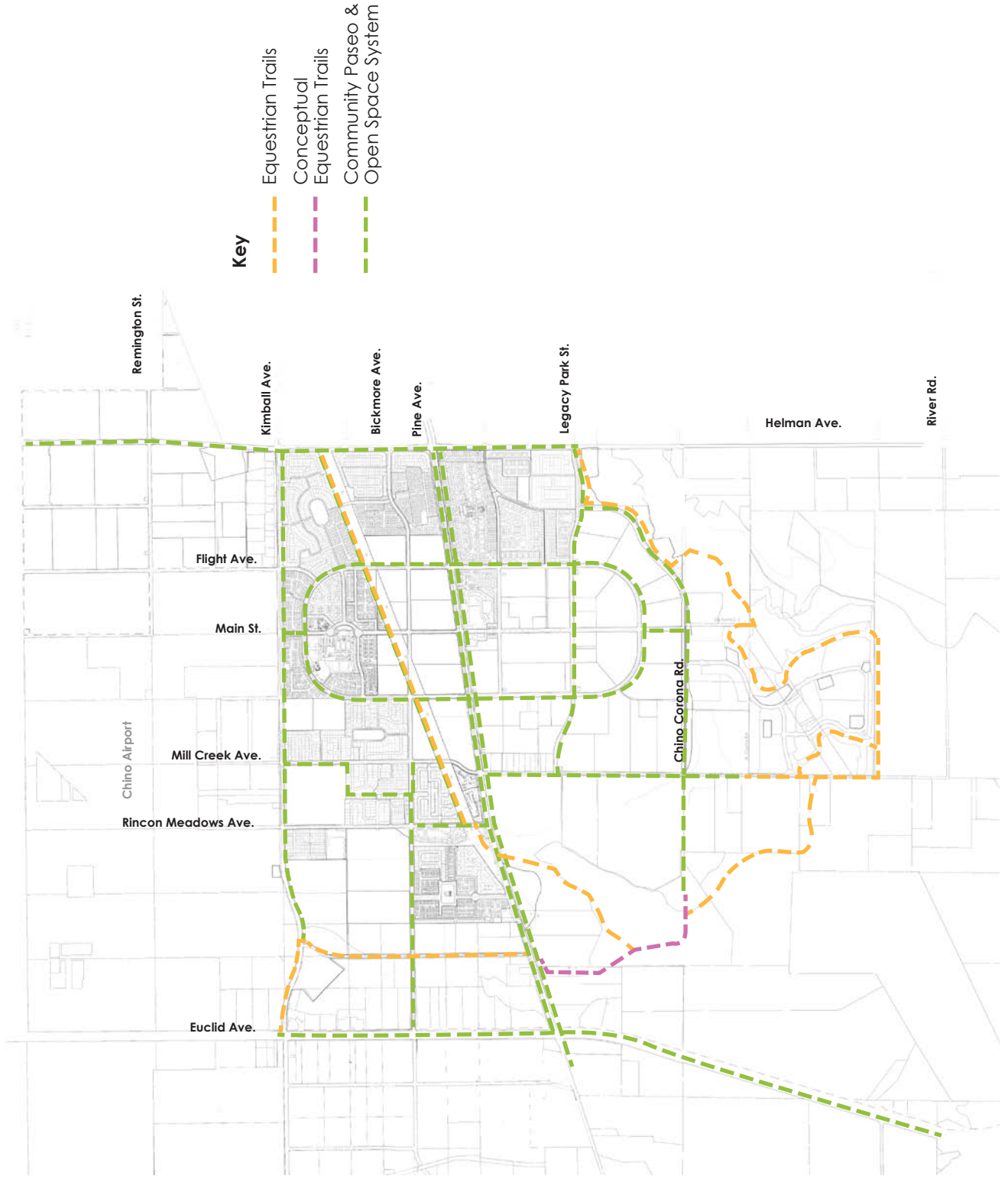
Figure 14: BICYCLE PLAN



Not to Scale

Section V

Figure 15: EQUESTRIAN PLAN



Not to Scale

Section V

Section V DEVELOPMENT PLAN

COMMUNITY PASEO AND OPEN SPACE SYSTEM

The Community Paseo and Open Space System is a network of trails and linear open spaces that connect the major features of The Preserve, such as the Community Core, residential areas, public facilities, and open space to the south. This system is also a critical component of The Preserve's mobility system in that it can accommodate walking, equestrian and bicycling transportation options.

As shown on Figure 16, Community Paseo and Open Space System, the Community Paseo and Open Space System generally follows existing watercourses, the 566-foot contour elevation, the transmission line corridor and selected roadways. The Community Paseo and Open Space System is oriented in such a manner as to draw the entire developed community south to link to Rancho Miramonte open space, equestrian trails, and recreation areas, the Crest to Coast Trail and eventually the Santa Ana River.



The Community Paseo and Open Space System also provides distinctive edges and creates identity for the various components and neighborhoods of the plan. Future developers are encouraged to locate neighborhood parks, schools, recreational and community features along the Community Paseo and Open Space System.

The Community Paseo and Open Space System also serves to buffer, or separate, potentially incompatible uses. For instance, the Community Paseo and Open Space System buffers residential uses along Cucamonga Avenue from the California Institute for Women and separates the residential uses along Pine Avenue from the impacts of this major roadway.

The Community Paseo and Open Space System is publicly owned. Developers are required to dedicate and improve the necessary area to accommodate the system identified on Figure 16, Community Paseo and Open Space System.

In the cases where Paseos are identified adjacent to roadways, the necessary right-of-way is assumed in the roadway sections. In the instances where the Paseos are not adjacent to roadways, the right-of-way must be provided and dedicated by the developer at the time of entitlement approval.

The Community Paseo and Open Space System must accommodate multi-purpose trails capable of accommodating pedestrian and occasional Class I bicycle facilities. In some instances, equestrian trails must be built into the Community Paseo and Open Space System, as shown on Figure 15, Equestrian Plan.

The Preserve Specific Plan

Internal Paseos and Open Space Enhancements

Master Plan areas and/or individual tract-level residential projects are required to be designed to provide connectivity with the Community Paseo System. They are also required to provide internal paseos, "Icon Streets" or similar open space/landscaping features that provide for connection at key locations. The purpose of such features is to provide distinctive neighborhood focus and unifying concepts that strengthen neighborhood image. Techniques that may be used to achieve this may include (but are not limited to) a mix of the following; enhanced landscape concepts, increased setbacks, specialized architecture, specialized building massing, use of special hardscape features or street furniture, special paving treatments.

Attached products are also required to show some clear trail connection to the Community Paseo System. Such features must be designed in concert with other open space features provided within a Master Plan area with the purpose of strengthening neighborhood identity. Such features must be a part of all Master Plans.

Community Paseo Widths

In the instances where a Paseo design is not depicted within one of the Specific Plan's street cross sections, Paseos shall have a minimum width of 30 feet (includes adjacent public landscape treatments). Exceptions to this standard are the paseos located along the perimeter buffer trail and the Edison Easement, which must have a minimum width of 50 feet.

Internal Paseo Widths

Internal Paseos may have widths as narrow as 15 feet if adjacent to a street and if approved by the Director of Development Services. If such paseos are not adjacent to a street, they shall have a minimum width of 30 feet, except that they may be as narrow as 20 feet if approved by the Director of Development Services.

Paseo and Open Space System Principles

The following principles shall guide development of and adjacent to the Community Paseo and Open Space Systems and Internal Paseo and Open Space Enhancements.

- Comply with Paseo treatment guidelines in the Design Guidelines, Section VI.
- Locate parks, schools and community centers along the Community Paseo and Open Space System.
- Provide direct, frequent and convenient access from each project to the adjacent Community Paseo and Open Space System.
- Use Paseos, Icon Streets, Open Space Areas (public or private) and Community Buildings or Facilities to provide focus and distinction to neighborhoods and communities.
- Incorporate the Community Paseo and Open Space System (or connectors to the system) into each project in order to encourage access to this feature.

DEVELOPMENT PLAN

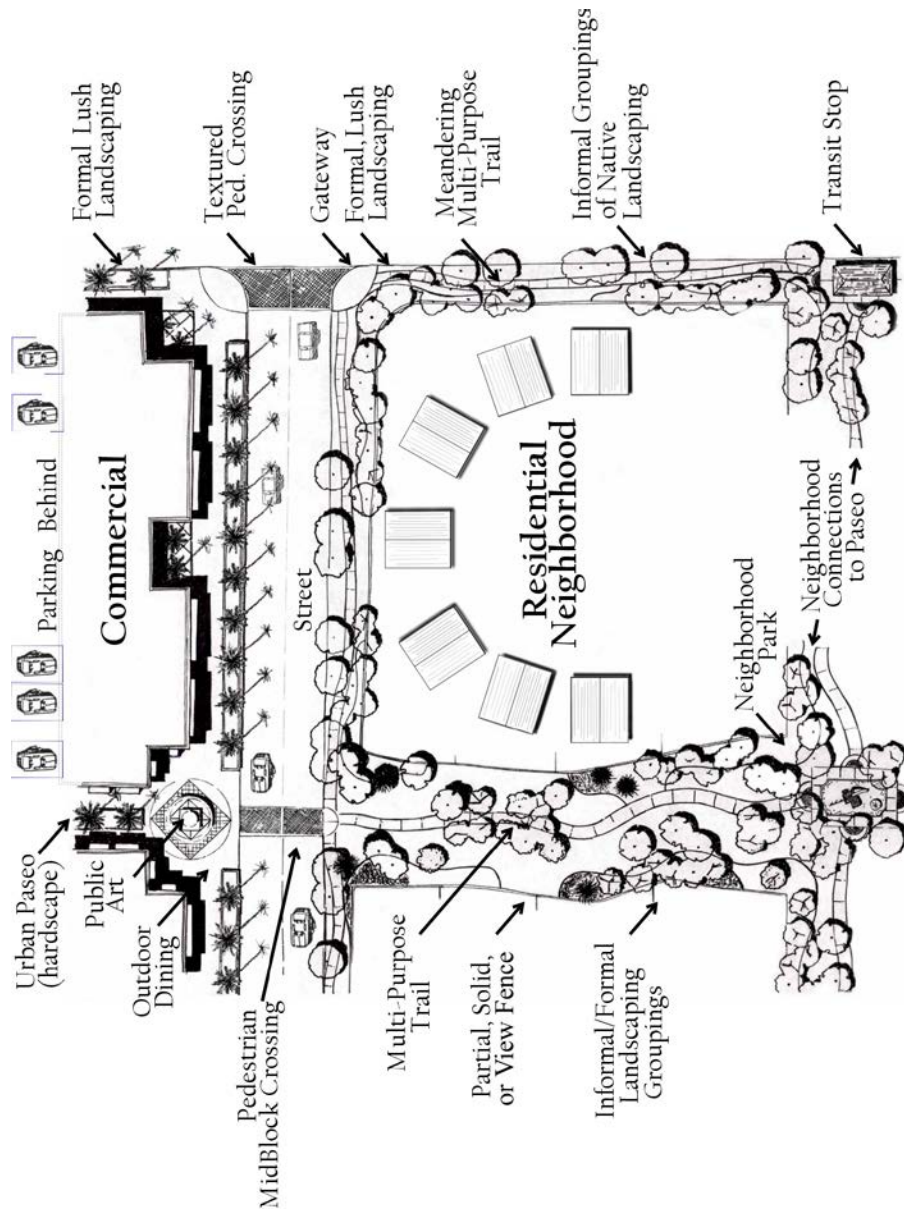
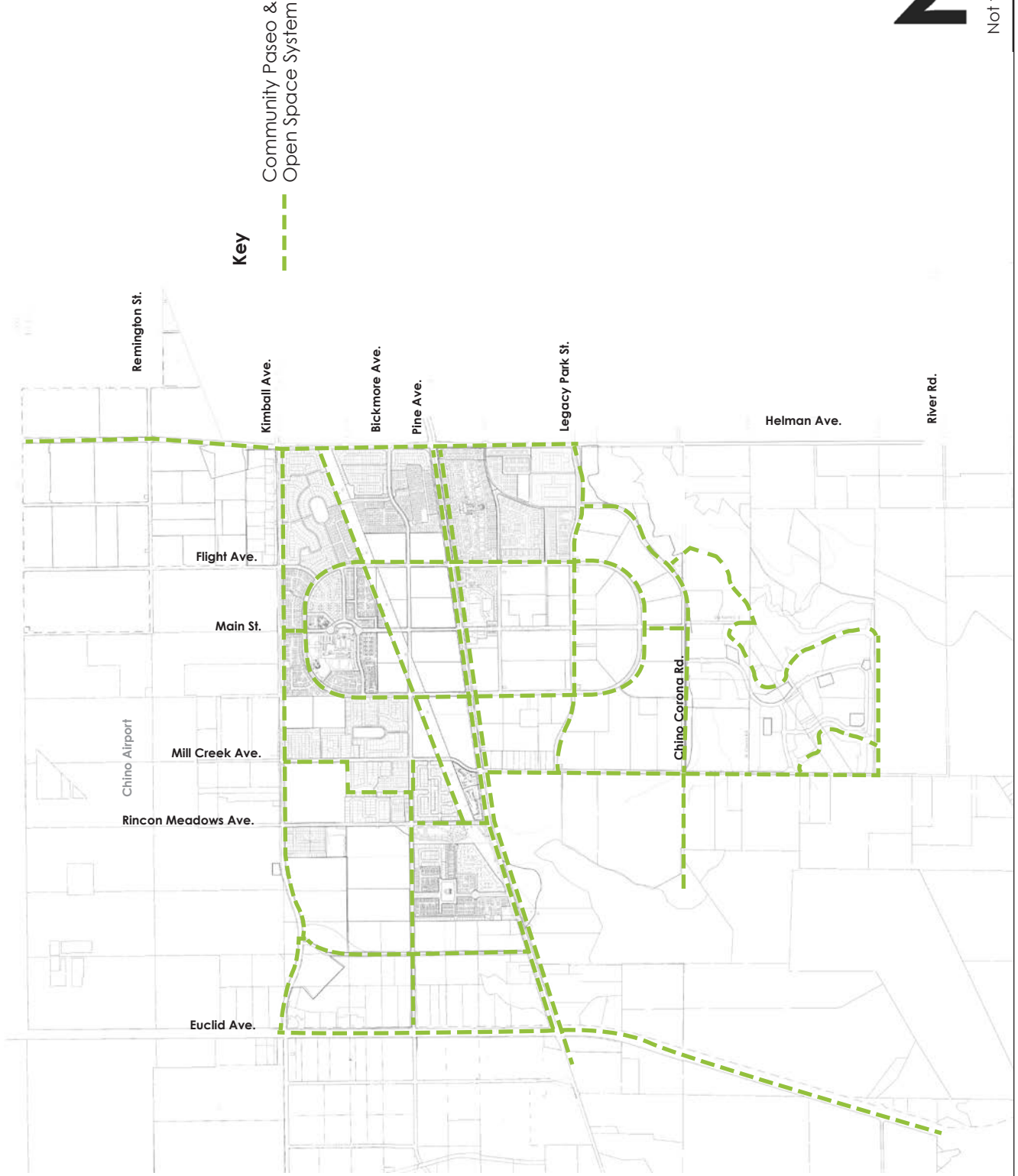


Figure 16: COMMUNITY PASEO AND OPEN SPACE SYSTEM



Section V **DEVELOPMENT PLAN**

PARK PLAN

The parks system for The Preserve consists of pocket, formative and neighborhood parks and a community park all distributed within the residential sectors of the project. The calculation of parkland dedication requirements, shown on Table 2, Calculation of Adjusted Units, is based on the provisions of the City's Local Park Code. The Preserve is estimated to generate a total population of 35,175 residents, based on the current estimate of 3 persons per dwelling unit (11,725 units) in the City of Chino (California Department of Finance, April 2010). This translates to a need for approximately 106 acres of parkland, based on the City's adopted standard of three acres of parkland per 1,000 residents.



The local park ordinance authorizes the City to require the dedication of land and/or the payment of in-lieu fees for park and recreational purposes as a condition of approval for a tentative or parcel map. For major land development projects, defined as exceeding 40-acres in size, the ordinance requires the preparation and adoption of a comprehensive plan if the project is to be developed by several subdividers or developers. The comprehensive plan will address land dedication, phasing and financing of park improvements to ensure that sufficient parkland is provided for over time.

The ordinance also contains provisions for allowing the development of private open space to receive partial credit towards land dedication requirements in limited instances. Generally such open space must be usable for active recreation such as sports fields, tennis or basketball courts, be maintained by the future residents of the subdivision or development and must meet additional standards contained in the ordinance to be eligible for approval by the Planning Commission. These and other provisions of the ordinance would be applied at subsequent stages of the development process.

The recommended park system for The Preserve includes one 42-acre Community Park, seven Neighborhood Parks ranging in size from 5 to 10 acres, and nine Formative Parks ranging from 2 to 4 acres. Figure 17, Conceptual Parks and Schools Plan, identifies the suggested location and recommended conceptual location of each of the park sites based on the expected population within the various areas of the Plan. The actual location and size of the parks will be determined upon approval of final tract or parcel maps.

As shown in Figure 17, Conceptual Parks and Schools Plan, three of the park sites may be developed jointly with elementary and/or K-8 schools. The intent is to maximize joint use opportunities for meeting a variety of recreational and athletic program needs within The Preserve. Planning and design for these sites will be predicated on the joint-use and maximization of the recreation facilities. Provisions for long-term joint use between the City, school district and sports leagues will be implemented concurrently with development of the sites.

The Preserve Specific Plan

The City's local park ordinance also calls for the payment of additional fees by the developer of a residential development (Pursuant to the Mitigation Fee Act) for the fair-share cost of developing the park sites to serve the residents of the area being developed. Thus, parkland within The Preserve will be dedicated and developed in a timely manner to meet open space and recreational needs.

In addition to outdoor recreation facilities, improvements may also include a community center, senior center, gymnasium, or other community facilities. Development of other community recreation facilities either within parks sites or as stand-alone projects may occur through a number of financing mechanisms pursued the City.

With the additional area created by Rancho Miramonte, The Preserve also includes approximately 477 acres of Open Space-Recreation (OS-R) uses, most of which are located below the 566-foot elevation. This designation is intended to establish open space areas serving multiple purposes including active and passive recreation, as well as flood control. Within this area is the existing developed portion of the Prado Regional Park, operated by the County of San Bernardino on land leased from the Army Corps of Engineers. In addition to the Prado Regional Park, other OS-R uses may be utilized for active and passive recreation. In particular, the Specific Plan provides for a perimeter buffer trail – an OS-R designation bordering the southern boundary of the development area, below the 566-foot elevation. This perimeter buffer trail will function as a buffer between the permanent open space areas and future development.

The Preserve also includes about 62 acres of Open Space Water (OS-W), provided by a lake within the Prado Basin. Additional recreation opportunities may also become available, either on an interim or permanent basis, on other lands within the Specific Plan. In particular, there may be opportunities for certain specialized recreation uses on excess airport lands or through arrangements with El Prado Regional Park.

Park Plan Principles

The parks plan for The Preserve and the future development of parks is based upon the following principles. These principles are consistent with the goals and objectives of the Parks and Recreation Element of the City's General Plan and shall be used in the preparation of any Comprehensive Plan, tract maps, or subsequent park improvement plans.

- Parks and recreation facilities shall be conveniently located for the intended users.
- Potentially additional area below the 566-foot dam inundation elevation may be used to augment the community park, subject to agreement with the Orange County Flood Control District or the Army Corps of Engineers. The use of such area will be limited by environmental (biological) and flood/inundation protection constraints. This concept will be subject to the discretion of City and associated parties.
- Parks should be located adjacent to school sites or other public facilities where feasible in order to allow for the efficient joint-use and development of the facilities.
- Park and recreation facility design should be based on innovative design concepts and consideration of long-term park maintenance costs, public safety, access by police and fire, and impacts from lighting, noise and traffic on surrounding uses.

Section V **DEVELOPMENT PLAN**

- Recreation facilities to be included at the park sites shall be based on facility needs and demands within the City, as well as the adopted standards for Neighborhood and Community Parks noted below.
- Parks shall be located adjacent to the Community Paseo and Open Space System where desirable and feasible, providing a connected system of open space and recreation uses within the Specific Plan area, which will ultimately lead to the regional system associated with the Santa Ana River.
- Formative parks help connect the neighborhoods together.
- Pocket parks help define and provide a focal point for each residential neighborhood.
- Organize neighborhoods around "formative parks" to provide human scale and strong sense of place.
- Formative and pocket parks must be designed to have a unique personality, form and character.
- Pocket parks must be centrally located within each residential neighborhood. In addition, the parks must distributed throughout the residential neighborhoods so that every home is within approximately ¼ mile of a park.

The General Plan also includes standards for the development of Neighborhood and Community Parks. The park system for The Preserve will implement these park standards, which consist of the following components:

- **Neighborhood Parks:** Neighborhood parks can range from 5 to 20-acres. The service radius is up to ½ mile. Convenient access to the park should be provided through sidewalk and trail systems. Location adjacent to an elementary school is desirable. A Neighborhood park is intended to conveniently serve the recreational needs of children living in the surrounding area and should include tot lots, picnic facilities, multiple use courts (basketball, volleyball), open areas for free play, passive areas, lighting, restrooms and a recreation building.

- Community Parks: Community parks can range from 20 to 100 acres in size. The service radius is from ½ to 3 miles. Location adjacent to a school is desirable. Community parks are intended to provide for community-wide activities, in addition to the local recreational activities desired by surrounding residents. The amenities for a Community Park may include lighted ball fields (baseball, softball, soccer), tennis courts, swimming pool, community recreation center, trails for bicycling or jogging and an amphitheater.
- In addition, pocket and formative parks must be incorporated into the neighborhood design in order to create a stronger sense of place. The park system for The Preserve will implement the following park standards, which consists of the following components:
 - Pocket and Formative Parks. The parks are intended for the use of neighborhood residents and are designed to be the focal point within each residential neighborhood. Pocket parks range in size from one-third to one and one half acre in size. Formative parks range in size range in size from two to four acres in size. Each park should have a unique form and character while also displaying unifying design elements that connects the parks together. The parks should incorporate the thematic concept of adjoining residential areas. The parks should be centrally located and must be distributed throughout the residential areas so that every home is within approximately ¼ mile of a park. Park amenities may include open turf flex areas, tot lots, picnic areas, passive meditative features, BBQs, benches, shade structures, basketball, volley ball, tennis courts and swimming pools.
 - Rancho Miramonte: The Park requirement of 8.4 acres for Rancho Miramonte will be met by the provision of a 3.6-acre recreation area in the central section of the plan, a 1.4 acre park in the northern portion of the site, and four Pocket Parks within residential neighborhoods. (see Figure 18.)

SCHOOLS

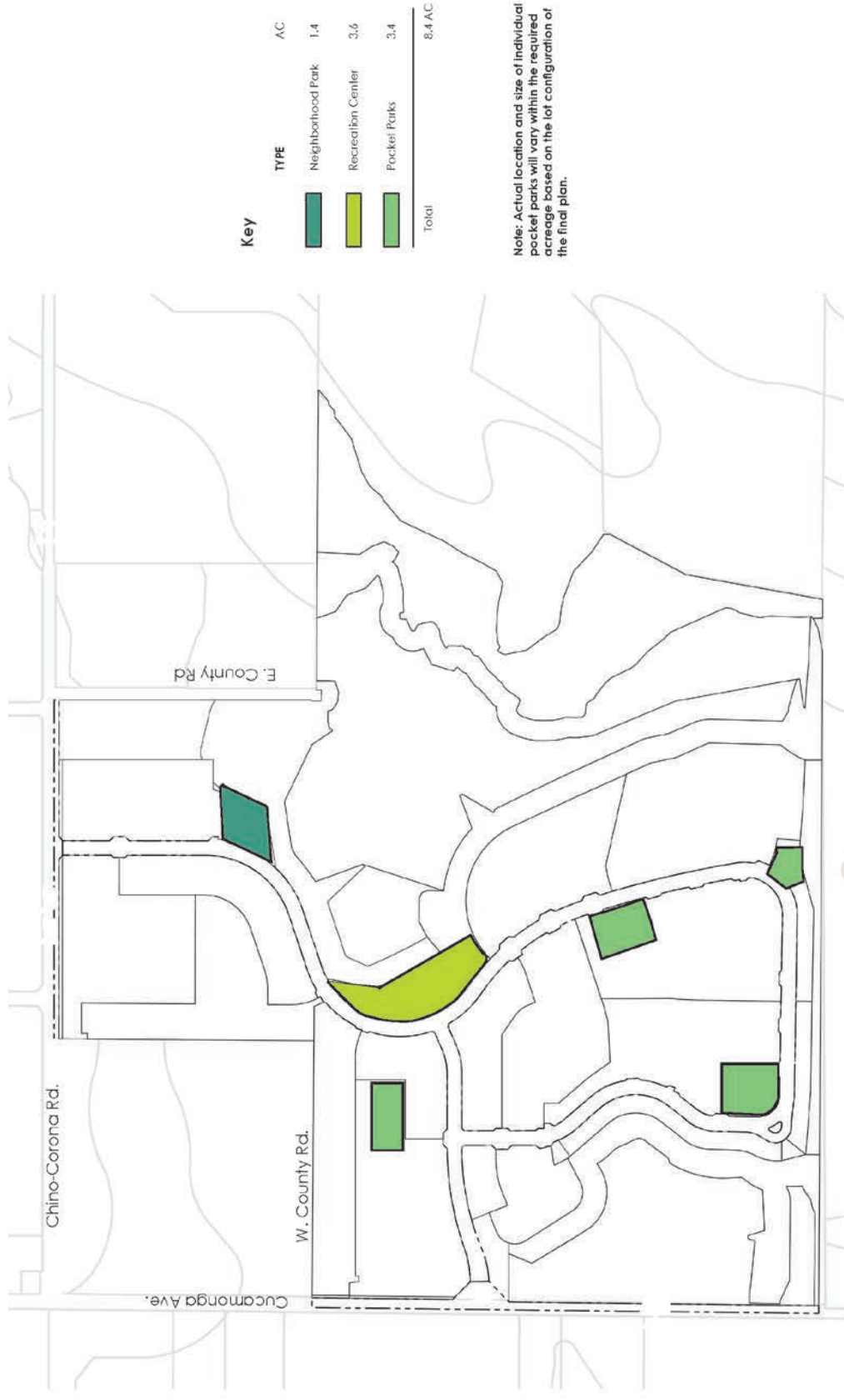
Three school sites are anticipated in the Land Use Plan to accommodate the student population growth estimate by the affected school district. Figure 17, Conceptual Parks and Schools Plan, shows the location, size and configuration of the school sites which are not determined at this point. The actual school sites will be determined during review of master plans and tract maps.

One elementary school and one K-8 school are assumed to be located within the Community Core 16 area. One elementary school is assumed to be in the Estate Residential area.

Figure 17: CONCEPTUAL PARKS AND SCHOOL PLAN



Figure 18: RANCHO MIRAMONTE PARK PLAN



Section V **DEVELOPMENT PLAN**

INFRASTRUCTURE PLANS

The Preserve is serviced by an extensive and well-planned infrastructure system. The water, wastewater, drainage and utility systems are designed to serve the development within The Preserve and connect to the regional/local systems. The infrastructure plans were developed separately and incorporated into this Specific Plan. The detailed text for each plan is available in the City of Chino Public Works Department. The following is a summary of the major features of The Preserve Specific Plan.

Domestic Water Plan

As The Preserve develops from a sparsely populated agricultural area to a residential community, potable and recycled water supplies and their necessary infrastructure must be developed to meet growth demands. To determine the future water supply and system requirements, potable and reclaimed water demands and supplies were studied. Reclaimed water is addressed in the following section. In addition, further information can be found in the Water Master Plan.

Based on estimates from the Water Master Plan, a total of 5.3 Million Gallons per Day (MGD) of potable water are needed at build-out to meet demand on an average day. However, water needs may be greater on certain days, therefore "maximum day" demand is also calculated. The maximum day demand was calculated at 7.42 MGD of potable water. Additionally, for the purposes of fire protection, an additional .96 Million Gallons (MG) are required.

In order to ensure that there is adequate water supply for The Preserve at buildout, a Water Supply Assessment was prepared in 2003 and is included in The Preserve Final Environmental Impact Report. The assessment determined that there would be an adequate amount of water to meet demand at buildout for The Preserve from multiple reliable water sources. (See the Final EIR including the Water Supply Assessment for more detail).Based on the most recent Urban Water Master Plan (UWMP) prepared in 2020, the City's various sources of water would be adequate to meet the water demands of The Preserve as long as sufficient stored groundwater reserves are maintained.

The storage requirements for this area are a combination of operational, emergency and fire protection storage. Operational storage provides for balancing the daily peak variations in demand and is calculated at 30 percent of maximum day demand. Emergency storage is provided in the event of interruption or failure of a major source of water supply. The design criterion for emergency storage is the volume of 50% of average day demand. Fire protection requires an additional storage capacity of .96 MG. Therefore, the total required storage for the potable water system (operation storage + emergency storage + fire protection) for The Preserve was calculated at 6.9 MG.

The Preserve Specific Plan

The water supply for The Preserve was reassessed in 2015 to accommodate the addition of the Rancho Miramonte Neighborhood into the plan. The 2015 WSA describes a program of potential options that may be utilized in an effort to secure sufficient water supply to satisfy the City's anticipated future water demands, including the subject project. Using the 2003 Water Supply Assessment created for The Preserve, as well as Edgewater Water Master Plan Update, 2007 (provided in the EIR prepared for the Edgewater Specific Plan Amendment adopted May 5th, 2009), the potable water demands listed above were increased to the following totals:

- 6.25 MGD of potable water
- 8.75 MGD of maximum day potable water
- 1.04 MG for fire protection
- 2.62 MG for operational storage
- 6.24 MG for emergency storage

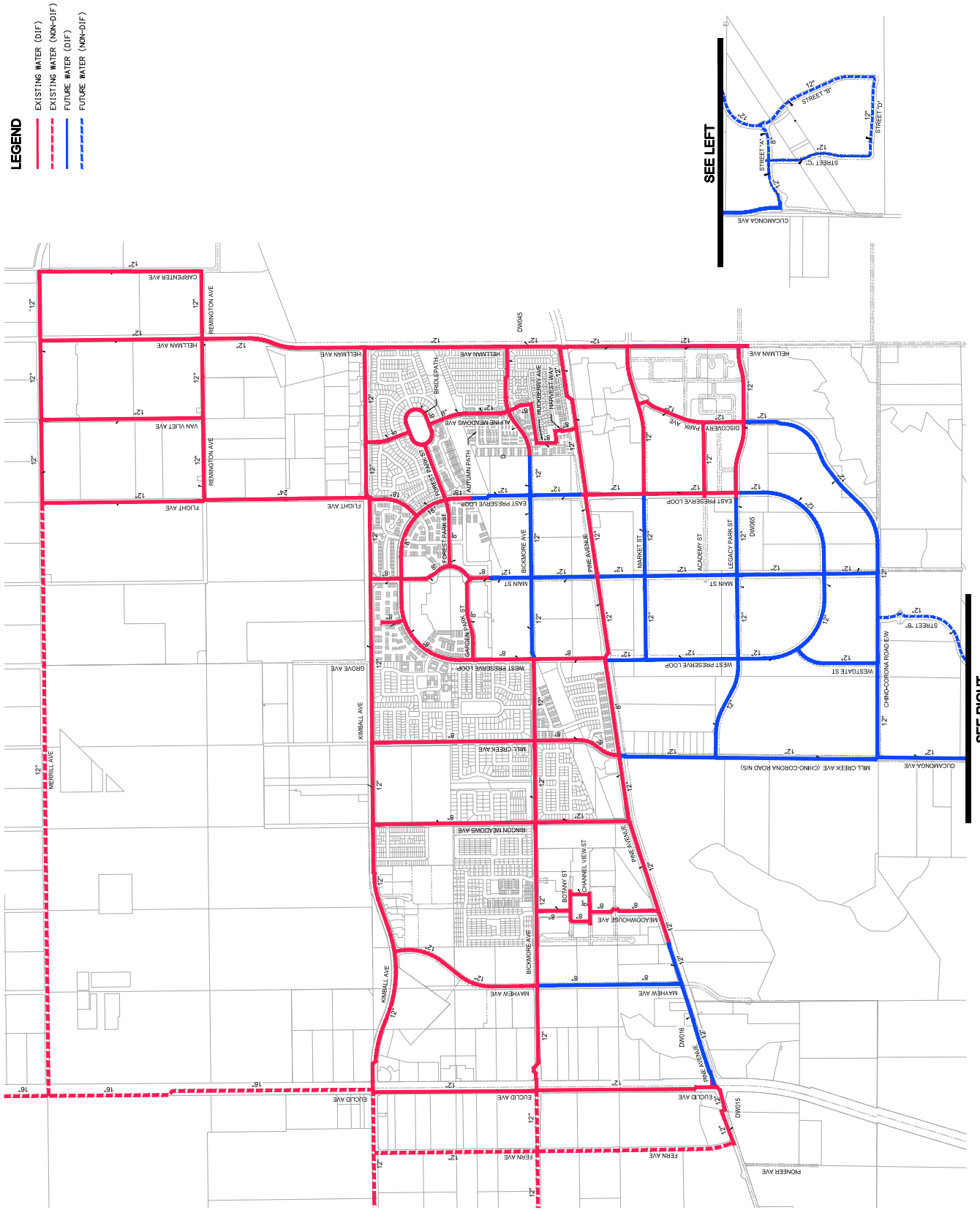
Therefore, the total required storage for the potable water system (operation storage + emergency storage + fire protection) for The Preserve, with the addition of Rancho Miramonte (the previous Edgewater Neighborhood), was calculated at 9.90 MGD.

In order to store and transport the potable water, additional facilities must be constructed. It is proposed that the total storage of 9.90 MG be maintained in two reservoirs: each with a capacity of at least 4.5 MG. The distribution system also includes approximately 144,000 linear foot of pipe ranging in diameter from 8 to 24 inches as shown on Figure 19, Domestic Water Plan. The addition of Rancho Miramonte (also depicted in Figure 18) requires an additional 8,840 linear feet of pipe ranging in size from 8 to 12 inches.

The "backbone" distribution system is primarily designed for peak hour demand because this condition was more critical in the potable water system than the maximum day demand with fireflow.

The Preserve, including Rancho Miramonte (formerly the Edgewater Neighborhood), will be supplied with potable water through a water distribution system consisting of necessary facilities such as groundwater wells, pumps, storage reservoirs, and a treatment plant. Detailed information on these facilities can be reviewed in reference documents such as the Edgewater Master Plan Update. The exact locations of certain facilities are unknown at this time and shall be determined in future evaluations. The Preserve, including Rancho Miramonte, will be located in the distribution systems' third pressure zone known as the 790 Zone.

Figure 19: PROPOSED DOMESTIC WATER SYSTEM



Not to Scale

Section V

Reclaimed Water Plan

A dual (potable and recycled) water system will conserve potable water and make the best use of available supplies in The Preserve. The planning and construction of a dual system at the beginning of development has several benefits, as opposed to implementation of a recycled distribution system into an area with existing development and potable water distribution system. One of the benefits includes lower construction costs, especially if the dual systems share the same alignment. While the recycled and potable water systems must be separated by at least ten feet, savings in construction costs can be realized by simultaneous construction. In addition, the use of recycled water in lieu of potable water for irrigation and industrial demands will potentially reduce the need for potable water as the population increases.

A total demand of 4.5 MGD was allocated for the average daily need and 11.7 MGD for the maximum daily need.

As with the potable water supply discussed above, the reclaimed water supply was also reassessed in 2008 to accommodate the addition of the Edgewater Neighborhood, (now Rancho Miramonte), into the plan. The 2009 Edgewater Specific Plan Amendment increased the average daily demand to 4.63 MGD and the maximum daily demand to 11.36 MGD, these now apply to the Rancho Miramonte Specific Plan Amendment.

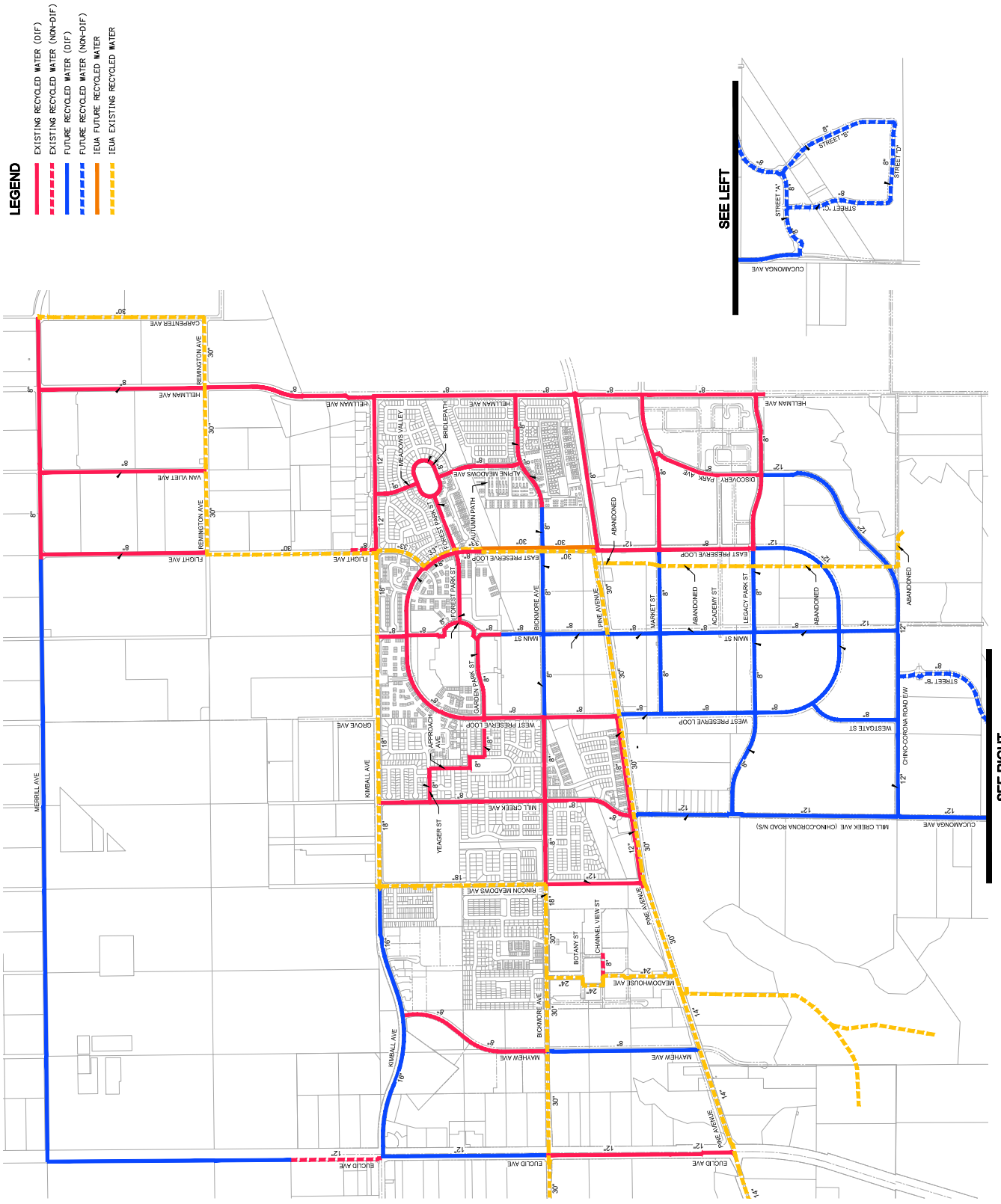
For the supply of recycled water, it is assumed that the City will obtain recycled water from the Inland Empire Utilities Agency (IEUA). The Preserve is perfectly located for the maximum use of recycled water because of the location of the IEUAs existing recycled water pipelines. The existing pipelines form an excellent "backbone" transmission piping system to supply recycled water to future customers with low capital investments, as shown on Figure 20, Reclaimed Water Plan.

The three potential sources of IEUA are Regional Plant No. 1 (RP-1), Regional Plant No. 5 (RP-5) and the Carbon Canyon Water Reclamation Facility (CCWRF). The interconnection of these three wastewater facilities is completed, and is shown on IEUA's May 2015 Recycled Water Distribution System Map available on the IEUA website. This interconnection provides the ability to supply recycled water to The Preserve from all three sources, and from two directions, (from the north [RP-1 and RP-4] and from the west [RP-2, RP-5 and CCWRF]).

According to the IEUAs Chino Basin Municipal Water District Ten-Year Capital Improvement Plan (Fiscal Period 2002-2003 through 2022-2023), CCWRF, RP-5 and RP-1 have the potential to expand to a capacity of 20.4 MGD, 30 MGD and 80 MGD respectively over the next Thirty years. Thus, sufficient sources are available to supply the recycled water demands in The Preserve.

To minimize the required recycled water facilities, the proposed recycled water distribution system will be supplied from both RP-1/RP-4 in the north and from RP-5/CCWRF in the west. If all of the peak hour demand is to be supplied from RP-1/RP-4, an inline booster station is required to maintain sufficient pressure. If 55% of the peak hour demand is supplied from RP-1/RP-4, the pressure is sufficient to supply The Preserve by gravity. The remaining 45% will have to be pumped from RP-5. This supply approach from two sources has operation benefits and it increases the reliability of the recycled water system as well.

Figure 20: PROPOSED RECLAIMED WATER SYSTEM



Sanitary Sewer Plan

The developable land within The Preserve Specific Plan is divided into two sewer Service Areas. Service Area A is comprised of 1.3 square miles and is the portion of The Preserve Specific Plan generally located east of the Chino Airport, south of Merrill Avenue to and north of Kimball Avenue. This area will be serviced by existing and proposed collector sewers tributary to the Inland Empire Utilities Agency's (IEUAs) Kimball Interceptor Trunk Sewer. The Kimball Interceptor Trunk Sewer conveys flows to IEUA's Water Reclamation Plant No. 5 (RP-5), which is located at the southeast corner of the intersect of Kimball Avenue and El Prado Road. RP-5 has been in operation since 2004. The design hydraulic domestic sewage (wastewater) treatment capacity is 16.3 million gallons per day, which includes 1.3 million gallons per day of solids processing returned from RP-2.

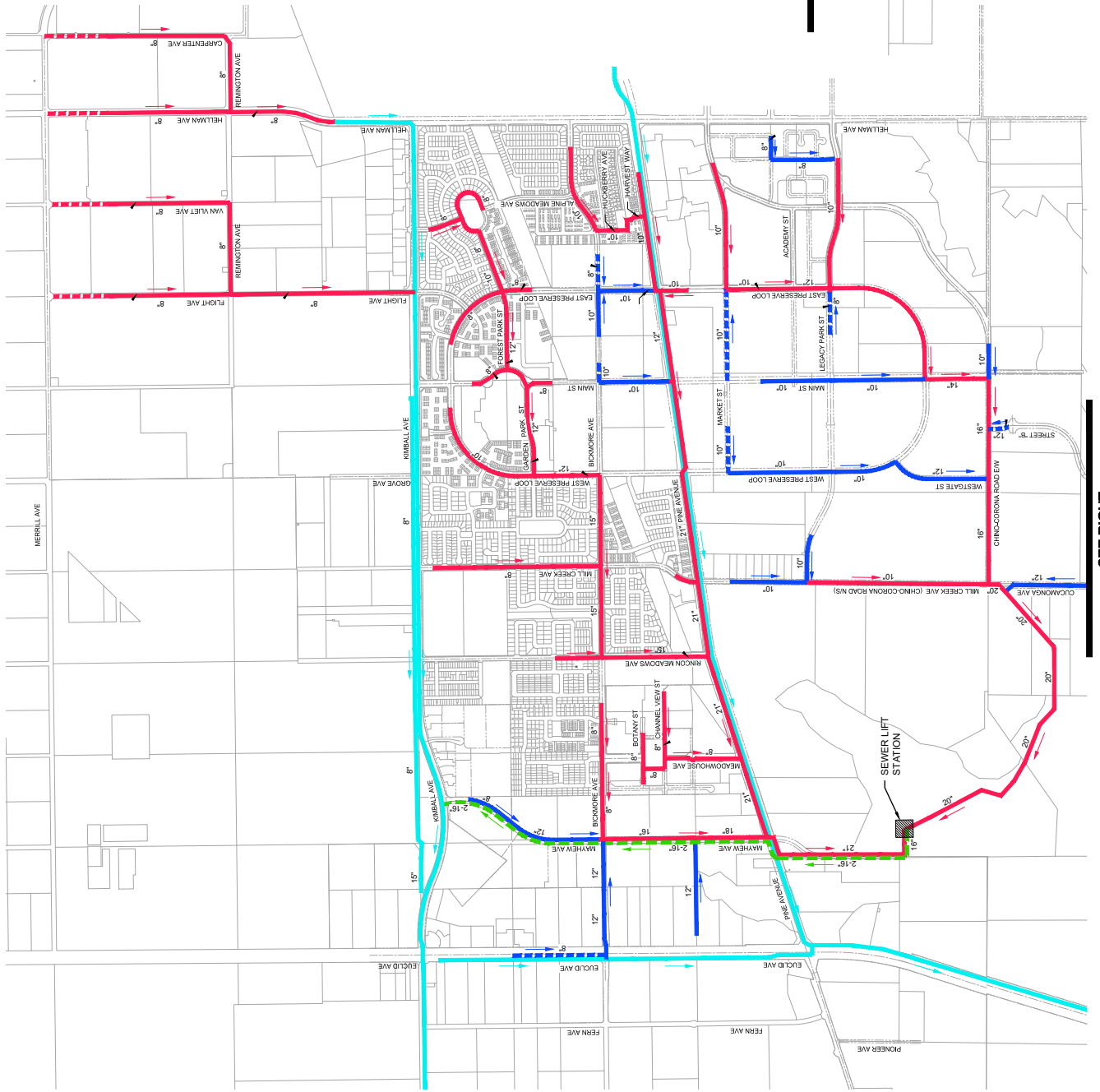
Service Area B includes the balance of the land planned for urban development within The Preserve Specific Plan located south of Kimball Avenue, as well as the developable area within Subarea 1, located generally east of El Prado Avenue, south of Kimball Avenue, west of Euclid Avenue and North of Pine Avenue. Sewer facilities for Subarea 1 were master planned in conjunction with this part of The Preserve to provide for the logical and efficient provision of sewer facilities in both areas. Service Area B is comprised of approximately 9.7 square miles that will be tributary to IEUAs existing Water Reclamation Plant No. 2 (RP-2) located at the northwest corner of the intersection of Pine Avenue and El Prado Road.

The only sewer collection facility presently servicing Service Area B is the El Prado Pump Station that delivers wastewater flows generated from the California Women's Institute property to RP-2 via a combination of 10-inch diameter force main and 8-inch diameter sewer. The Santa Ana Regional Interceptor (SARI) Sewer Line traverses this area flowing southwesterly in Pine Avenue from the Riverside County Line to Euclid Avenue and south in Euclid Avenue to Prado Park.

Average flow for Service Area A is estimated at 918,573 gallons per day (gpd) and that portion of Subarea B within The Preserve at 3,375,441 gpd for a total of approximately 4,294,014 gpd. The addition of the Service Area D (Edgewater SPA) in 2009 created an additional average daily flow of 270,837 gpd. The revised Rancho Miramonte SPA for Service Area D decrease the additional average daily to 235,964 gpd, for a net decrease of 34,873 gpd. This revises the total average flow to approximately 4,513,212 gpd. To accommodate the projected flow, the proposed backbone facilities are comprised of 80,498 feet of line for The Preserve, as shown on Figure 21, Sanitary Sewer Plan. These backbone facilities were augmented in 2008 with the addition of 15,000 linear feet to service Rancho Miramonte (the old Edgewater neighborhood) project, as shown on Figure 21: Sanitary Sewer Plan.

Figure 21: SANITARY SEWER PLAN

- LEGEND**
- EXISTING SEWER (DIF)
 - EXISTING SEWER (NON-DIF)
 - EXISTING FORCE MAIN
 - FUTURE SEWER (DIF)
 - FUTURE SEWER (NON-DIF)
 - REGIONAL SEWER



Storm Drainage Plan

The storm drainage plan for The Preserve is shown on Figure 22, Storm Drainage Plan. The ground surface in The Preserve generally slopes from north to south, with about half (approximately 2,779 acres) of the planning area lying below the 566 foot elevation, and therefore within the impoundment area of the Prado Dam. Existing storm drainage facilities within The Preserve are minimal. There is a storm drain that extends north across the Chino Airport runway as a 10-foot (wide) x 6-foot (high) double barrel reinforced box (RCB), thence as a trapezoidal concrete channel across the airport property at Merrill Avenue. In addition, the Cucamonga Creek Flood Control extends into The Preserve Planning Area at a location just west of Hellman Avenue and north of Chino-Corona road where it reverts back to Mill Creek, a natural watercourse.

Storm drainage can be classified as emanating on-site or from off-site sources. On-site storm drainage flow quantities are based on a number of factors, including the following:

- Depending on the size of each tributary drainage area, the Rational Method or the Unit Hydrograph method was used to calculate the peak runoff at each concentration node.
- Surface characteristics of pervious areas were based on ultimate development (build-out conditions), having good urban covers (well-landscaped) and an average antecedent moisture condition (AMC) II.
- Point rainfall data was based on the Isohyetal Maps for Valley areas, provided in the San Bernardino County Hydrology Manual, 1986 Revision.

Off-site flows into The Preserve come mainly from the north, originating in the City of Ontario. Ultimate 100-year storm runoff hydrographs for Ontario's master planned storm drains have been incorporated in the Master Plan of Drainage for conveyance to downstream regional drainage facilities. Ontario's master planned storm drains enter The Preserve at three locations:

- At the intersection of Merrill Avenue and Baker Avenue, conveying storm runoffs from approximately 1,362 acres with a peak flow of 1,620 cfs.
- A RCP storm drain in Grove Avenue, with a 72-inch RCP lateral storm drain in Merrill Avenue, is proposed to drain to the existing Grove Avenue Storm Drain Channel in the Chino Airport property. This storm drain system will have a peak design flow of 1,214 cfs as it enters the Study Area with a tributary drainage area of approximately 1,367 acres.
- A RC Box storm drain in Merrill Avenue and a RCP storm drain in Euclid Avenue are proposed to confluence and drain to the existing Airport channel along Euclid Avenue. This storm drain system will have a peak design flow of 1,443 cfs as it enters the City of Chino, with a tributary drainage area of approximately 1,840 acres. The Airport Channel enters the Study Area at the intersection of Euclid Avenue and Kimball Avenue with a peak flow of 1,605 cfs and a tributary drainage area of 2,336 acres.

Storm drain facilities will be required to provide reduced velocities at outlets in order to protect downstream drainage courses from erosion and scouring. Individual development master plans/projects will be reviewed to ensure that adequate measures will be in place to provide for such protection.

Section V **DEVELOPMENT PLAN**

Drainage outlets and other drainage facilities will also be designed to control urban runoff pollutants caused by the development of The Preserve. As an implementation step for this Specific Plan and in accordance with water quality mitigation measures contained in The Preserve Final Environmental Impact Report, an urban run-off management master plan will be prepared. This master plan will include the provision of Natural Treatment Systems (NTS) and other methods that will work in conjunction with detention areas and other flood control facilities to control run-off. NTS is a “green” approach to improving water quality. Water flow is slowed and directed through large or small artificial wetlands that incorporate vegetation at strategic locations to trap pollutants and/or provide for their chemical breakdown. Such systems may be incorporated at key outlet areas and/or on-site for individual projects as appropriate. Other best management practices (BMPs) will also be incorporated as appropriate. All future development projects and associated drainage, NTS facilities and BMPs will be designed and implemented in accordance with applicable state and federal regulations.

Rancho Miramonte (the former Edgewater neighborhood), added to the overall Preserve plan in 2012, drains directly to Mill Creek and will implement a Water Quality Management Plan (WQMP) per the State and local Jurisdictional Guidelines. This WQMP will include the provision of natural conveyance/treatment systems, storm drain clarifiers as well as infiltration/detention basins to help improve the quality of the project site runoff and help reduce the overall runoff from the developed site.

SECTION VI: DESIGN GUIDELINES



This page intentionally left blank.

INTRODUCTION

The Preserve is envisioned as a family of unique neighborhoods and activity areas. As such, there is no overriding design theme or style for the entire project, except for high quality and livability.

The intent of the Design Guidelines is to ensure that these unique areas have a high level of quality and to provide a degree of unity to tie The Preserve into an identifiable area. While promoting a high level of design quality, the Design Guidelines provide a wide degree of flexibility in order to encourage creativity on the part of property owners and designers.

The Design Guidelines are general and illustrative in nature. They are not rigid requirements; however, every development within The Preserve must incorporate the particular attention to detail reflected in these guidelines. The Design Guidelines establish the design framework that the City will use to evaluate proposed developments. Each guideline shall be considered in terms of how it applies to a given proposal. The intent of the Design Guidelines must be met in order for a project to be approved during the development review process.

The Design Guidelines supplement the development requirements described in the Land Use Plan section and act in concert with the Chino Zoning Code.

The Design Guidelines are general and may be interpreted with some flexibility in their application to specific projects. The guidelines will be utilized during the City's development review process to encourage a high level of design quality, while at the same time providing the flexibility necessary to encourage creativity on the part of the project designer(s). However, unless there is a compelling reason, these design guidelines shall be observed. Future master plans are required to provide detailed design plans that demonstrate how individual projects and structures comply with the desired aesthetic quality expressed in these guidelines.

FORMAT OF DESIGN GUIDELINES

Quality development is realized through an attention to detail that is carried forth from the initial conception to final construction. Quality and attention to detail must permeate the initial design including, layout of the streets and lots, grading, architectural design, landscaping, lighting and fences.

The Design Guidelines start with a discussion of the layout and design of individual neighborhoods and communities. A discussion of the landscape and streetscape treatment follows. Next, the Guidelines address development at the project specific level in residential, commercial, industrial and the Community Core areas. Guidelines pertaining to walls and fences, signage and lighting follow.

COMMUNITY AND NEIGHBORHOOD DESIGN GUIDELINES

The design and layout of each community and neighborhood is critical to the overall perception of The Preserve. Careful attention should be paid to the layout of each project to ensure that it complies with the aspects of this plan.

Section VI DESIGN GUIDELINES

The purpose of the Community Design Guidelines is to establish a framework that provides physical continuity throughout The Preserve. These guidelines apply to individual projects and are intended to act as a guide during the design phase.

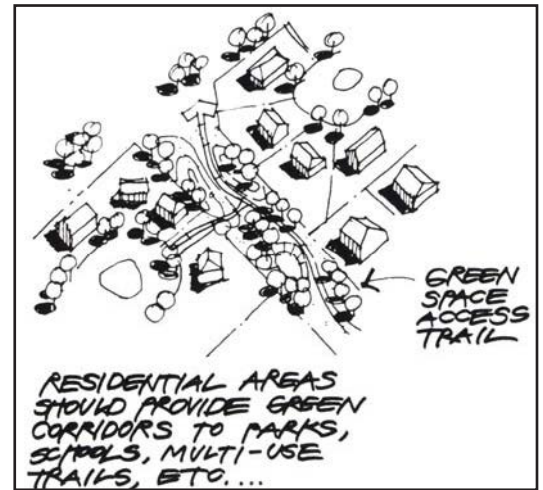
- Connectivity

Sprawl-style development has highly segregated land uses with residential areas separated from services, recreation, shopping and employment uses. They also have limited access points in and out of a conventional subdivision, reducing connectivity and pedestrian access.

In The Preserve, communities and neighborhoods should be designed to directly connect activity centers, services, shopping and employment areas, public facilities, schools, churches, open space and recreational facilities. In this manner, there is improved access for residents, visitors and emergency vehicles. Transit is also more accessible and the neighborhoods are walkable. This in turn provides options to the automobile.

- General Community Layout Guidelines

- Communities and neighborhoods should be oriented toward activity centers, educational facilities, places of worship, employment and shopping centers, entertainment areas, parks, open spaces and recreational facilities.
- Each neighborhood should have a defined focal point or theme that will provide it with an individual identity and character.
- Neighborhoods and projects should be interconnected by streets, paseos, sidewalks and pedestrian trails.
- Streets and trails should directly connect activity centers, educational facilities, employment and shopping centers, entertainment areas and recreational facilities.
- All projects must include coordinated pedestrian connections to the Community Paseo and Open Space System, activity centers and recreational areas.
- Projects should utilize short streets and blocks.
- If cul-de-sacs are used, openings should be provided at the ends for pedestrian access.



Paseo Connections



Activity Center Orientation

- Projects shall be designed to route people and vehicles through the site in a clear, identifiable and efficient manner.
- Structures should be placed with respect to prevalent environmental conditions such as sun, wind, terrain, views and drainage.
- Projects should be designed to maximize dwelling unit exposure and views of Paseos, open spaces, recreation features and other amenities.
- Several points of connection between subdivisions and surrounding areas are encouraged. Generally, subdivisions that utilize only two points of connection to adjacent areas are discouraged.
- Projects with limited access points and points of connection to adjacent areas are discouraged.

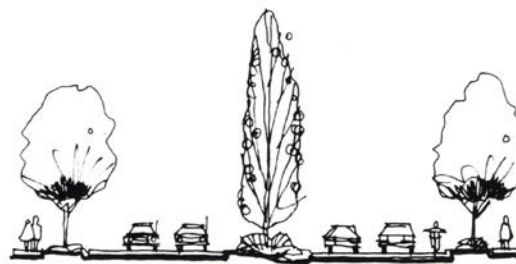
Landscape and Streetscape Guidelines

Landscape and streetscape features help to integrate the diverse elements of The Preserve's built environment. Even when structures bear no resemblance to one another, strong landscape and streetscape features can help unify the street scene, orient travelers and create a memorable image.

The purpose of the Landscape and Streetscape Guidelines is to establish a unified landscape framework that provides continuity throughout the public portions of The Preserve, including public roads, easements, parkways, medians and development edges.

The Landscape concept for the preserve community is inspired by the agricultural heritage of the land. See Figure 23, Landscape Structure Diagram. The landscape concept has been designed to celebrate these elements while creating a "community of trees" that looks forward into a new era inspired by the past. The primary edges of The Preserve are defined with a singular landscape character, including an informal meandering grove of evergreen and deciduous canopy trees, giving the project a unique image. However, the southern most edges of the perimeter will incorporate more indigenous plantings to reflect the adjacent open space.

The open space to the south is drawn into the internal community landscape through paseos, streets and median landscaping. These north/south streets include a framework of deciduous accent trees and evergreen screen trees that have a rustic but elegant landscape character.



Right-of-Way Treatment



Canopy Treatment

Section VI DESIGN GUIDELINES

The east/ west streets are patterned with a grid-like fabric of urban evergreen orchard plantings in parkways and medians. All streets, however, north/ south and east/ west, will have a distinct appearance apart from each other. Different deciduous and evergreen street trees will punctuate the landscape framework giving diversity and interest among the two distinct directional groups within the community. This diversity within the community creates a combination of streets that complement one another through contrasting texture, forms and structures that knit the community together while also preserving the open space heritage and the nostalgic agricultural roots of Chino.



- Public Rights-of-Way

The treatment of the public rights-of-way typically provides the first and last impression of a place. That is, one enters or leaves a place via a roadway or trail and the experience along that feature is critical to the formation of their impressions.

In order to provide a positive impression and a cohesive community identity, a consistent level of landscape and streetscape treatment is applied to the public rights-of-way throughout The Preserve. Public rights-of-way can be categorized into road type, paseo and gateway type.



- Roadway Treatment

Roadways are defined by patterns of landscape design, layout of bike and pedestrian paths, setback of adjacent structures, street furnishings, lighting and hardscape treatments.

Variations in design may occur along a roadway in order to distinguish between different districts or neighborhoods, identify major developments or activity centers, or to direct/orient travelers to key destination points. However, the overall intent is to establish a clear character and consistency in the appearance of the roadway to reinforce one's mental image of the route.

The treatments described below illustrate the general quality and feel of the various roadway types. These do not determine the exact design and configuration, which will be determined by the City in detailed site plans. The following treatments shall be applied to the roadways in The Preserve:

- General Roadway Treatment Guidelines

- Landscaping shall utilize the approved trees, shrubs and groundcovers as listed in the Landscape Plant Palette, unless an alternative species is approved by the Director of Development Services.
- Landscaping along roadways will contain tall backdrop screen trees, broad canopy accent street trees, a healthy understory and lush groundcover to help establish a strong edge.
- An informal, non-symmetrical grouping of landscape should be used within the landscape setback where ample space is provided and when it follows the pattern established by the landscape master plan. Generally parkway street trees are formal and symmetrical, where backdrop screen trees are generally an informal layout. In gateways the landscape of adjoining streets shall wrap the corners displaying an informal and/or formal design depending on the landscape concept for that area.
- Utilize drought resistant and/or native landscaping, as shown in the plant palette, in the right-of -ways and wrap these species in to the gateway corners where appropriate.
- Canopy trees should be used to provide shade adjacent to sidewalks, pedestrian areas and parking areas, especially for commercial areas and public facilities.
- Pedestrian paths may either be meandering or linear, except where specified in the Street Cross-Sections for the Specific Plan.
- Berms, low walls and/or hedges should be used to screen views of parking lots and create distinction between the roadway and the development.
- Select plant materials that relate to the needs and characteristics of the site (e.g., active, view, screening, security, etc.).
- Parking lots should be screened and entry points distinguished by formal groupings of landscaping.
- Plant materials should be able to survive in local climate and soils and be resistant to high winds.
- Landscaping should be placed so as to screen, but not restrict access to utilities.
- All utility vaults, transformers, power lines, etc., shall be placed underground unless screened from public view.
- Public art should be encouraged to be located along the roadways and especially gateways, to help identify and distinguish areas.
- Streetscape should be maintained year round and dead plants replaced with comparable materials and sizes to existing plants.
- Expressway Treatment (Euclid Avenue)

Section VI **DESIGN GUIDELINES**

- Euclid Avenue is a major roadway both within the region and within The Preserve. Accordingly, it is afforded expansive medians and parkways to accommodate extensive landscaping treatments and non-motorized forms of transportation.
- This avenue will feature an informal, meandering display of evergreen and deciduous, drought tolerant canopy trees set against an evergreen backdrop.
- Landscape along Euclid Avenue, north of Pine Avenue shall reflect the commercial nature of this street section. Groupings of formal or informal landscaping should open and close at intervals to provide views of adjacent businesses. A lush understory and groundcover should be consistently applied to the medians and parkways. As described in the landscape plant palette, large canopy or spreading trees should be planted in the medians and parkways with a lush understory and groundcover.
- On Euclid Avenue, south of Pine Avenue, the landscaping should complement the intended rural/rustic character of the roadway and surrounding area. Informal groupings of native and/or indigenous landscape should be used. The design should blend these indigenous species with the plant palette used north of Pine in order to accomplish a smooth transition between the North and South Euclid designs.
- Major Arterial Treatment (Pine Avenue)
 - Pine Avenue is also a major roadway. Accordingly, it is afforded expansive medians and parkways to accommodate extensive landscaping treatments and non-motorized forms of transportation.
 - Landscape along Pine Avenue will reflect the importance of this street to The Preserve. Pine Avenue is the major circulation route through the heart of the community. Landscaping must be distinctive and identifiable and shall be applied to both parkways and medians. Pine Avenue will display a formal massing of evergreen street trees in the parkway and medians. This concept will carry throughout Pine Avenue to create a strong, identifiable image. In the Community Core area the backdrop screen element will open and close to allow views into commercial areas. The intersection of Pine Avenue and Main Street is an extremely important focal point within the plan that will receive extensive enhancements. Special landscape treatments will be provided in conjunction with these enhancements. A lush understory and groundcover should be consistently applied to the medians and parkways.
- Major Arterial Treatment (Kimball Avenue)
 - Landscape along Kimball Avenue should reflect the character of the adjacent uses. Generally this avenue will feature an informal, meandering display of evergreen and deciduous canopy trees set against an evergreen backdrop. More natural and open layouts should be applied to areas adjacent to open space uses to allow views. More formal groupings with tall backdrop screen trees and landscaping may be applied in areas adjacent to higher density and non-residential uses. A lush understory and groundcover should be applied to medians and right-of-ways. Parking lots should be screened and entry points distinguished.
- Major Arterial Treatment (Hellman Avenue)

The Preserve Specific Plan

- Landscaping on Hellman Avenue south of the Perimeter Buffer Trail should enhance the rural/rustic character of surrounding areas. Informal groupings of indigenous landscape should be used. Tree and shrub species should complement and blend with the natural environment, providing roosting opportunities for raptors and other birds. Special palettes tailored to sensitive areas (e.g. natural open space adjacent to Mill Creek) will also be provided. The landscape design should blend these indigenous species with the plant palette used north of the Perimeter Buffer Trail in order to accomplish a smooth transition between the designs for the northern and southern portions of Hellman Avenue. North of the Perimeter Buffer Trail, the landscaping on Hellman Avenue should be dense and tall to help screen adjacent residential areas. Generally, Hellman Avenue will display an informal, meandering display of evergreen and deciduous canopy trees set against an evergreen backdrop.
- While not shown on Figure 23 the landscape treatment for Hellman Avenue continues north to Merrill Avenue.
- Local Collector Treatment
 - Landscaping along Local Collectors should reflect the character of the surrounding uses. Adjacent to commercial areas, landscaping should be formal with a backdrop screen that opens and closes at intervals to provide views of the businesses. Adjacent to residential areas, the landscaping should be dense and tall to act as a buffer and screen. A lush understory and groundcover should be consistently applied to the medians and right-of-way. Parking lots should be screened and entry points distinguished.
 - Cucamonga Avenue (North and South) will have a formal display of accent, deciduous street trees set against an evergreen broad-canopy screen backdrop.
 - The Loop Road will feature an informal meandering display of deciduous accent street trees set against an evergreen backdrop (where needed).
 - Bickmore Avenue and Legacy Park St. will have a formal display of broad-canopy, evergreen street trees with an evergreen backdrop.
 - Mayhew and Rincon Meadows Avenues will include an informal deciduous accent street tree set against a broad-canopy evergreen backdrop.
 - Chino-Corona Road will have an informal, meandering display of deciduous street and accent trees that blend with the open space elements. Backdrop trees will be used at side/rear yard conditions.
 - The landscape treatment for Local Collectors shall apply to the collector roadways north of Kimball Avenue.
- Rancho Miramonte Connector Treatment

Section VI **DESIGN GUIDELINES**

- Landscaping along Cucamonga Ave. should reflect the character of the surrounding uses. Adjacent to residential areas, the landscaping should be dense and tall to act as a buffer and screen. A lush understory and groundcover should be consistently applied to the right-of-way. Parking lots should be screened and entry points distinguished.



- Main Street Treatment
 - In the Community Core, Main Street requires special treatment to distinguish it as the heart of the community. Landscaping should be contained in planters with canopy trees to provide shade. Landscape elements on Main Street should emphasize hardscape elements, such as special paving on sidewalks and crosswalks, bulb-out curbs at intersections, public art, seating areas, themed lighting standards, specially treated newspaper racks, and themed shade structures and phone booths and other street furniture. North and south of the Community Core, generally the same plant palette will be carried through in order to blend the core into the adjacent residential communities. The landscape design pattern shall be more formal in the core and more informal in the residential and open space areas. The use of a backdrop screen will be used when screening is necessary in the residential areas (exceptions are front on residential and occasional views into commercial and recreation). Changes and additions may be made to the shrub and groundcover selections in order to suit uses outside the Community Core.

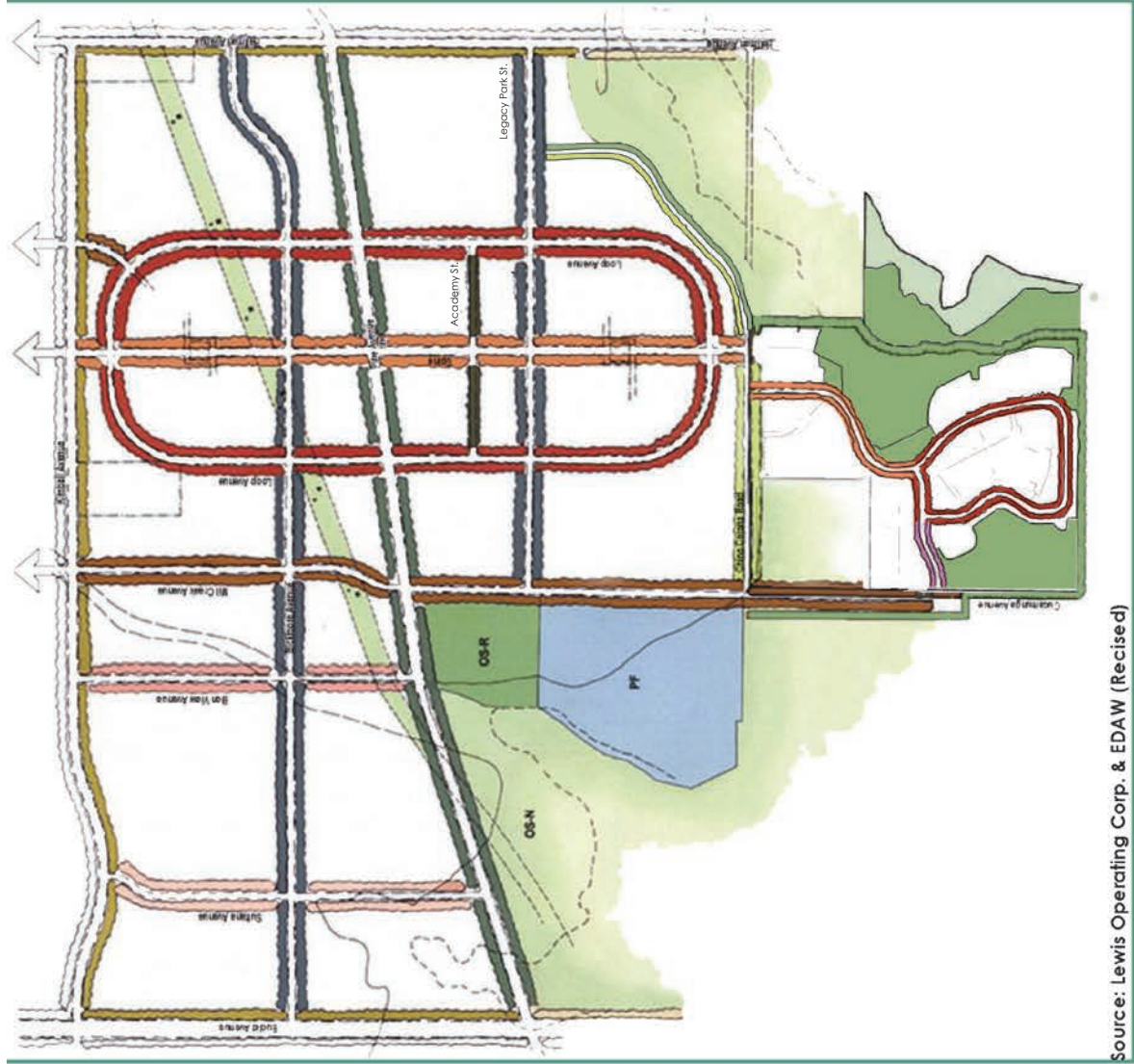


Examples of Paseos

- Paseo Treatment

- Paseos link the development areas with parks, schools, the southern natural open space area as well as points outside of The Preserve. Paseos include multipurpose paths intended to accommodate pedestrian, bicycle and, in some cases, equestrian traffic. Due to their length, Paseos are urban, suburban and natural in character depending upon the surrounding area.
- Similar to roadways, the landscape treatment of Paseos within individual projects may include some variety in order to distinguish between different districts or neighborhoods, identify major developments or activity centers, or to direct/orient travelers to key destination points. However these guidelines and the plant palette shall be used as a starting point to establish some consistency in the appearance of the Paseo to reinforce the image of the route.
- Paseo treatments are conceptual in nature. The exact design, configuration and content will be determined by the City in detailed site plans. The following treatments shall be applied to the Paseos depicted on Figure 16, Community Paseo and Open Space System:
 - Paseos should complement the character of the adjacent areas. For example, areas adjacent to lower density residential uses should be more natural in appearance using informal groupings of native vegetation while areas adjacent to higher density residential and non-residential uses may have more formal groupings of landscape and hardscape.
 - In urban areas, such as the Community Core, landscaping should be contained in planters with canopy trees to provide shade. In urban areas, paseos should include special paving, public art, seating areas and themed lighting.
 - The paseos adjacent to residential areas should include dense and tall landscaping to buffer and screen adjacent residential areas.
 - The paseos, including the Urban Buffer, in the Rancho Miramonte neighborhood adjacent to habitat preservation areas should include dense and tall landscaping to buffer and screen against direct and indirect disturbance.
 - The Urban Buffer should include densely planted vegetation where it adjoins the Open Space Natural land use designation. This landscape barrier (in lieu of a fence) would serve to discourage human and domestic animal interference with habitat areas or sensitive biological resources.

Figure 23: LANDSCAPE STRUCTURE PLAN



Key

- Euclid Avenue-Heilman Avenue**
Kimbball Avenue
Eucliptopus spp. - Argentine Umbrella
Platanus racemosa - Goodoud Acorn Tree
Pinus edmilliana - Backdrop Screen Tree
- Rincon Meadows Avenue**
Zakoue zeraie "Village Street" - Parkway 2 Tree Tree
Sowers mollis - Backdrop Screen Tree
Lagerstroemia indica - Accent Tree
- Sultana Avenue**
Panicum californicum - Parkway 3 Tree Tree
Sowers mollis - Backdrop Screen Tree
- Cucamonga Avenue**
Chino-Corona
Acacia saligna - Parkway 1 Tree Tree
Sowers mollis - Backdrop Screen Tree
- Loop Road**
Liquidambar styraciflua - Parkway Median Street Tree
Schinus molle - Backdrop Screen Tree
- Main Avenue (Spine)**
Platanus acerifolia - Parkway Street Tree
Platanus acerifolia - Median Tree
Lagerstroemia indica - Accent Tree
Median Tree
- Chino-Corona Road**
Populus nigra - Italica - Accent Tree
Platanus racemosa - Street Tree
Schinus molle - Backdrop Screen Tree
- Pine Avenue**
Pinus pinaster - Parkway Tree
Pinus pinaster - Median Tree
Pinus pinaster - Screen Tree
- Academy & Legacy Park Streets**
Magnolia grandiflora - Parkway Tree
Pinus edmilliana - Screen Tree
- Bickmore Avenue and B Street-**
Quercus agrifolia - Parkway Tree
Pinus edmilliana - Screen Tree
- Edison Utility Easement-**
T.B.D
- South Heilman and Euclid-**
Native and Indigenous Palette
T.B.D
- Urban Fringe Buffer (Trail)**
Ilex verticillata - Parkway Tree
T.B.D

Note: The location of the Urban Fringe Buffer (Trail) on the east side of the Edgewater Neighborhood is conceptual only and may change in the future depending upon the ultimate trail crossing location at Chino Corona Road.

Key (Rancho Miramonte Neighborhood Only)

- Major Entrance Street**
Pinus edmilliana - Parkway Street Tree
Backdrop Tree (North Side of Street)
Eucliptopus speciosus - "White Ironbark" - Backdrop Tree (North Side of Street)
- Secondary Entrance Street**
Pinus edmilliana - "Woodstock" ("Lemon Grove Tree") - Parkway Street Tree, Irregularly Spaced
- Loop Road**
Pinus edmilliana - Parkway Street Tree



Source: Lewis Operating Corp. & EDAAW (Revised)

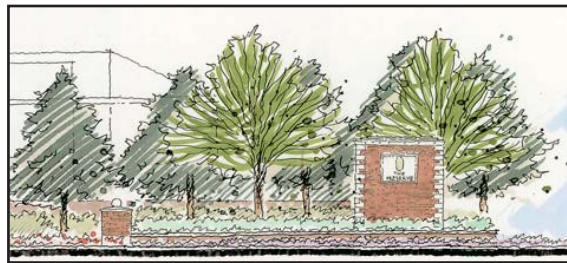
- Gateways

Major intersections, or Gateways, are important features of The Preserve and they are intended to be distinct and identifiable. Gateways require special design treatment in order to announce arrival into The Preserve itself, identify major developments or activity centers, provide direction to key destination points and distinguish between different parts of the Specific Plan.

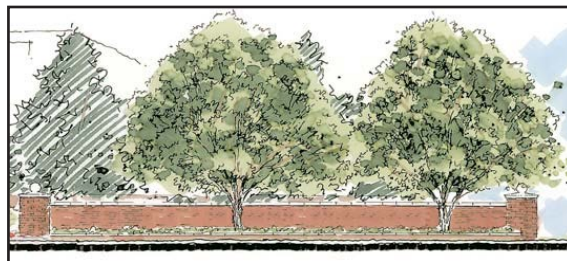
The treatments described below provide the minimum quality of the various gateway types. The exact design, configuration and content of each Gateway will be determined by the City in detailed site plans. The following gateway treatments shall be applied to the intersections depicted on Figure 24, Gateway Plan:

- General Gateway Treatment Guidelines

- Gateways should include low scale, themed identification concepts with exterior lighting.
- Special paving identifying crosswalks and pedestrian areas should be employed at gateways.
- Gateways may utilize an informal or formal grouping of tall accent and shade trees with a lush understory and groundcover.
- Gateways should incorporate street furniture and fixtures, such as bollards, benches, low walls, shade canopies, or trellises as appropriate.
- All corners of a gateway shall have the same design and treatment.



Example of Major Gateway



Example of a Minor Community Gateway



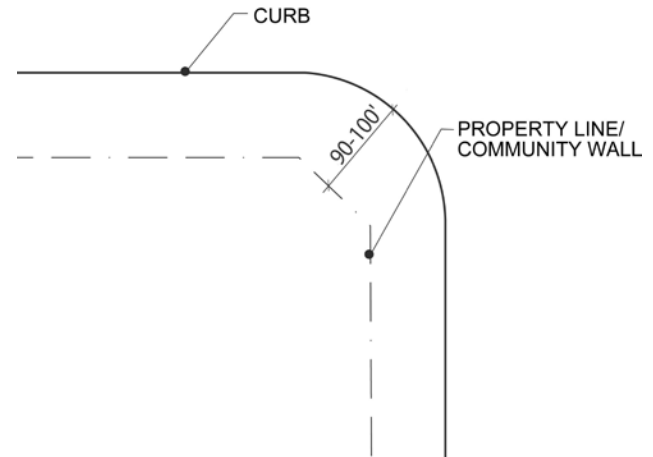
Example of a Major Community Gateway

- Major Gateways

- Major gateways announce entry into The Preserve through a visual statement and unique design features. As shown on Figure 24, Gateway Plan, major gateways are identified on intersections along Euclid, Hellman and Merrill Avenues.
- Major gateways shall include signs identifying The Preserve, themed lighting, enhanced hardscape elements, Chino and Preserve character elements, a lush landscaping understory, and distinct use of the planting palette that wrapped from the adjoining streets.
- Major gateways should be the largest of the gateways in size and scale to distinguish arrival into The Preserve.

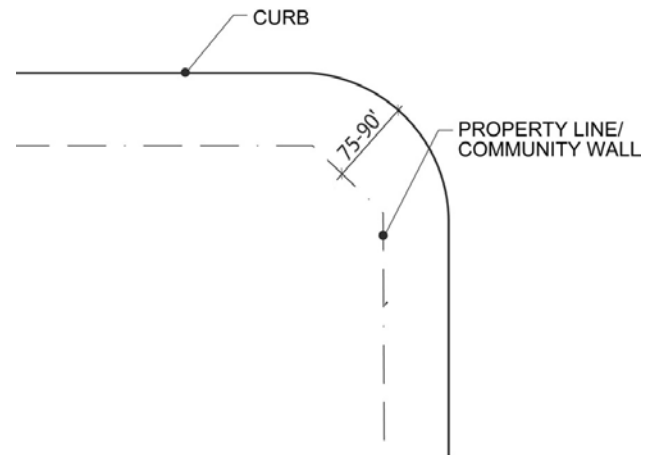
Section VI DESIGN GUIDELINES

- Major gateways range from 3,500 to 4,500 sq. ft. in area. They generally have a dimension of 90'-100' dimension measured back from the apex of the curb to the community wall that defines the back edge of the gateway (see the diagram on the following page).
- In addition to The Preserve Community identification, City of Chino identification will also be displayed on the signage at the major gateways.
- Major and Minor Community Gateways
 - Community gateways are intended to highlight major intersections within The Preserve and announce arrival into major districts.
 - Community gateways may include signs identifying the district or community, but should include themed lighting, enhanced hardscape elements, a lush landscape understory and distinct use of the planting palettes wrapped from the adjoining streets.
 - Minor gateways generally range from 2,500 to 3,500 square feet in area, and Major gateways from 3,500 to 4,500 square feet. The Minor Community Gateways have a dimension of 55'-70' measured back from the apex of the curb to the community wall, which defines the back edge of the gateway. The Major Community Gateways generally have a dimension of 75'-90' measured back from the apex of the curb to the community wall that defines the back edge of the gateway.

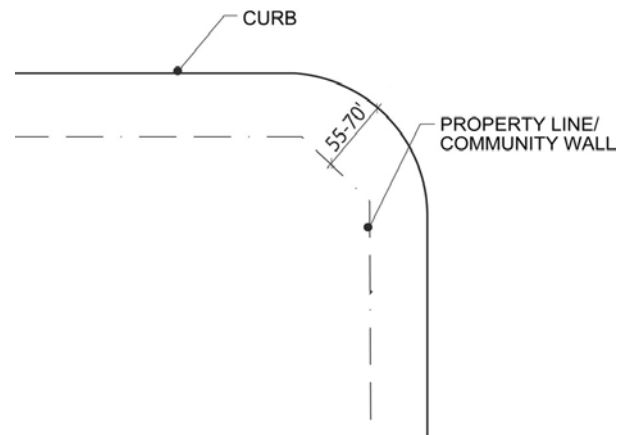


TYPICAL MAJOR GATEWAY

NOTE: DESIGN TO BE DUPLICATED ON OPPOSITE CORNER WHERE SHOWN IN GATEWAY DIAGRAM



TYPICAL MAJOR COMMUNITY GATEWAY



TYPICAL MINOR COMMUNITY GATEWAY

NOTE: DESIGN TO BE DUPLICATED ON OPPOSITE CORNER WHERE SHOWN IN GATEWAY DIAGRAM

- Neighborhood Entry Enhancements
 - Neighborhood entry enhancements are intended to signify arrival into key areas within the interior of The Preserve.
 - Neighborhood entries are not to be placed at all entries to each project. The exact

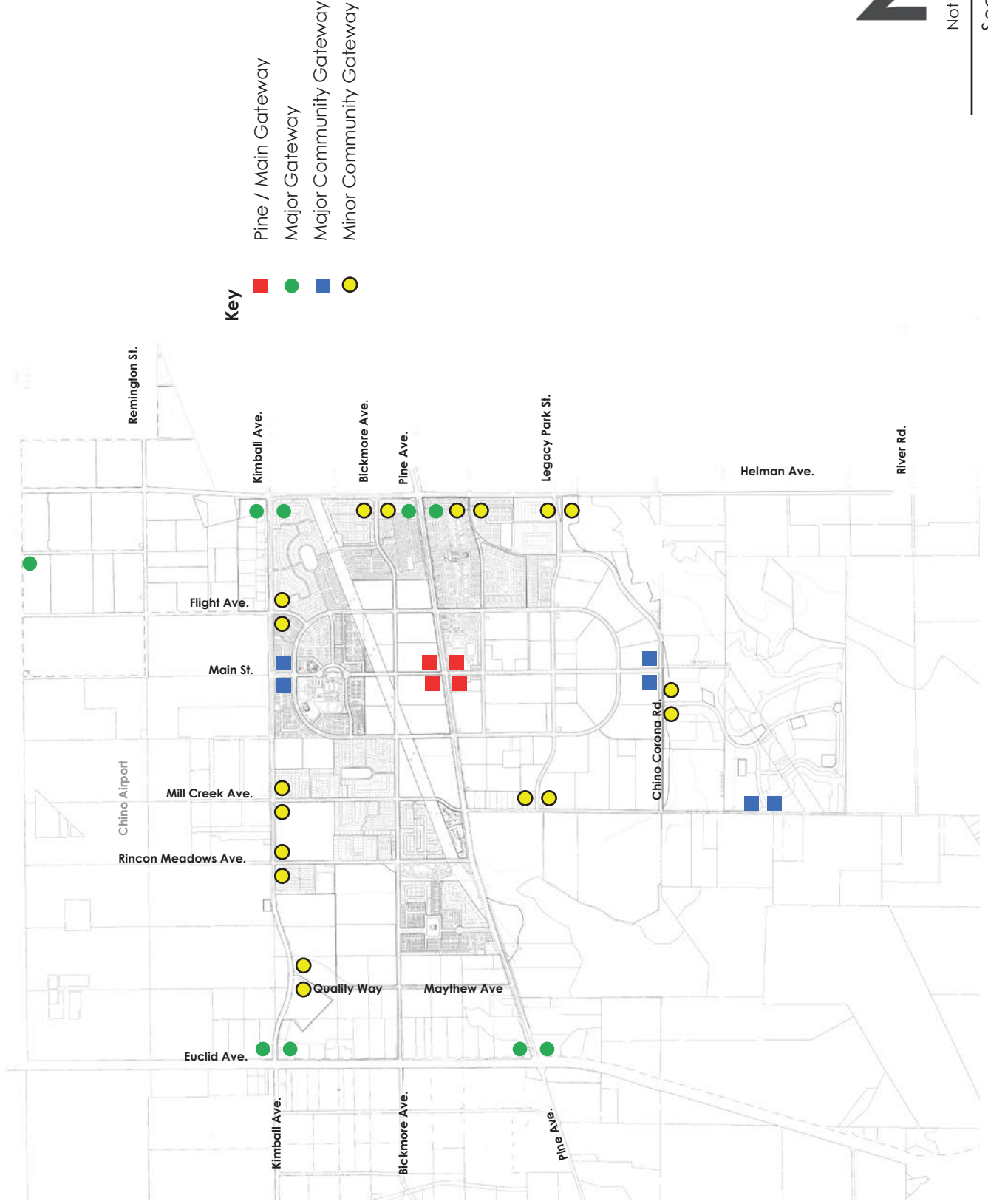


Pine and Main Gateway

location of specified neighborhood entries off of local collectors or local streets will be determined during neighborhood lotting design when project entry locations will be known.

- Neighborhood entry enhancements shall be minimal, strong and simple. The entries shall relate to the character of The Preserve as a whole and are intended to subtly announce transitions rather than create many individual walled subdivisions. These gateways could occur at apartment home entries, entries to major commercial areas, entries into major activity areas and entries into large districts of residential homes.
- Neighborhood entry enhancements may include simple monumentation, themed lighting, themed character elements and enhanced plantings, which draw from the palette of adjoining streets and special hardscape elements. Identification signs with the name of a particular development on the entry are only permitted for multi-family projects and must be located at entry drives and not at the corners of a specific project.
- The landscape and hardscape treatments of the gateway should enhance or mimic the overall image of the project.
- Neighborhood Entry Enhancements are the smallest in size and scale and can be incorporated into the entry-points of projects themselves as a form of identification.
- Special Major Intersection Enhancement at Pine Avenue and Main Street
 - The Pine/Main Gateway will be the most important intersection in The Preserve, announcing entry into the heart of the Community Core.
 - The enhancements for this intersection require a unique "one of a kind" treatment that will reflect the high quality, design, architecture and overall image of the Community Core and The Preserve.
 - Features may include textured pedestrian paving, signature building architecture, massing and detail, street furnishings, enhanced lighting, public art, seat walls and water features. Specific designs will be determined through the preparation of the Master Plan and Design Concept for the Community Core.

Figure 24: GATEWAY PLAN



Not to Scale

Section VI

LANDSCAPE PLANTING

All landscaping shall comply with Chapters 20.17 and 20.19 of the Zoning Code. In addition, all landscaping shall utilize the approved trees, shrubs and groundcovers as listed in the Landscape Plant Palette, Appendix 4. Additions to the Landscape Plant Palette are allowed with approval from the Director of Development Services as long as they comply with the guidelines in "Landscape Plants for Western Regions" by Bob Perry. In general, landscaping should serve to:

- Frame, soften and embellish the quality of the environment.
- Buffer units from noise or undesirable view.
- Visually reduce or break up building mass.
- Break up large expanses of parking and hardscape.
- Provide shading and climatic cooling of adjacent units.
- Direct and guide visitors.
- Screen or frame views.
- Create focal points.

Irrigation

Irrigation shall comply with Chapter 20.19 of the Zoning Code.

Preparation and Maintenance

The following strategies are intended to help reduce public operation and maintenance costs while maintaining attractive, enduring landscapes:

- Limit the areas for which public Landscape Maintenance District's are responsible.
- Transition from turf to low, carpet-like groundcovers or rockscape.
- Utilize water-conserving plant materials and irrigation methods with greater emphasis on dryer palettes.
- Reduce the use of lawns, consistent with The Preserve Design Guidelines, to reduce the need for frequent watering.
- To prevent overwatering, utilize hydrozoning by dividing the landscape into low, medium and high water use zones.
- Utilize on-site rainwater collection, recycled water and graywater.
- Utilize high quality and durable, state-of-the-art irrigation systems.
- Involve the community in projects such as tree planting programs/sponsorships.

Section VI **DESIGN GUIDELINES**

GRADING GUIDELINES

The Grading Guidelines are intended to guide earthwork so that it enhances and mimics natural landforms. The following guidelines apply to grading activity within The Preserve:

- Grading shall comply with the City's Grading Ordinance and standards.
- Cut and fill earthwork should be balanced within each project.
- Grading shall be minimized by following the natural ground contours.
- Man-made landforms shall be graded to avoid unnaturally sharp or straight edges and planes. The top and toe of graded slopes shall be rounded to avoid harsh machine-made appearance.
- Natural vegetation should be retained and incorporated into the project whenever possible.
- All graded slopes shall be stabilized and planted with approved trees, shrubs or groundcovers as listed in the Landscape Plant Palette, Appendix Four.
- Natural drainage-ways shall be preserved unless unfeasible.
- Collection and on-site retention of storm water runoff is encouraged to supplement irrigation and minimize water contamination from surface run-off.
- The use of retaining walls between parcels should be limited to those situations where other options are infeasible. Where retaining walls are necessary they should be located within the project and not along its boundaries or along streets so that visual impacts are minimized.
- Retaining walls are limited to 3 feet in height (retaining portion of wall).
- Where berms are required they shall be shown on grading plans.

RESIDENTIAL DESIGN GUIDELINES

The following guidelines apply to residential development in The Preserve and augment the Community and Neighborhood Design Guidelines. Additional standards apply in the Community Core, as described in subsequent sections.

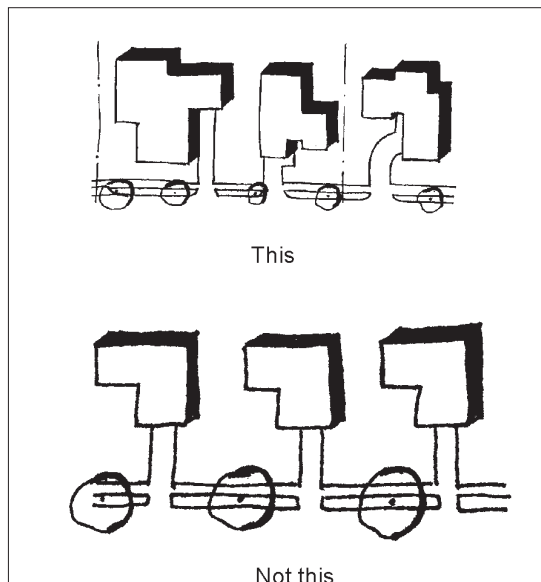
Residential Site Planning Guidelines

The goal of site planning is to integrate buildings and site improvements into a unified setting with minimal impact on adjacent uses and to create an appealing community. Site planning concentrates on the proper placement of buildings, roads and services. The goal of residential site planning is to create a neighborhood fabric that offers a unique, safe and visually appealing environment to those in and around the development. Site plan design should respond to the following guidelines:

- Effectively accommodate the residential unit types proposed.
- Utilize a variety of lot sizes and widths to encourage efficiency in design and a mixture of product types.
- Utilize a variety of lot configurations, including narrow and wide lot design.
- Utilize a variety of building configurations.
- Utilize varied driveway locations and garage orientations to break up repetitive curb cuts and yard patterns.
- Place utilities vaults, transformers, power lines and other similar utilities underground or screened from view, per Chapter 13.32 of the Chino Municipal Code.
- Buffer residential uses from existing adjacent land uses that may result in negative impacts.
- Provide for smooth and logical transitions between residential product types.
- Provide convenient access to the Paseo and Community Open Space System, sidewalks, activity centers and recreational facilities.
- Plan ancillary structures and trash enclosures as part of the project to ensure they are placed properly or screened.



Unit Segmentation



Building Footprint Variation

Section VI **DESIGN GUIDELINES**

Residential Architectural Guidelines

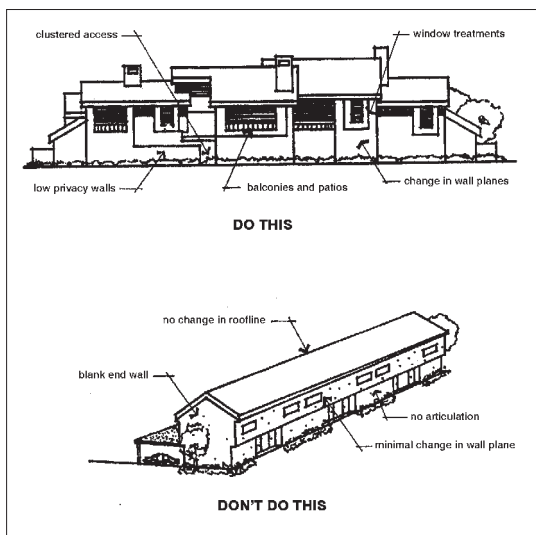
The architectural guidelines for Residential structures within The Preserve are not designed as rigid, product specific requirements that can lead to blandness and homogeneity. All developments/projects shall be designed and built of a high quality in accordance with the following guidelines:

- Include an assortment of unit designs to create variety and interest.
- Place an emphasis on and enhance elevations that are visible from public view.
- Include a multitude of building volumes, footprint, massing and setbacks to vary the streetscape.
- Ensure that building themes stay true to the chosen architectural style. Diverse elements from different styles should be avoided.
- Ensure that all residential structures possess articulated facades such as recesses, recessed openings, building separations, variations in plane and height, and the inclusion of elements such as balconies, porches, arcades and architectural projections consistent with the architectural style to provide depth and contrast and avoid flat, unarticulated building facades.
- Employ projections, recesses and overhangs to provide shadow and depth.
- Utilize vertical and horizontal roof articulation to introduce additional shapes, angles, and shadows and add visual relief to the tops of buildings. Roofs should also be designed as an integral component of the form of the building, its mass and facade. Roof articulation may be achieved by changes in plane of no less than 2.5 feet and/or through the use of traditional roof forms, such as gables, hips and dormers, and through effective use of roof overhangs. Flat roofs and A-frame type roofs are discouraged unless appropriate to the overall architectural style.
- Finish roof flashings, rain gutters and downspouts, vents and other roof protrusions to match adjacent finish materials and/or colors. Unfinished galvanized metal is not acceptable.
- Provide a minimum roof pitch of 4/12 (vertical rise/horizontal run) on all dwellings.
- Ensure that all exterior elevations are architecturally treated and detailed, but with an emphasis on the front façade and other facades that are visible from public view.
- Utilize various siding materials to produce effects of texture and relief that provide character and consistency. Any changes in material should occur at changes in plane to foster an appearance that is substantial, integral and complete. Material changes at the outside corners of structures give an impression of thinness and artificiality, which should be avoided. Material changes not accompanied by changes in plane also frequently give the material an add-on appearance.

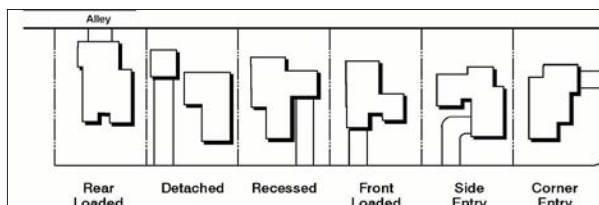
The Preserve Specific Plan

DESIGN GUIDELINES *Section VI*

- Exterior finish materials such as metal or aluminum siding and roofing, reflective materials and unfinished concrete block are not acceptable.
- Vary the size and placement of garages. When garages are located on the front side of the house, it can be entered from the front or side, when lot size permits.
- Garage "rows" in service areas or areas hidden from view are acceptable.
- Garages shall not dominate the street scene. Orient garage doors in a variety of ways to avoid the monotony of garage door corridors.
- Include variation in colors, materials and texture treatments.
- Blend compatible colors in a single facade or composition to add character and variety, while reducing, or breaking up the mass of the building.
- Employ lower wall wainscots and built-up or recessed reveals to add interest and break up vertical monotony.
- Avoid unusual patterns and color schemes.
- Coordinate color and finishes on building exteriors of all elevations of a building to provide a total continuity of design.
- Integrate and design stairs, balconies, porches and patios into the overall design of the building.
- Ensure that multi-family residential and cluster housing facades include features such as porches, entry doors, windows, outdoor living areas or courtyards that relate to the adjacent street(s) to create a welcoming appearance and promote individuality.
- Orient individual buildings of multi-family residential and cluster housing toward open space areas, recreational features and enhanced edges.



Multi-Family Building Form



Garage Orientation

Section VI **DESIGN GUIDELINES**

- Integrate detached garages and accessory structures into the overall design of the project with similar materials and details.
- Provide offsets and separate entries for 3+ car garages.
- Recess garage doors into the garage wall. Garage doors should be multi-paned or otherwise provided with subtle adornment to provide shadow relief. Decorative panels, windows, arched doorways or ornamental trim are strongly encouraged.
- Provide each unit in multi-family and attached housing projects with an individual identity. This can be accomplished by individually articulated entries, offsetting and staggering units and by combining one and two-story building forms to separate massing. This also will add variety to the streetscape.
- Step back upper floors within multi-story buildings in order to diminish building mass in a manner consistent with the specific architectural style.
- Integrate skylights, if any, into the roof form. "Bubble" skylights are not acceptable.
- Integrate the proportion and material of chimneys into the appearance of the roof.
- Inset window glass from the exterior wall surface and/or provided with dimensional trim as a method of providing a sense of depth.
- Consider privacy of adjacent residences when locating windows.
- Use of functional or decorative shutters is encouraged when appropriate to the architectural style.
- Master architectural guidelines shall be prepared for each separate project that provide more detailed, yet consistent, guidelines for each project/Master Plan.

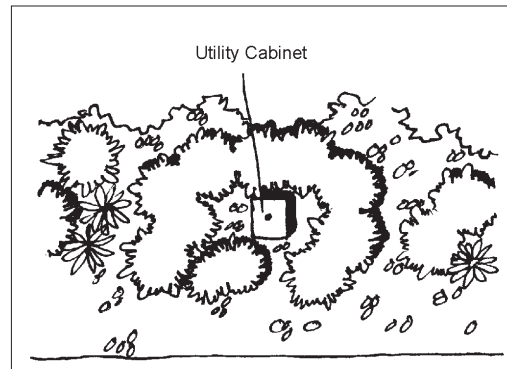
COMMERCIAL DESIGN GUIDELINES (NC AND RC)

The following guidelines apply to commercial development in The Preserve. Additional standards apply in the Community Core, as described in subsequent sections.

Commercial Site Planning

As with residential site planning, the intent of commercial site planning is to integrate buildings and site improvements into a unified setting with minimal impact on adjacent land uses. Site planning within the Plan area should concentrate on the proper placement of buildings, roads and services in order to provide convenient connections between uses, convenient access for motorists and pedestrians, and necessary buffering or screening of certain activities or uses. The site plan should take the following into consideration:

- Provide convenient access to the Paseo and Community Open Space System, sidewalks, residential areas and recreational facilities.
- Reinforce the linkage between commercial developments with building and landscape elements. In the case of landscape elements, these links may be made with either hardscape (e.g. paving), or softscape treatments.
- Provide open-air plazas and courtyards that are pedestrian friendly and act as a focus for a development.
- Break-up large surface parking areas into smaller pieces through site planning and landscape design. Encourage the placement of hedges and landscaping along the street side of parking areas.
- Plan ancillary structures, service areas and trash enclosures as part of the project to ensure they are placed properly or screened.
- Promote variations in building footprints through cut-outs, pop-outs and the positioning of buildings.
- Orient the building and major entrances toward the street.
- Orient parking to the rear of the building.
- Cluster non-residential buildings and create courtyards and pedestrian areas.



Screening



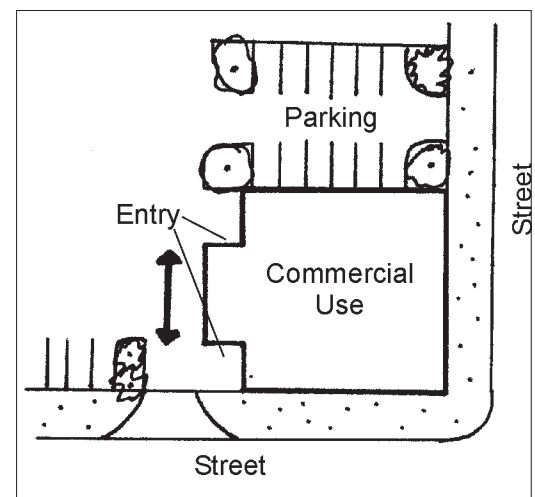
Example of a landscaped and screened parking area

Section VI DESIGN GUIDELINES

Commercial Architectural Guidelines

The architectural guidelines for commercial structures within The Preserve are not intended as rigid requirements. Require that all developments/ projects be designed and built of a high quality through use of the following principles:

- Avoid repetitive units that will produce monotonous elevations and street scene by using a variety of building forms, placement, color, materials and landscaping.
- Require a minimum of two primary building materials for all buildings.
- Ensure that all non-residential structures possess articulated facades including recesses, recessed openings, building separations, variations in plane and height, and the inclusion of elements such as balconies, porches, arcades and architectural projections to provide depth and contrast and avoid flat, unarticulated building facades.
- Use a variation in colors, materials and texture treatments to provide visual interest.
- Include a variety of rooflines and heights to create variety and interest.
- Relate each building in terms of bulk and mass but do not make them identical.
- Break up long planar surfaces and avoid one long, continuous building providing for visual relief and interest. Offsets, pop-outs, overhangs and recesses all may be used to produce effective shadow interest areas. Larger buildings require more relief than smaller buildings.
- Design windows to create visual interest by varying elements such as size or facade treatment, or by creating interesting patterns. Windows located flush to the building plane are discouraged.
- Detail and treat all exterior elevations exposed to public view. The rear and side elevations that are not subject to public view do not have to be as detailed as the front, but must incorporate major themes and elements.
- Integrate and design stairs, balconies, porches and patios into the overall design of the building.
- Design accessory structures, such as parking garages, to complement and be consistent with the architectural style of the main structures.
- Locate storage and service areas away from public views.
- Provide pedestrian access paths through parking areas.
- Incorporate shading into the design of projects.



Building Orientation

The Preserve Specific Plan

- Building architecture and materials must be of high quality and must weather well over time. Avoid trendy or garish architecture.
- Additional Commercial Standards are per Chapters 20.17, 20.18, and 20.19 of the Chino Zoning Code.

COMMUNITY CORE DESIGN GUIDELINES

The following Design Guidelines apply to the Community Core land use designation. The intent of these guidelines is to direct the development of a traditional downtown main street that is focused upon the pedestrian experience. These guidelines have been augmented and are now available as a separate document with greater detail through the Master Plan and Overall Design Concept.

Community Core Site Planning

The intent of Community Core site planning is to integrate buildings and site improvements into a unified setting with minimal impact on adjacent land uses. Site plans for the Community Core should take the following into consideration:

- Orient buildings and major pedestrian entrances for non-residential uses on the front property line of Main Street.
- Parking areas need to be located behind buildings off of Main Street and access to such parking must be off of side streets, not Main Street.
- Locate on-site parking in the rear of buildings. Encourage parking to be located in shared facilities to the greatest extent possible.
- Allow shade treatments, such as canopies, roof overhangs and arcades, to encroach into the public right-of-way on Main Street to encourage pedestrian use. Such encroachments require approval by the Public Works Department.
- Permit the following encroachments within the public right-of-way to provide a more varied articulation of space:
 - Ramps for disabled access
 - Improvements for bus transit and shuttle stops
 - Outdoor seating in conjunction with full-service restaurants and food retailers
 - News racks



Examples of a pedestrian-oriented Community Core.

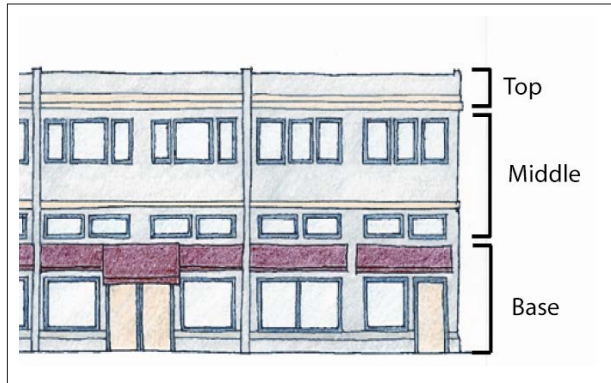
Section VI **DESIGN GUIDELINES**

- Galleries and arcades
(A full list of permitted encroachments is found in The Preserve Community Core Master Plan & Overall Design Concept.)
- Allow the following encroachments within setbacks abutting the public right-of-way:
 - Ramps for disabled access
 - Outdoor seating areas in conjunction with full-service retailers and food retailers
 - Public art
 - Fountains
 - Street furniture
 - News racks
 - Awnings, canopies and arcades
(A full list of permitted encroachments is found in The Preserve Community Core Master Plan & Overall Design Concept.)
- Reinforce the connections between buildings on Main Street through building and landscape elements. In the case of landscape elements, these links may be made with either hardscape (e.g. seating areas, public art, paving), or softscape treatments.
- Provide convenient access to the Paseo and Community Open Space System, sidewalks, residential areas and recreational facilities.
- Encourage open-air plazas that are pedestrian friendly and act as a focus for surrounding development.
- Plan ancillary structures, service areas and trash enclosures as part of the project to ensure they are placed properly or screened. In no case should they be located on or visible from Main Street.
- Ensure variations in building form through cut-outs, pop-outs, the positioning of buildings and similar treatments.
- Parking structures should be located throughout the Community Core. This will reduce size of parking areas and maximize convenience for the customer.
- Public structures, such as libraries, museums and community centers, should be sited in a manner to emphasize their importance. This includes ensuring that the building is visually prominent, located at focal points, connected to walkways and located near parking areas.

Community Core Architectural Guidelines

The architectural guidelines for structures in the Community Core are not intended as rigid, product specific requirements. All developments/projects in the Community Core shall be designed and built to a high level of quality through use of the following principles:

- Design and orient each structure so that pedestrian activity on Main Street is facilitated.
- Provide special, enhanced, "signature" architecture at prominent locations.
- Avoid repetitive structures that will produce monotonous elevations and street scene.
- Relate each building in terms of bulk and mass but do not make them identical.
- Design all buildings to have three parts: base, middle and top.
 - For residential buildings, design base or ground floor treatments with individual dwelling entries, stoops and porches. For commercial/retail buildings, ground floors should have windows, openings and articulation.
 - Middle sections should consist of a multi-story façade element with varied fenestration, color, materials and/or breaks in wall plane.
 - Top floors or cornice levels should be modulated, and exhibit a strong cornice line or overhang, or be otherwise emphasized. Tops of building facades should be visually terminated through the use of articulated rooftops, stepped parapets, vaulted roofs, stepped terraces, domes and/or other forms of multifaceted building tops.
- For buildings along collector and local level street frontages with residential as a ground floor use, provide a pedestrian-friendly, "human scale" edge, such as individual entries, porches, stoops or overhangs.
- Allow for visual relief for interest and to break up long planar surfaces and avoid one long, continuous building. Offsets, pop-outs, overhangs and recesses all may be used to produce effective shadow interest areas.
- Include a variety of rooflines and heights to create variety and interest.
- Design exterior windows to create visual interest by varying elements such as size or facade treatment, or by creating interesting patterns.
- All exterior elevations shall be treated and detailed.
- Include variation in colors, materials and texture treatments.
- Building materials must be of a high quality that will weather well over time.



Section VI **DESIGN GUIDELINES**

- Integrate and design stairs, balconies, porches and patios into the overall design of the building.
- Design accessory structures, such as parking garages, to complement the main structures.
- Orient storage and service areas away from public views.
- Provide pedestrian access from parking areas to Main Street.
- Avoid trendy or garish architectural styles.
- Smaller scale buildings are encouraged along Main Street.
- Larger scale buildings must be designed and located with care to ensure that they address the pedestrian scale of the Community Core and do not overwhelm adjacent buildings.

Community Core Streetscape

- Ensure that special paving treatments are used to identify intersections and pedestrian crossings.
- Provide an array of themed street furniture and fixtures, such as seating areas, drinking fountains, landscape planters, water fountains, shade canopies and trash receptacles that are integrated into the overall design and character of Main Street.
- Encourage public art to be located in the Community Core.

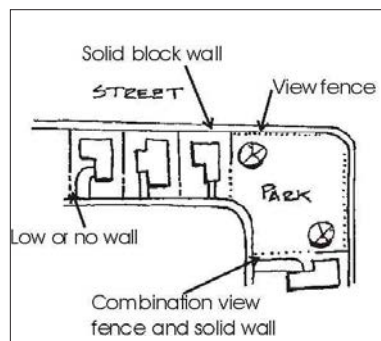
INDUSTRIAL AND AIRPORT RELATED DESIGN GUIDELINES

The design standards specified in Sections 20.17.080 of the Zoning Code shall apply in the Light Industrial and Airport Related land use designations.

WALLS AND FENCES

The placement and treatment of walls and fences can have a significant impact on the community image. Walls are necessary for security, sound attenuation, privacy and for retaining earth. All walls and fences within The Preserve shall comply with Section 20.10.080 of the Zoning Code, except that the wall type may vary under the following conditions:

- Solid walls are required when necessary:
 - For sound attenuation and privacy when residential uses abut Expressways, Major arterials and collectors.
 - Walls may exceed height limits for sound attenuation on major and arterials and collectors if approved by the Director of Development Services.
 - For security, sound attenuation and privacy when residential uses abut commercial, light industrial, schools or churches.
- Solid fences are encouraged as privacy screens between residential units or when residential uses abut the Community Paseo and Open Space system.
- Solid fences are not encouraged when the adjacent use does not require privacy, security or sound attenuation. Examples of this situation may include open space, habitat and recreational areas.



Wall Types



Wrought Iron View Fence



Block Wall



Wrought Iron Over Low Block Wall View Fence

Wall and Fence Guidelines

- Integrate and plan walls and fences as part of the adjacent structure(s).
- Design walls and fences in a style, material and color that complement the adjacent development.
- Architecturally treat walls and fences.
- Require that exterior walls over 60-feet in length be broken by planting recesses, or offsets.
- Encourage the combination of solid and view fences.
- Use landscaping to mask walls and reduces their perceived length.
- Lowered walls are encouraged along the sides of homes to provide visual relief for corner lots.

Section VI DESIGN GUIDELINES

SIGNAGE GUIDELINES

Signs are a means to advertise and identify places, events and businesses within The Preserve. Yet, due to the high visibility of signs, they are an important design element of the physical environment and must be considered during the design phase of all developments. Well-designed signs are not only pleasing in appearance, but can enhance the economic value and accessibility of a project. All signs in The Preserve shall comply with Title 16, Signs, of the City of Chino Municipal Code, as outlined in Section 16.05.060.

General Signage Guidelines

- Require that signs are compatible with the building and site design in terms of color, material and placement.
- Require that all signs be maintained in good repair.
- Require that the exposed backs and sides of signs be architecturally treated to blend with the exterior character of the buildings and site.
- Require that the color schemes for signage relate to other signs and graphics in the vicinity in order to achieve a coordinated sense of identity.

Community Core Signage

Signs in the Community Core must be designed to reflect the pedestrian nature of the place. The following guidelines shall be followed in the Community Core:

- Ensure that signage in the Community Core is oriented and scaled to the pedestrian and not the automobile.
- Prohibit the use of internally illuminated can signs on Main Street.
- Encourage signs on Main Street to be backlit or externally illuminated.
- A planned sign program, which integrates these guidelines at a project specific level, is required to be developed as part of the master plan for the Community Core.



Examples of appropriate signage in the Community Core.

LIGHTING GUIDELINES

Lighting must be considered with the architectural theme as well as for safety purposes. Lighting fixtures and standards can define the quality appearance of developments and help identify an area. As a basic guideline, lighting shall comply with the Chino Zoning Code, as well as the following:

General Lighting Guidelines

- No specific design is prescribed and variations in treatments are allowed; however, light fixtures and standards should be coordinated along public rights-of-way and among individual projects.
- For projects near the Chino Airport, lighting shall comply with requirements of the Chino Airport Master Plan, which typically requires outdoor fixtures to be down-lighted or hooded.
- Continuous blinking lights are not allowed.
- Light standards should blend architecturally with buildings, pedestrian areas, other hardscape elements and street furniture.
- Light standards and fixtures shall conform to state and City safety and illumination requirements.
- The design and placement of site lighting must minimize glare affecting adjacent properties, buildings and roadways.
- Lighting should be positioned to enhance the safety of vehicular and pedestrian traffic at key points along roadways and paths. Light should be concentrated at intersections and pedestrian crosswalks.
- Parking areas should utilize lighting standards and fixtures that are consistent with and a continuation of the character of the structure.
- Consider use of energy efficient products



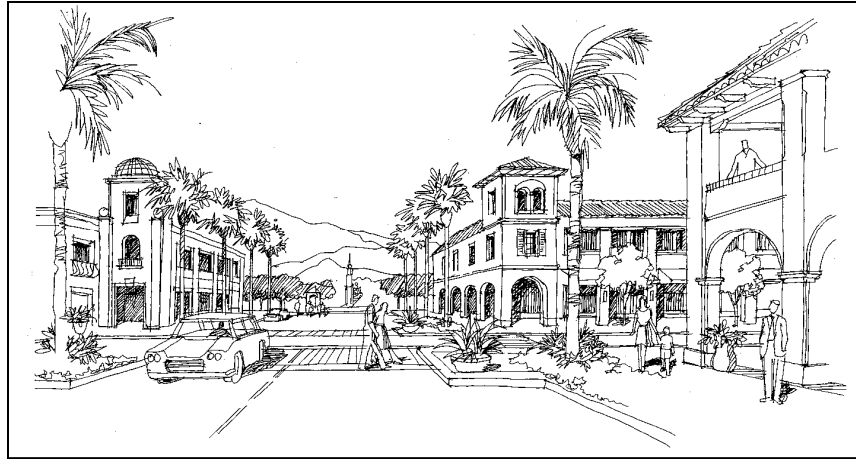
Example of pedestrian lighting



An example of lighting that blends with the style and character of the surrounding architecture

This page intentionally left blank.

SECTION VII: ADMINISTRATION



This page intentionally left blank.

RESPONSIBILITY

The City's Director of Development Services shall be responsible for administering the provisions of The Preserve Specific Plan in accordance with the provisions of this Specific Plan, the State of California Government Code, Subdivision Map Act, and the City of Chino General Plan, Zoning Code, and Municipal Code.

Specific Plan Amendment

The Preserve Specific Plan may be amended per Section 20.23.050 of the City of Chino Zoning Code (Specific Plan and Amendments).

Minor Amendments

Minor amendments include simple modifications to text or graphics that do not change the meaning, intent, or are contrary to any provision of the Specific Plan. Minor modifications may be accomplished administratively by the Director of Development Services and are appealable to the Planning Commission and City Council.

Major Amendments

Major modifications are amendments to exhibits or text that are intended to change the intent, development standards or other significant provisions of the Specific Plan. Major modifications require a Specific Plan Amendment and approval by the Planning Commission and City Council in accordance with the requirements of Section 20.23.050 of the Zoning Code (specific plan and amendments).

Interpretations

Interpretations of the provisions of this Specific plan are subject to Section 20.02 of the Zoning Code except as follows:

- When there is a question or ambiguity regarding the interpretation of any provision of this Specific Plan, The Director of Development Services has the authority to interpret the intent of such provision.
- The Director of Development Services may, at their discretion, refer interpretations to the Planning Commission for their consideration and action. Such a referral shall be accompanied by a written analysis of issues related to the interpretation.
- All interpretation made by the Director of Development Services may be appealed to the Planning Commission in accordance with the appeal procedures set forth in the Zoning Code.

Severability

If any section, subsection, sentence, clause, or phrase of this Specific Plan, or future amendments or additions hereto, is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this plan.

ADMINISTRATION

DEVELOPMENT ADMINISTRATION SYSTEM

This section describes the system for administering development within The Preserve Specific Plan. The development administration system has been designed to help achieve the vision for The Preserve and make it a distinctive place. The administration system is tailored to respond to the goals of accommodating a segmented market, maintaining flexibility, being sensitive to costs and limitations on infrastructure, diversifying community character, and encouraging variety in product types and design. The administration system augments the City's existing development review processes. The major difference is the frame of reference for evaluating proposed development projects.

Variations in Average Residential Density

The distribution of residential density in The Preserve is based upon an average (mean), not a maximum. Average density differs from conventional zoning that dictates a maximum density and often results in communities lacking uniqueness. Instead, average density, along with other provisions of this plan, allows and encourages the flexibility to provide products at varying densities as long as the average density specified for each land use designation within a given project is not exceeded. For instance, a project may include products at a density above the "average" as long as products are also offered at densities below that "average" within the same project. If the average is maintained within each parcel/project, then the total unit count for the entire planning area will not be exceeded.

However development is not "squeezed" into a narrow density pattern at the top of each density range as it is with more conventional zoning.

The intent of the average density concept with respect to residential land uses is to accommodate and encourage a range of densities and product types (i.e., detached, attached and clustered homes etc...) within individual residential land use designations of the Specific Plan. This feature of the plan is included in order to ensure that a range of housing opportunities are provided to future residents, to provide variety and character in the design of neighborhoods, and to provide developers flexibility to better meet market demand.

Standards for Variations in Density

This section contains the requirements for distribution of density within the ranges allowed for residential land use designations, and shall be applied to all residential projects, including master plans. This section applies only to shifting units that are located within the same land use designation and the same project or master plan. The section entitled "Transfer of Density" (see following pages) specifies the conditions under which density may be transferred between different land use designations. The "Residential Density Distribution Guidelines" section that follows this section also provides guidance on how different densities are to be distributed within a given project.

- Every project may be developed at any density within the range specified in their respective land use designations as long as the average for that land use designation is not exceeded. For instance, land within the High Density Residential 16 (HDR16) designation has an average density of 16 dwellings per acre but enables those dwellings to be built at densities anywhere from 12 to 20 dwellings per acre.

The Preserve Specific Plan

- For a given project densities are expected by the City to be distributed along the density range of a given land use designation. At a minimum no more than 50% of the units within a single land use designation of a project may be at the average density or any single density. For example, a 20-acre project in the HDR 16 designation, which would yield a maximum of 320 dwellings, could meet this requirement by building; 160 dwellings (50%) at 16 units per acre; 80 dwellings (25%) at 18 units per acre; and 80 dwellings (25%) at 14 units per acre. The Residential Density Distribution Guidelines in the section that follows provides additional direction and guidance.
- Compliance to ensure that the average density is not exceeded is monitored on a project-by-project basis by City Staff. The developer is required to provide proof, to the satisfaction of the Director of Development Services, that their project meets the density standards as well as the Residential Density Distribution Guidelines.
- Each land use designation is exclusive, not cumulative. For example, property in a Medium Density Residential designation may not develop to the densities of the Estate Residential designation.
- Density may be shifted between discontinuous areas within the same land use designation contained within a master plan, provided that such areas are under common ownership and are part of the same master plan.

Residential Density Distribution Guidelines

In the review of projects, including master plans and associated development applications, the City will require that their design and development provide for a variety of densities and/ or mix of housing types. Toward this end, the following guidelines shall be adhered to in the review of residential development applications:

- In order to meet the requirement that no more than 50% of dwellings for a single land use designation within a given project are to be built at the average density or any other single density, such densities must substantially differ from the average. For example, if a project is in the Low Density Residential land use designation, which has an average density of 5.5 dwelling per acre, the off-average variations could be 4 dwellings per acre at the low end and 7 per acre at the high end of the range. Differences must be significant enough to be easily perceived visually. In general, densities for detached products should vary at least one full unit-per-acre. Minor differences in density are not acceptable to meet the purpose of these guidelines.
- The variation that is desired can be achieved by using a range of lot sizes/densities for conventional single-family dwellings or by including a mix of clustered, attached and/or single family dwellings.
- In meeting the 50% requirement, differences must be distinct and based on typical lot sizes for a given area. Variations in lot sizes that occur only as part of the layout of the project (i.e., knuckle and cul-de-sac fan lots, etc.) do not qualify as meeting the 50% requirement.
- Generally, larger projects, including master planned areas, are expected to provide a greater range of variation in density sizes and product types than smaller projects.

ADMINISTRATION

- Individual building envelopes or “builder pads” with a single density/product type must be limited in size to provide for an adequate distribution of different densities and housing types (i.e. detached, attached, condos, town homes, apartments, etc.). For detached dwellings and attached dwellings with densities less than 12 units per acre, envelopes with a distinct density and/or a distinct housing type generally should be 30 to 80 dwelling units in size. Envelopes for “for sale” attached dwellings 12 units per acre or greater should be between 50 and 175 dwellings in size.
- Envelopes for apartments may be up to 300 units, provided that adequate variety in terms of design has been incorporated, to the satisfaction of the Director of Development Services, for such features as: building height, articulation and massing; footprint and/or floor plan variations; using different architectural styles/themes, and similar design features that prevent uniformity of building design and site layout. Individual projects may exceed the 300-unit limitation as long as a unique and distinct building style is introduced for every 200 units.
- Master Plans and “builder conveyance lot” subdivision maps must demonstrate how variety is achieved and maintained to the satisfaction of the approving authority, and must specify density and product type requirements for individual conveyance lots or, in the case of a master plan, individual building sites.
- Distribution of densities/product types must also take into consideration the entitled or developed densities, layout and product types of adjacent development. The purpose of this guideline is to avoid the inadvertent creation of a mass of undifferentiated, uniform product types or densities.

Transfer of Density

Excess residential density may be transferred only among properties under a single/common ownership. The ability to transfer density between areas of The Preserve Specific Plan provides flexibility to respond to site constraints and market demands, yet still ensure that the overall goals of The Preserve are maintained. Density is considered “excess” only when a project/master plan has been approved at or developed below the average density specified for its applicable land use designation or designations. In cases where there is more than one geographic area within a project with the same land use designation, the dwellings proposed in all such areas within the same land use designation would be added together to determine if there is excess density available.

- The amount of units below the average for each land use designation can be transferred subject to the following requirements:
- Density may only be transferred subject to and within an approved master plan(s), except as provided herein (See the sixth bullet).
- Residential dwelling units may only be transferred as follows:
 - Transfers up from Low Density Residential (LDR) Designations to the Medium Density Residential (MDR), High Density Residential 16 (HDR16), or Community Core (CC) designations.

The Preserve Specific Plan

- Transfers up from an MDR to an HDR or CC designation.
- Transfers from an HDR to another HDR or CC designation, and from a CC to either another CC or an HDR designation.
- Areas receiving a transfer of density cannot exceed the maximum density range specified for their particular land use designation. For example, land in the HDR 16 designation, which has a range of from 12 to 20 units per acre, would not be allowed to develop at densities greater than 20 units per acre.
- Excess density may not be transferred from or into properties in the Estate Residential Land Use Designation or into the Low Density Residential land use designations.
- The basic land use patterns and the intent of the land use plan shall be maintained.
- The locations of the sending and receiving areas for dwelling units to be transferred must be specified within an adopted master plan or master plans at the time of the transfer, with the following exception. Dwellings may be transferred from areas within a master plan to an area under the same ownership outside of a master plan provided: 1) a legal instrument, prepared to the satisfaction of the City Attorney, is executed attaching development rights associated with the units to be transferred to the title of specific receiving parcels, 2) the transfer is approved by the City Council, and 3) a development agreement with the City specifying the terms and conditions of such transfer. Such transfer must be executed at the time of adoption of the master plan(s) or amendments thereto.

Master Plans

Objectives

Master plans are required in order to achieve the following objectives:

- Ensure that applicable concepts, requirements and provisions of The Preserve Specific Plan are implemented in a cohesive and comprehensive manner;
- Provide for a high level of variety, character and quality of development within the master plan area;
- Establish continuity, compatibility and connectivity within the master plan area, neighboring developed properties and areas that may be developed in the future.

A master plan also allows a developer to receive approval from the City on product mixes, density variations and other development features of their project in advance of more detail-oriented approval of subdivision maps and site plans.

When Required

Master plans are required in the following instances:

- All projects 5 acres or greater in area.

ADMINISTRATION

- As specified under the Regional Commercial (RC) Land Use Designation, a master plan for the entire RC designation is required prior to approval of development within any part of the designation.
- In accordance with the master plan requirements of the Community Core land use designation.
- If density transfers are being proposed as provided for in this Specific Plan under the "Transfer of Residential Density" section.
- A master plan must apply to all contiguous properties under the same ownership, unless, the Director of Development Services approves a smaller area for the master plan. The purpose of this provision is to facilitate meeting the objectives of a master plan (see above) and to prevent properties from being developed "piecemeal" in an uncoordinated and disjointed manner.
- Master plans may have non-contiguous areas if determined by the Director of Development Services to further the purposes of this Specific Plan.
- If the Director of Development Services determines that a master plan is necessary for development to comply with the Guiding Development Principles or implement the requirements and provisions of The Preserve Specific Plan.
- The Director of Development Services may also require a master plan to extend beyond the boundaries of the ownership in question. The purpose of such extension would be to recognize logical planning boundaries, (streets, natural drainage ways, boundaries with non-residential land use designations, etc) and to ensure that areas outside of the ownership don't become fragments that will be difficult to develop in the future. It is recognized that the applicant does not own such properties and therefore information provided for these areas need not be as detailed as the owned area. However, enough information must be provided to effectively demonstrate that the design of the owned area will not unduly compromise the ability of other areas within the master plan to develop in accordance with the principles, standards and guidelines of this Specific Plan.

Contents of a Master Plan

In general, information needs to be included in a master plan so that the basic components, features and characteristics of the overall project can be discerned. The master plan is not expected to be a blueprint of every detail associated with the project. Rather, it is to outline the key features and characteristics of the development proposed and how such development will relate and be connected to neighboring properties. Master plans must, at a minimum, include information on the following:

- If a transfer of density is proposed, the size, location, proposed density and number of dwelling units (for non-residential, square footage), of "receiver" and "sender" area envelopes.
- Location and size of individual development sites or envelopes – i.e., areas within a master plan that have a distinct density and/or product type (detached, attached and clustered).

The Preserve Specific Plan

- For residential projects, statistical information demonstrating that the densities proposed comply with the project's land use designation(s) and is in accord with the Residential Density Distribution Guidelines.
- Location and size of public and private parks, trails, public open space or other public facilities, or utilities such as schools, fire stations, reservoirs, pump stations, detention basins, etc.
- Location and size of proposed common open space areas, and a description and general location of private recreational facilities and amenities such as swimming pools, community meeting rooms, stables, sports courts (tennis, basketball etc.) and similar, common facilities.
- Location and description of existing development on site and for adjacent areas. Information on other prominent physical features of the site (566 ft. inundation areas, windrows, special topographical features, etc.) also shall be included.
- Existing physical hazards or constraints, including airport over flight areas, biologically sensitive areas (if any) and cultural resource areas (if any).
- Location of entry monuments and gateway treatments, landscape edge treatments (including major roadways) other special landscape elements and any other special features proposed (Fountains, gazebos, towers, water features, etc.).
- General vehicular and pedestrian circulation concepts including, trails/paseos, including points of connection to surrounding areas and major streets (collector and above).
- Anticipated phasing of development.
- Other information deemed necessary by the Director of Development Services.

Review Process

Master Plans shall be reviewed and approved in the same manner as a Site Approval. There is an optional two-step process for Master Site Approval submittals. Master Plans that are very large in size and encompass (i.e. 20 acres or more) areas of land that have not evolved enough to include product placement, unit counts, park locations, street locations, pedestrian connection points between parcels, or other details may be submitted in two applications, Master Site Approval "A" and Master Site Approval "B". Typically, the two-step process will correspond to a conveyance map and Tentative Tract Map submittal, respectively. Master plans that are smaller in size and have a more evolved level of detail, including proposed product types, units by parcel, pocket park locations, etc may be submitted under the Master Site Approval "B".

If the developer has the detail that is necessary to demonstrate master plan concepts, then the two-step process is not required and a Master Site Approval "B" application can be submitted.

ADMINISTRATION

Location and Adjustment of Land Use Designations

The locations of the land use designations shown on the land use plan are approximate and generally follow streets, property lines, natural features and elevation contours. Adjustments to any of the land use designation boundaries are subject to review and approval by the Director of Community Development, and any such requests for adjustment must be made in conjunction with the submittal of a land use application.

Zoning for properties that are adjacent to a street extend to the centerline of the abutting street. Minor changes in boundary alignment and location are permissible with approval by the Director of Development Services. However, the intended character and overall location of the land use designations must be maintained. For example, adjusting a boundary to conform to a precise street alignment instead of a conceptual location would be a logical interpretation of the plan's intent.

Regarding the many irregular boundaries associated with the Open Space Land Use Designations, which generally do not follow property lines, more detailed information regarding the natural or manmade features that provide the basis for such boundaries may be used as the basis to adjust them to more accurately reflect such features. Examples of such features include but are not limited to: ground elevation lines such as the 566' dam inundation elevation; 100-year flood areas and other drainage swales or watercourses; federally designated critical habitat areas; and potential jurisdictional areas containing waters of the United States of America.

It is recognized that, as a practical matter, some adjustments to Specific Plan land use designation boundaries may be necessary to accommodate the logical distribution of building envelopes for the various densities and product types proposed within a master plan. Such proposed adjustments shall be reviewed by the Director of Development Services to ensure that they do not compromise the intent of the Specific Plan. However, adjustments to land use designations cannot result in allowing a total number of dwelling units within the master plan that is greater than would be allowed if no such adjustments were proposed. In order to address this issue, all master plan applications must include an accurate calculation of the number of units that would be allowed for each area or areas within the master plan for each land use designation within such master plan, based on the unadjusted boundaries of this Specific Plan.

FINANCING

The following is based on a financial analysis prepared Stanley R. Hoffman Associates and provides a summary of the estimated costs of public improvements. The preliminary estimated costs are summarized in Table. In general, The Preserve is a self-supporting project with developers responsible for on and off site improvements necessary to support development.

The primary method of financing will be through development impact fees. The estimate costs included in Table 7 (prepared at the time of this writing) will be refined and integrated into a development impact fee program for the various types of infrastructure, facilities and improvements necessary for development of the Specific Plan. Other types of financing measures may and undoubtedly will be considered and utilized over the life of the project. Typical measures could include, but are not limited to: community facilities districts, assessment districts, developer constructed facilities in-lieu of fee payment, and state and federal funding that may become available.

TABLE 7	
ESTIMATED PUBLIC IMPROVEMENTS COSTS	
THE PRESERVE	
Category	Amount
Traffic ¹	\$76,800,000
Drainage ¹	\$25,000,000 ³
Potable & Recycled Water ¹	\$16,800,000
Sewer Collection ¹	\$8,700,000
Sewage Treatment Facilities ²	\$49,640,385
Police Facilities & equipment	\$2,463,212
Fire and Paramedic	\$2,530,000
General Facilities	\$3,376,363
Park Development	\$33,232,121
Community Amenities/Facilities ⁴	\$26,000,000
Total	\$244,542,081
¹ Costs include construction costs, administrative and engineering costs and a contingency, but exclude any right of way acquisitions costs. ² IEUA Sewage treatment facilities fees – subject to change ³ Estimated Chino Fair Share only. Total cost, including estimated Ontario share, is \$42,300,000. Source: Stanley R. Hoffman Associates, The Planning Center, City of Chino ⁴ Rough estimate provided at time of publication. Refined numbers to be developed as Specific Plan implementation action item.	

TABLE 8
SUMMARY OF FUNDING REQUIREMENTS
THE PRESERVE

Facility or Service	Provider	Requirements	Capital Funding	Operation and Maintenance Funding
Transportation				
Freeways and interchanges	Caltrans	Modifications required	Federal, State, Regional Transportation funds/programs	State of California or Caltrans
Arterials and collectors	City	Additional lanes	Development related financing	General Fund
Local roads	City	Additional lanes	Development related financing	General Fund
Significant Intersections	City	Additional signalized intersections	Development related financing	General Fund
Fire and Paramedic	Chino Valley Independent Fire District	Additional facilities required	Impact Fees	Special district property tax
Police	City	Additional facilities required	Impact Fees	General Fund
Libraries	San Bernardino County Public Libraries	Additional facilities required	Impact Fees	Special district property tax
Domestic Water	City	Additional on-site facilities	Development related financing	Enterprise fund revenues
Recycled Water	Inland Empire Utilities Agency	Additional on-site facilities	Development related financing	Enterprise fund revenues
Wastewater	Inland Empire Utilities Agency	Additional on-site facilities	Development related financing	Enterprise fund revenues
Storm Drainage				
Local Storm Drainage Facilities	Chino Basin Water Conservation District	Additional on-site facilities	Development related financing	General Fund
Regional Facilities	San Bernardino County Flood Control	Additional regional facilities	Development related financing	Special district property tax
Parks, Recreation and Open Space				
Additional Public Parks	City of Chino	Additional facilities may be required	Impact Fees	General Fund
Private Parks, Trails, open space and other privately provided amenities.	Developer	Additional facilities required ³	Development related financing	Provided by developer through establishment of an HOA or other similar private entity.
Parks/Trails – Improvements/Landscaping	City of Chino	Landscaping improvements	Impact Fees & Development Related Financing	General Fund or HOA/similar private entity depending on ownership
Parkway & Median Landscaping ¹	City of Chino	Landscaping improvements	Impact Fees	Landscape Maintenance District

The Preserve Specific Plan

TABLE 8
SUMMARY OF FUNDING REQUIREMENTS
THE PRESERVE

Facility or Service	Provider	Requirements	Capital Funding	Operation and Maintenance Funding
Schools ²	Chino Valley Unified School District	N/A	Impact Fees	Special district property tax and State financial aid
Utilities				
Cable Television	Adelphia Communications	Connection to backbone facility	Utility	User charges
Power	Southern California Edison	Connection to backbone facility	Utility	User charges
Telephone	Verizon	Connection to backbone facility	Utility	User charges
Gas	The Gas Company	Connection to backbone facility	Utility	User charges
Waste Disposal	USA Waste of California	Connection to backbone facility	Utility	User charges
General Government Facilities	City of Chino	Additional facilities may be required	Impact Fees	General Fund

¹ Includes landscaping along collector and arterial level roadways that are required by this Specific Plan. Source: Stanley R. Hoffman Associates, Inc., The Planning Center.

² Detailed facility requirements for schools have not been addressed in the Plan for Service

³ Specific requirements determined on a case-by-case basis for individual master plans.

ADMINISTRATION

Transportation

To calculate the traffic impacts generated by The Preserve, a transportation analysis was conducted in accordance with the San Bernardino County Congestion Management Program (CMP). The study analyzed traffic impacts within the boundaries of The Preserve as well as off-site impacts on areas outside the boundaries and identified road improvements needed to accommodate development levels at build-out. The total construction, including engineering and contingency costs is estimated at approximately \$76.8 million and is to be paid through development related financing. Developers are responsible for the capital costs of constructing local roads.

The City of Chino is responsible for operations and maintenance of roadways and related transportation facility management. These ongoing costs will be paid from a combination of gas taxes and General Fund revenues. Fiscal analysis projections estimate that additional revenues generated by the project will adequately cover the increase in road maintenance costs resulting after build-out of The Preserve.

Fire and Paramedic Facilities

The Chino Valley Independent Fire District (CVIFD) will serve The Preserve. The CVIFD currently provides fire protection, paramedic service, urban search and rescue service and hazardous materials emergency response service to the City of Chino as well as Chino Hills and surrounding unincorporated areas. Currently the CVIFD operates six fire stations with five additional stations planned for the Fire District area. The CVIFD also participates in a Mutual Aid agreement with the City of Ontario, subject to available resources.

Two fire stations are in the vicinity of The Preserve area: Station 63 located north of the Chino Airport at Merrill Road and Station 62 located to the west of the project in Chino Hills at 5551 Butterfield Ranch Road. Stations 62 and 63 have response times, measured to the intersection of Grove Avenue and Pine Avenue, of 6:40 minutes and 5:20 minutes respectively. The CVIFD Master Plan (April, 2001) indicates that the standard is to respond within 4 minutes. In order to meet this standard in serving The Preserve Specific Plan area, Station 63 will be relocated closer to the project area. Station 63 will be relocated to a new location on the south side of the Airport on a currently available four-acre parcel of land provided by the County Department of Airports. The CVIFD has indicated that a single station will provide adequate service to the planning area.

Developers will be required to contribute a fair-share portion of new facility construction costs that will be funded through a new fair-share development impact fee. This new fee will be calculated for The Preserve Specific Plan area. Total capital costs for the new facility are estimated at \$2.53 million, including an estimated \$2.18 million for construction and \$350,000 for additional equipment. Ongoing operations and maintenance will be provided by the CVIFD and funded through the 15.2 percent share of the basic 1 percent property tax levy the CVIFD receives.

Police

The City of Chino Police Department provides police protection services to the residents and employees of the City of Chino. During the year 2000, the average response time to

The Preserve Specific Plan

emergency calls was 4 minutes and 41 seconds. According to Police staff, it is expected that this response time will increase by two to three minutes for calls for service from The Preserve Specific Plan area.

The police department currently has a 42,132 square feet facility, located at 13250 Central Avenue from which it conducts its operations and activities. Initially, services would be provided to The Preserve Specific Plan area through 24-hour police protection based at this facility. The police department is currently studying the long-term need for additional space. In the interim, a sub-station will be established and housed at the Chino Airport, which borders The Preserve Specific Plan area. Additional vehicles would also be required to accommodate increased staffing.

Based on the current staffing of 87 sworn officers and January 2000 Department of Finance population estimate of 66,740, the City's current staffing level is 1.30 sworn officers per 1,000 population. Total capital costs needed to provide adequate service to The Preserve are estimated at approximately \$2.46 million.

The City of Chino's General Fund will provide funding for the continued operation and maintenance of the Chino Police Department. According to the General Fund fiscal analysis, the operations and maintenance costs for the required patrol and investigative units in the City can be funded through the generation of adequate public revenues to offset public service costs. To address needed resources as The Preserve develops, the Police Department and City have implemented long-term budgetary planning strategies to ensure that the resources needed to provide police protection service will be available.

Library

While there are currently no library capital requirements identified for The Preserve, libraries are accommodated in a number of land uses. Costs for expanding current facilities and constructing new library facilities were estimated to be \$27.51 per resident by the City of Chino 2000 Development Impact Fee Report. Based on The Preserve's projected population of 36,961, the cost of expansion would be \$1,016,797.

Potable and Recycled Water

Services for potable and recycled water are provided to the project area by the City of Chino. The City's water distribution systems include separate and distinct distribution mains, water storage facilities and pump stations for both types of service. A water supply assessment was also recently conducted to insure that adequate supplies would be available as The Preserve develops. Operations and management costs will both be funded through enterprise fund revenues. Capital costs for the potable and recycled systems are described below.

Potable Water

The City's Water Master Plan has been updated to identify the preliminary alignments, sizes and cost estimates for the proposed water facilities for buildout in The Preserve Specific Plan area. The Master Plan describes potable and recycled water systems to conserve potable water and make the best use of available supplies. The proposed backbone facilities include a series of potable water lines ranging in diameter from 8 inches to 30 inches. Total capital

ADMINISTRATION

costs are estimated at \$13.4 million. This includes the construction costs of adding additional pipelines. The capital costs also include engineering and administration and construction contingency costs.

Recycled Water

The City will obtain recycled water from the Inland Empire Utilities Agency (IEUA). The proposed backbone facilities include a series of recycled water lines ranging in diameter from 8 inches to 18 inches. The total capital cost for the recycled water lines is estimated at \$4.4 million. The IEUA is responsible for financing the necessary pumps and reservoirs and will fund the costs as part of their regular user fee charges. The capital costs also include construction management, engineering and administration costs and contingency costs.

Wastewater

The demand for wastewater facilities at The Inland Empire Utilities Agency (IEUA) provides wastewater treatment and reclamation services to the City residents. The City of Chino is responsible for the collection system, and the IEUA is responsible for the design, construction, operation and maintenance of the wastewater and reclaimed water treatment facilities in the project area. IEUA is a service provider for the southwestern portion of San Bernardino County, which includes the cities of Fontana, Rancho Cucamonga, Ontario, Upland, Montclair, Chino and Chino Hills. The IEUA provides regional potable wastewater treatment and disposal, non-reclaimable wastewater collection and disposal, importation of supplemental water supplies and water resources management within the Chino Groundwater Basin. Currently IEUA is completing the interconnection of all four of its wastewater treatment facilities. Based on the land uses proposed for The Preserve Specific Plan area, average flows are estimated at 4,294,014 gallons per day for all uses.

A Sewer Master Plan for Subarea 1 and The Preserve has been prepared to identify the preliminary alignments, sizes and cost estimates for the proposed sewer facilities for built-out conditions of the study area. The project area is serviced by Regional Plant No. 2 (RP-2). Regional Plant No. 5 (RP-5) is currently under construction and will eventually replace RP-2.

Regional Plant No. 5 (RP-5) is scheduled to be complete in early 2003. Upon completion of construction of RP-5, all wastewater flow will get diverted from RP-2 to RP-5 for treatment and disposal. A total of about 73,000 lineal feet of additional pipelines of various diameters will be required for The Preserve. Total capital cost for constructing the proposed sewer lines to serve The Preserve is estimated at approximately \$8.7 million. Operations and Maintenance costs for system improvements will be funded through enterprise fund revenues obtained from service charges collected by the City of Chino.

Storm Drainage

The San Bernardino County Flood Control District (SBCFCD) is responsible for the design, construction, operation and maintenance of regional flood control facilities for all of the incorporated and unincorporated areas in San Bernardino County. Local drainage facilities are maintained by the City of Chino.

The Master Plan of Drainage for The Preserve specifies the backbone improvements that

The Preserve Specific Plan

will need to be constructed to adequately drain the area. Based on the flow pattern of surface runoff, this study divided the developable portions of the area into 10 drainage basins. A substantial portion of this system is needed to handle upstream flows created by the development of Ontario's' New Model Colony to the north of The Preserve. Each drainage basin is tributary to a proposed storm drain system identified. The proposed mainline storm drains range in size from 30 inches to 102 inches.

Local storm water drainage capital facilities related to the project are projected to total about \$42.3 million. The associated costs are the responsibility of both the City of Ontario and the City of Chino and will likely be funded through a fair-share development impact fee. The City of Chino's capital costs are estimated at about \$25.0 million.

The Operations and Maintenance costs of the local drainage facilities are the responsibility of the City and will be funded through the Enterprise Fund. The fiscal impact analysis prepared for the City indicated that annual recurring development services revenue for public works are sufficient to cover the O & M costs for local drainage facilities. Regional facilities are the responsibility of the San Bernardino County Flood Control District and would be maintained through their share of the 1 Percent property tax levy.

Park Development

The City of Chino provides parks and recreation services to the residents and employees of Chino. Services provided include public parks, community facilities, senior centers, classes and other recreational programs. Additional parkland would be acquired and improved through the use of applicable park funds. The current standard is 3.0 acres of developed parkland per 1,000 residents. Based on the projected population of 36,961 for The Preserve Specific Plan area, approximately 110 acres of developed park acres would be required to meet this standard.

For residential use the City's park development impact fee must be paid prior to map recordation and is based on the number of units constructed. Currently, in the City of Chino these fees are \$3,499 per single-family unit, \$2,719 per multi-family unit and \$1,724 per mobile home unit. The City currently calculates the residential parkland acquisition and development impact fees according to the Quimby Act, or Section 66477 of the Government Code.

The City of Chino's General Fund will provide funding for the continued operation and maintenance of any new parks in The Preserve Specific Plan area. Maintenance costs also include medians and parkways outside the maintenance districts, street trees outside the City's maintenance districts, and special services and weed abatement. The maintenance of the interior and periphery landscaping will be funded through a Landscape Maintenance District (LMD) or similar assessment. The City covers half of the cost of landscaping along arterials from General Fund revenues. The fiscal analysis prepared for The Preserve indicates that revenues accruing to the General Fund as a result of the proposed development would cover operations and maintenance costs.

Utilities

Utility companies in The Preserve will include Adelphia Communications Service, Southern California Edison Company, Verizon, the Gas Company of Southern California and Waste

ADMINISTRATION

Management. Funding for any necessary improvements will be provided by the individual utility companies. The developer will be responsible for the costs of extending utilities from the backbone facilities to the project site in most cases. Although many of the connections to The Preserve are not currently installed, the utility companies have indicated that they have the capability to provide the services to the area. Generally, the necessary facilities are constructed either prior to or in parallel with development projects.

General Facilities

General facilities include those office and work locations used by City staff to undertake operations and provide services to residents and businesses. The growth generated by The Preserve as well as other areas in the City, will place increased demand upon City operations and services resulting in a need for these facilities to expand. The improvements necessary to respond to greater demand include the expansion of City Hall and the City Yard. Costs for improvements are estimated at approximately \$3.4 million and are to be paid for through a development impact fee. Ongoing operation and maintenance costs are to be provided by the City of Chino's General Fund.

Community Amenities/Facilities

In order to provide amenities and various facilities needed to support the "livability" of The Preserve community a development impact fee will be established to cover associated costs. The fee and associated amenities/facilities will be established and adopted as an implementation activity for the Specific Plan. At this writing, a preliminary rough estimate of approximately \$26 million has been developed. Amenities/facilities anticipated include, but are not limited to: major entry monumentation, improvements and landscaping for various trails, greenbelts and other open spaces; library/learning center; community center; senior center; satellite city hall facility; amphitheater; tennis courts; a skate park; a lake or other water features; enhancements for the Community Core; and enhancements/upgrades to the existing Prado Equestrian Center. The specifics and details of the amenities and the facilities to be provided will be finalized in conjunction with the adoption of the development impact fee.

Maintenance of Community Public Use and Open Space Facilities

Facilities designed for general public use such as local parks, greenways, trails, parkways, roadside planting belts and related improvements will be dedicated to the City and will be maintained by a City assessment district or other maintenance vehicle funded by the residents of The Preserve. At the City's option, portions of these responsibilities may be assigned to a homeowners associations/property owners' association as part of the project review process. Current City policy provides for 50% of the cost of maintenance of lighting and landscaping along arterial streets. The details of such maintenance programs are to be finalized by the project sponsor and the City Engineer. The assessment vehicle should be formed concurrently with recordation of the first residential subdivision maps. The allocation of maintenance costs for parks in joint use with schools will be determined by agreements with the affected school districts.

Private parks, trails, greenbelts and other recreational facilities and amenities provided by the developer provided for the enjoyment of the residents of a particular master plan area or subdivision shall be privately maintained through a homeowner's association or similar private entity.

The Preserve Specific Plan

Phasing of Development

The project phasing provides a conceptual framework to facilitate development of the Plan area while assuring provision of infrastructure necessary to support the planned development. Development is assumed to occur in a number of phases over time. The exact timing, location and extent of individual phases is largely dependent on the private decisions of developers and landowners who are, in turn, influenced by market conditions. Phasing will also likely be influenced by the relative capital costs associated with extending infrastructure and services to different parts of the plan. Major development phases are anticipated to generally begin at the two poles of the property: the area around the Pine Avenue/Main Street axis in the north and the Rancho Miramonte neighborhood in the south. It is logical to assume that initial and subsequent phasing will key off of extensions of existing infrastructure located within or near The Preserve planning area.

Transportation

Transportation improvements will take place prior to or concurrent with development that will ultimately pay for such improvements. The incremental impacts of individual development projects on traffic will be analyzed as development occurs, in order to determine the improvements necessary to maintain adequate levels of service.

Fire and Paramedic Facilities

Future fire station locations are based on an examination of several criteria including land use patterns, density, population, character of the area, existing and future roads, emergency response data, mutual aid agreements with other fire agencies, jurisdictional boundaries, adjacent station locations, and consideration of service levels needed.

According to the Chino Valley Independent Fire District (CVIFD), Station 63 will be relocated from its present location on Merrill Avenue to a new location south of the Airport on a currently available four -acre parcel of land located on Kimball Avenue. This station will ultimately house two fire battalions as well as paramedic staff. The new station will be in place prior to the issuance of the 1,350th building permit in order to meet the CVIFD response standards. Prior to the relocation of Station 63, Station 62 and the Station 63 at its present location will provide the primary service to The Preserve.

Police Facilities

The Police Department is currently addressing the identified need for additional space. In the interim, a sub-station will be established and housed at the Chino Airport, which borders The Preserve.

Library

Provision of additional library facilities will occur as development occurs and adequate funding becomes available to provide for these facilities.

ADMINISTRATION

Domestic and Recycled Water

Improvements needed to the domestic and recycled water systems have been identified but are not yet scheduled or planned. It is assumed that phasing of facilities will be concurrent with the development of The Preserve with such facilities incrementally provided at levels necessary to adequately serve development as it occurs.

Wastewater

At the current time the specific timing of sewer infrastructure improvements is not known, however, it is assumed that phasing of facilities will be concurrent with the development of The Preserve.

Storm Drainage

Storm drainage facilities are constructed either prior to or in parallel with the development projected. Facilities needed to provide for adequate drainage and flood protection.

Park Development

The City of Chino will concurrently collect impact fees and acquire and improve parkland as development occurs in The Preserve.

Utilities

Whether the construction of new facilities is required will depend on the proximity of existing backbone infrastructure to The Preserve. For most utilities, the construction of new facilities is not likely required, however, there will be improvements needed to extend the utility service, such as with cabling, conduits and gas lines, from the existing backbone facilities to The Preserve. Generally, any necessary facilities will be constructed either prior to, or in parallel with the development project.

General Facilities

The existing amount of office and building space dedicated for providing general City services may be adequate for some time, but will ultimately not be able to meet management needs. This is also true of the general facility areas including the City maintenance yard, computer processing capability and storage space, and the City's fleet of general vehicles. The City will continually evaluate the need for additional general facilities and expand or construct facilities as needed.

Community Amenities/Facilities

The City of Chino will concurrently collect impact fees and provide amenities and facilities as development occurs.

The Preserve Specific Plan

SECTION VIII: GLOSSARY



This page intentionally left blank.

Please refer to Definitions, Section 20.24.020 of the Chino Zoning Code for a list of definition terms. However, the terms listed below are unique to this document.

DEFINITIONS

Adjusted Gross Acres. The gross project acreage excluding the acreage devoted to major, secondary, and collector street rights-of-way, easements for major utilities, and land for City parks and schools.

Average Density. Average density is a tool that is employed to increase flexibility, diversify community character, and encourage a range of product types, parcel sizes and design styles.

To make this approach work, the Plan provides incentives and regulations to prevent development from occurring only at the average. Furthermore, the density ranges are designed to accommodate a realistic range of housing types that avoid making the top end of the range the only practical choice. It is this combination of market reality, plan structure and land use mix of development types rather than a homogeneous sameness.

Average density is different from conventional zoning, which dictates a maximum density and often results in communities lacking uniqueness.

Instead, average density, along with other provisions of this Plan, provides the ability to accommodate products at a higher density as long as products are offered at lower densities in the same project.

It may help to think of average density as a scale wherein higher densities can be added to one side of the scale, as long as lower density products are added to the other side so a balance is achieved. That balance is the average density.

Average density is determined on a project-by-project basis by determining the average density from the different products within each project.

Bicycle Lane, Class I. Provides for bicycle on a right-of-way completely separated from any street or highway.

Bicycle Lane, Class II. Provides a striped lane for one-way travel on street or highway with signage identifying bicycle routes.

Bicycle Lane, Class III. Provides for shared use with pedestrian or major vehicle traffic. Signage identifies the road as a bicycle route. No special striping is provided for bicyclists.

Clustered Development. Development in which a number of dwelling units are placed in closer proximity than usual, or are attached, with the purpose of retaining some feature or providing an amenity such as open space, community recreation facility or water body.

Community. Community refers to a collection of neighborhoods and is larger in scope.

Dairy Waste Management. Dairy operators in The Preserve are required to:

- Retain dairy runoff for up to a 25-year, 24-hour storm event.
- Develop Engineered Waste Management Plans.
- Only dispose of manure on farmed land.
- Removed manure from the basin within 180 days of scraping the corrals.
- Remove approximately 2 million tons of stockpiled manure by December 31, 2001.

Exterior Property Line. The property line adjacent to any public right-of-way, such as a street (AKA Street Side Property Line)

Floor Area Ratio (FAR). The ratio of building area to lot area. The FAR number (e.g. .25) expresses the maximum amount of building square footage that can be developed on a parcel. In other words, a .25 FAR means that a maximum of 25% of the lot area can be devoted to building square footage, including second or third story floor area.

Habitable. Capable of being lived in; Livable/ Conditioned Space

Interior Property Line. The property line adjacent to another lot.

Lot Coverage. The percent of lot area covered by the footprint of all permanent structures on a lot.

Measuring Lot Width. Lot width in The Preserve is measured at the front setback line.

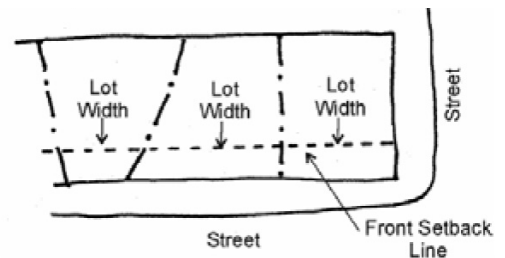
Neighborhoods. Neighborhood refers to an intimate collection of uses. This may include a single project or a few city blocks.

Overlay. An Overlay is a set of standards that apply to a given geographic area in addition to those provided in the underlying land use designation. In practice, this means that properties within an overlay must comply with two sets of standards, those of the land use designation and those of the overlay. This approach is taken in recognition of the fact that special considerations must be taken into account within certain focused portions of the planning area.

Perimeter Property Line. The property line surrounding a multifamily or clustered project.

Prado Regional Park. The Prado Regional Park is 2,207-acre facility located in the southern portion of The Preserve. This facility is leased from the U.S. Army Corps of Engineers to the County of San Bernardino and includes active and passive recreational opportunities, such as softball, camping and fishing, focused around a 62-acre lake.

Neighborhoods and Communities—In this Specific Plan, the term neighborhood refers to an intimate collection of uses. This may include a single project or a few city blocks. Community refers to a collection of neighborhoods and is larger in scope.



Product. The use of the term product in this Specific Plan refers to a structure, including housing type (e.g. single-family, duplex), façade treatment, and design. The goal is to ensure a variation in product types. This means that within each project there will be structures that have variety in terms of façade treatments, designs, lot configurations, garage orientations, colors and materials. Density must also be distributed in accordance with the “Average Residential Density Guidelines” described in Section VII, Administration.

Project. A planned work or activity that is completed over time. This includes a single tract map or unified collection of maps submitted concurrently or as part of a master plan, as well as any discretionary development permit or other permit (Site Plan Approval, Special Conditional Use Permit, Administrative Approval).

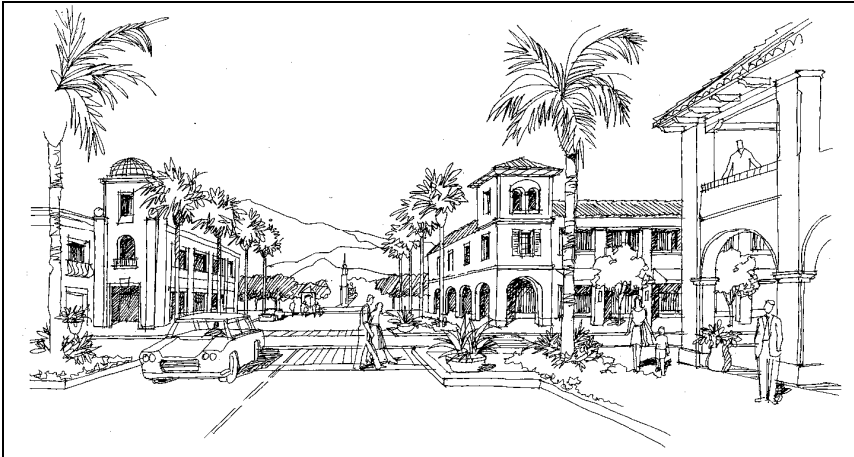
Santa Ana Mainstem Project. The Santa Ana Mainstem Project will result in the raising of the Prado Dam 28-feet and the spillway 8-feet. This will increase the area of potential dam inundation by ten feet from its current elevation at 556-feet above sea level to 566-feet above sea level. This impacts 2,917 acres within The Preserve.

Segmented Market. The range of homebuyers in terms of needs tastes and lifestyle choices. An example would be singles, seniors, entry level or move-up. In The Preserve, housing will be provided to meet the varying needs of each segment of the home buying public.

Specific Plan. As described in Government Code Section 65451, a specific plan is a regulatory document that provides detailed guidance and standards for a specific area or project. A specific plan details the overall development scheme, establishes development standards and guidelines that future projects in the plan area will follow, and identifies the public facilities and infrastructure that public facilities and infrastructure required to support the development of the project

This page intentionally left blank.

APPENDICES



This page intentionally left blank.

APPENDICES

APPENDIX ONE – 566-FOOT DAM INUNDATION ELEVATION CRITERIA

MINIMUM CRITERIA FOR RESERVOIR LAND USE PROJECTS			
SOUTH PACIFIC DIVISION			
U.S. ARMY CORPS OF ENGINEERS			
Location	(*) Elevation Frequency Range	Development Constraints	Acceptable Land Uses
1. Reservoir	Up to 10-yr. Flood	Subject to prolonged inundation, sedimentation and wave erosion	Structures are not recommended. Nature trails and open play field are acceptable.
2. Reservoir	10-yr. flood to the 50-yr. flood	Subject to frequent flooding, sedimentation and wave erosion	Open or floodable structures and field facilities that can sustain inundation with acceptable maintenance costs. Concession stands with portable contents, bridle trails, shade and picnic ramadas, backstops, goalposts, etc., are considered appropriate.
3. Reservoir	50-yr. flood to the 100-yr. flood	Subject to periodic flooding, sedimentation and wave erosion	Floodable structures and multipurpose paved surfaces that can sustain inundation with acceptable maintenance costs.
4. Reservoir	100-yr. flood to the Reservoir Design Flood	Subject to infrequent flooding, sedimentation and wave erosion	Floodable restrooms and picnic areas are considered appropriate.
5. River flood-plains below the reservoir 100-yr. Flood elevation	Up to the 100-yr. flood	Subject to frequent flooding, sedimentation and wave erosion	Flood-proofed, closed structures are permitted. Structures conducive to human habitation are prohibited. Open-type of floodable structures and field facilities that can withstand flood-flow velocities for 100-yr. conditions and will not impede the passage of flood flows.
6. River flood-plains above the reservoir 100-yr flood elevation	Up to the 100-yr. flood	Subject to frequent flooding, sedimentation and wave erosion	Structures are not recommended. This area must be reserved in an open manner to provide for conveyance of the 100-yr. flood.
7. River flood-plains above the reservoir 100-yr. flood elevation	Above the 100-yr. flood.	Subject to frequent flooding, sedimentation and wave erosion	Flood-proofed, closed structures are permitted along the floodway fringe. All development must meet Federal regulatory floodway regulations and be approved by the District Engineer.

* Frequency criteria shall be for a reservoir and watershed conditions of at least 50 years in the future. Most current frequency curve may be used as guidance in estimating future conditions.
Note: Land uses at lower elevations may be developed at higher elevations.

APPENDICES

APPENDIX TWO – AIRPORT COMPATIBILITY MATRIX

AIRPORT COMPATIBILITY MATRIX				
	Referral Area "A" (Includes RPZ & Safety Zone I) ¹	Referral Area "B" (Includes Safety Zone II) ²	Referral Area "C" (Includes Safety Zone III) ³	Conical Surface Area
LAND USES				
Single Family Dwelling (s)	Not Permitted	Conditionally Permitted if: Interior noise levels are no more than 45 Ldn. Does not exceed the maximum persons per acre. Avigation Easement provided. Residences which were in existence at that location prior to January 1, 1989 if interior CNEL is 45 dB or less and exterior CNEL is 75 dB or less in private habitable areas (e.g. backyard, patio, balcony)	Conditionally Permitted All residences permitted within the 60 – 65 Ldn range shall be required to provide forced air ventilation and prepare an acoustical study to show that 45 dB interior and 65 dB exterior in private open space areas is not exceeded.	Permitted
Multi-Family Dwellings	Not Permitted	Conditionally Permitted if: The interior noise levels are no more than 45 Ldn. Does not exceed the maximum persons per acre. Avigation Easement provided. Residences which were in existence at that location prior to January 1, 1989 if interior CNEL is 45 dB or less and exterior CNEL is 75 dB or less in private habitable areas (e.g. backyard, patio, balcony).	Permitted All residences permitted within the 60 – 65 Ldn range shall be required to provide forced air ventilation and prepare an acoustical study to show that 45 dB interior and 65 dB exterior in private open space areas is not exceeded.	Permitted
Commercial (e.g. retail, restaurant, movie theater)	Not Permitted	Not Permitted	Conditionally Permitted	Permitted
Schools, Nursing Homes, Hospitals	Not Permitted	Not Permitted	Conditionally Permitted An acoustical study shall be required which shows how the 45-dB interior and 65-dB exterior standard shall be met.	Permitted
Office	Not Permitted	Not Permitted	Conditionally Permitted	Permitted

APPENDICES

AIRPORT COMPATIBILITY MATRIX				
	Referral Area "A" (Includes RPZ & Safety Zone I) ¹	Referral Area "B" (Includes Safety Zone II) ²	Referral Area "C" (Includes Safety Zone III) ³	Conical Surface Area
LAND USES				
Warehouses	Not Permitted	Conditionally Permitted if: Does not exceed persons per acre limitation, Is not hazardous in nature, Has no above ground hazardous materials, and Does not create electronic hazards (including interfering with radio communications, distracting lights, or smoke).	Conditionally Permitted if: No above ground hazardous materials, and Does not create electronic hazards (including interfering with radio communications, distracting lights or smoke).	Permitted
Manufacturing	Not Permitted	Conditionally Permitted if: Does not exceed maximum persons per acre, Is not hazardous in nature, Has no above ground hazardous materials, and Does not create electronic hazards (including interfering with radio communications, distracting lights, or smoke).	Conditionally Permitted if: No above ground hazardous materials, and Does not create electronic hazards (including interfering with radio communications, distracting lights or smoke).	Permitted
Assembly Uses (indoor and outdoor) e.g. churches, auditoriums and stadiums	Not Permitted	Not permitted	Not permitted (ACLUP) Conditionally Permitted by SBC General Plan	Permitted
Playground, Neighborhood Park	Not Permitted	Not Permitted	Conditionally Permitted	Permitted
Hotels, Motels and Transient Lodging	Not Permitted	Not Permitted	Conditionally Permitted if maximum persons per acre are not exceeded. An acoustical study shall be prepared which shows how the 45 dB interior noise requirement will not be exceeded	Permitted
Golf Course, riding stables, cemeteries	Not Permitted	Not Permitted	Conditionally Permitted	Permitted
Agriculture	Permitted outside OFA except if it attracts birds	Permitted	Permitted	Permitted

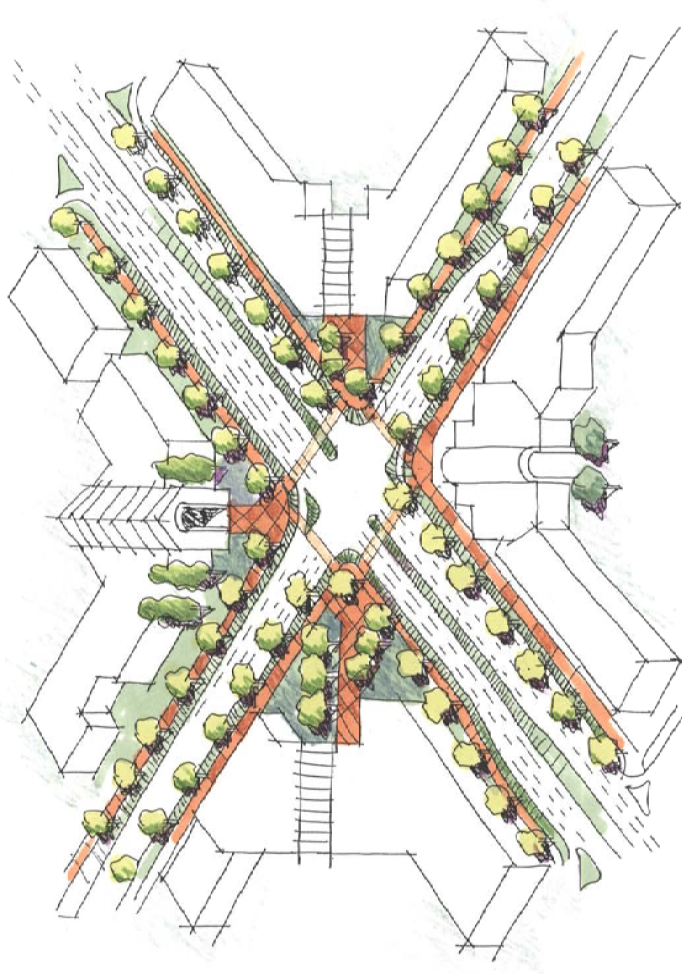
APPENDICES

AIRPORT COMPATIBILITY MATRIX			
	Referral Area "A" (Includes RPZ & Safety Zone I) ¹	Referral Area "B" (Includes Safety Zone II) ²	Referral Area "C" (Includes Safety Zone III) ³
LAND USES			
Automobile Parking	Permitted outside of runway OFA extended and below the approach surface (but not recommended)	Conditionally Permitted	Permitted
Any use which generates smoke	Not Permitted	Not Permitted	Permitted
Use or structure which generates glare	Not permitted	Not Permitted	Permitted
Fuel handling or storage	Not Permitted	Not Permitted	Permitted
RESTRICTIONS			
Maximum Persons Per Acre	No uses that generate more than 10 persons per acre at any one time but only for short periods of time.	Uses not in a structure: No more than 50 persons per acre at any one time. Uses in structures: No more than 25 persons per acre and no more than 100 persons per assembly	No Limitation
Height Restrictions	The applicant shall notify the FAA Administrator if the structure is: Above 200 feet in height Greater than an imaginary surface extending outward and upward at a slope of 100 to 1 for a horizontal distance of 20,000 feet from the nearest point of the runway.		
Aviation Easement Required?	Yes	Yes	No
¹ Safety Zone I, Runway Protection Zone (RPZ) or Referral Area "A": Most objects are restricted from the RPZ; however, low intensity uses, such as ag-riculture and auto parking may be allowed provided they do not attract wildlife and are located outside the runway Object Free Area. ² Safety Zone II or Referral Area "B": Uses in this safety zone include limited recreational, industrial and warehouse uses with low levels of human occupancy. Noise attenuation may be re-quired in this area. ³ Safety Zone III, or Referral Area "C": This zone indicates an area where aircraft accident and potential noise exposure is minimal. This area generally does not present significant constraints to future land use development in The Preserve.			

APPENDIX THREE – PINE AVENUE/MAIN STREET INTERSECTION STUDY

The treatment of the Pine Avenue/Main Street intersection is a critical component of The Preserve. In order for the Community Core to function effectively to connect the two sides of Pine Avenue and to help maintain a vibrant community core, a seamless pedestrian connection must be provided across Pine Avenue. Out of three different alternatives reviewed (underpass, overpass, or at-grade), the City Council selected an at-grade intersection as the appropriate facility to accommodate vehicular traffic and maintain pedestrian connectivity between the two sides of the Core.

Between Loop Road West and Loop Road East, Pine Avenue will be an 8-lane facility. This includes six lanes of travel and two transition lanes that accommodate traffic accessing either side of the Community Core. The transition lane allows safe access to the left-in lane and right-in lanes at Main Street as well as the right-turn-only intersections located at Pine and the Core edge. The following illustrative sketch depicts the general intersection concept. The actual intersection design, including building placement, monumentation, landscaping and architectural concepts will be included in the Master Plan and Development Concept to be prepared for the Community Core.



*Pine Avenue-Main Street
conceptual intersection illustration.*

APPENDICES

APPENDIX FOUR – LANDSCAPE PLANT PALETTE

Entry Type	Botanical Name	Common Name	Size	Notes
Major Gateway, Major and Minor Community Entry				
TREES	Eucalyptus lucoxylon	White Ironbark	15 g	Street Tree- Avg 20' o.c. informal
	Eucalyptus nicolii	Nichol's Willow-leaved Peppermint	15 g	Street Tree- Avg 20' o.c. informal
	Grevillia Robusta	Silk Oak	24"	Accent Tree- Avg. 25' o.c. informal
	Pinus eiderica	Afgan Pine	36"	Screen Tree- Avg. 20' o.c. informal
	Pinus Pinea	Italian Stone Pine	36"	Screen Tree- Avg. 20' o.c. informal
	Platanus racemosa	California Sycamore	36"	Accent Tree- Avg. 25' o.c. informal
	Tristania conferta	Brisbane Box	24"	Street Tree- Avg. 25' o.c. informal
SHRUBS	Cistus spp.	Rockrose	5 g	Accent Shrub
	Elaeagnus puegens	Silverberry	5g	Ornamental Grass
	Mulenbergia rigens	Deer Grass	1 g	Ornamental Grass
	Pittosporum tobira	Mock Orange	5 g	Screen Shrub
	Rhapiolepis indica 'Clara'	Pink Indian Hawthorn	5 g	Accent Shrub
	Rosa banksia	Lady Bank's Rose	5 g	Accent Shrub
GROUND COVER	Festuca spp.	Marathon	Sod	Turf
	Festuca ovina gluaca	Blue Fescue	1g	
	Eschscholzia californica	California Poppy	Flats	
	Rosmarinus officinalis	Rosemary	1g	
Expressway (Euclid Avenue)				
TREES	Eucalyptus lucoxylon	White Ironbark	15 g	Street Tree- Avg 20' o.c. informal
	Eucalyptus nicolii	Nichol's Willow-leaved Peppermint	15 g	Street Tree- Avg 20' o.c. informal
	Grevillia Robusta	Silk Oak	24"	Accent Tree- Avg. 25' o.c. informal
	Pinus eiderica	Afgan Pine	36"	Screen Tree- Avg. 20' o.c. informal
	Platanus racemosa	California Sycamore	36"	Accent Tree- Avg. 25' o.c. informal
	Tristania conferta	Brisbane Box	24"	Street Tree- Avg. 25' o.c. informal
SHRUBS	Cistus spp.	Rockrose	5 g	Accent Shrub
	Elaeagnus puegens	Silverberry	5g	Accent Shrub
	Elymus tricooides	Wild Rye	1 g	Ornamental Grass

APPENDICES

Entry Type	Botanical Name	Common Name	Size	Notes
	Lavendula spp.	Lavender	1g	Accent Shrub
	Mulenbergia rigens	Deer Grass	1 g	Ornamental Grass
	Pittosporum tobira	Mock Orange	5 g	Screen Shrub
	Rosa banksia	Lady Bank's Rose	5 g	Accent Shrub
GROUND COVER	Myoporum pacifica	Myoporum	1 g	
	Rosmarinus officinalis	Rosemary	1g	
Major Arterial (Pine Avenue)				
TREES	Pinus pinea	Italian Stone Pine	24"	Street Tree- 25' o.c.
SHRUBS	Pittosporum tobira	Mock Orange	5 g	Screen Shrub
	Rhapiolepis indica 'Clara'	Pink Indian Hawthorn	5g	Accent Shrub
Major Arterial (Kimball Avenue and Hellman Avenue)				
TREES	Eucalyptus laecloxydon	White Ironbark	15 g	Street Tree- Avg 20' o.c. informal
	Eucalyptus nicolii	Nichol's Willow-leaved Peppermint	15 g	Street Tree- Avg 20' o.c. informal
	Grevillia Robusta	Silk Oak	24"	Accent Tree- Avg. 25' o.c. informal
	Pinus eiderica	Afgan Pine	36"	Screen Tree- Avg. 20' o.c. informal
	Platanus racemosa	California Sycamore	36"	Accent Tree- Avg. 25' o.c. informal
	Tristania conferta	Brisbane Box	24"	Street Tree- Avg. 25' o.c. informal
SHRUBS	Cistus spp.	Rockrose	5 g	Accent Shrub
	Elaeagnus pugnens	Silverberry	5g	Accent Shrub
	Elymus tricoides	Wild Rye	1 g	Ornamental Grass
	Lavendula spp.	Lavender	1g	Accent Shrub
	Mulenbergia rigens	Deer Grass	1 g	Ornamental Grass
	Pittosporum tobira	Mock Orange	5 g	Screen Shrub
	Rosa banksia	Lady Bank's Rose	5 g	Accent Shrub
GROUND COVER	Myoporum pacifica	Myoporum	1 g	
	Rosmarinus officinalis	Rosemary	1g	
Local Collectors (Loop Road, B St., A St., Cucamonga, Bickmore, Spine, Core Connector)				
LOOP ROAD				
TREES	Liquidamber styraciflua 'Rotundiloba'	Sweet Gum	24"	Accent Tree- Avg. 30' o.c. informal
	Schinus molle	California Pepper	24"	Screen Tree- 25' o.c.

APPENDICES

Entry Type	Botanical Name	Common Name	Size	Notes
SHRUBS	<i>Elaeagnus puygens</i>	Silverberry	5g	Accent Shrub
	<i>Mulenbergia rigens</i>	Deer Grass	1 g	Ornamental Grass
	<i>Lavandula spp.</i>	Lavender	1g	Accent Shrub
GROUND COVER	<i>Festuca spp.</i>	Marathon	Sod	Turf
	<i>Eschscholzia californica</i>	California Poppy	Flats	
BICKMORE AND B ST				
TREES	<i>Pinus elderica</i>	Afgan Pine	24"	Screen Tree- 25' o.c.
	<i>Quercus agrifolia</i>	Coast Live Oak	24"	Street Tree- 30'
SHRUBS	<i>Pittosporum tobira</i>	Mock Orange	5 g	Screen Shrub
	<i>Rosa banksia</i>	Lady Bank's Rose	5 g	Accent Shrub
GROUND COVER	<i>Myoporum pacifica</i>	Myoporum	1 g	
CORE CONNECTOR				
TREES	<i>Magnolia grandiflora</i>	Southern Magnolia	24"	Street Tree- 25' o.c.
SHRUBS	<i>Trachelospermum jasminoides</i>	Star Jasmine	1 g	
GROUND COVER	<i>Festuca spp.</i>	Marathon	Sod	Turf
A ST.				
TREES	<i>Pinus elderica</i>	Afgan Pine	24"	Screen Tree- 25' o.c.
	<i>Magnolia grandiflora</i>	Southern Magnolia	24"	Street Tree- 30' o.c.
SHRUBS	<i>Trachelospermum jasminoides</i>	Star Jasmine	1 g	
GROUND COVER	<i>Festuca spp.</i>	Marathon	Sod	Turf
CUCAMONGA AVENUE				
TREES	<i>Koelreuteria bipinnata</i>	Chinese Flame Tree	24"	Street Tree- 30' o.c.
	<i>Schinus molle</i>	California Pepper	24"	Screen Tree- 25' o.c.
SHRUBS	<i>Pittosporum tobira</i>	Mock Orange	5 g	Screen Shrub
GROUND COVER	<i>Cotoneaster horizontalis</i>	Cotoneaster	1 g	
	<i>Festuca spp.</i>	Marathon	Sod	Turf

APPENDICES

Entry Type	Botanical Name	Common Name	Size	Notes	
CHINO-CORONA ROAD	TREES				
		<i>Robinia ambigua</i> 'Idahoensis'		Accent Tree- Avg. 30' o.c. informal	
		<i>Platanus racemosa</i>	24"	Street Tree- Avg. 25' o.c. informal	
		<i>Schinus molle</i>	24"	Screen Tree- Avg. 25' o.c. informal	
	SHRUBS	<i>Pittosporum tobira</i>	5 g	Screen Shrub	
		<i>Cistus</i> spp.	5 g	Accent Shrub	
		<i>Elymus tricooides</i>	1 g	Ornamental Grass	
		<i>Mulenbergia rigens</i>	1 g	Ornamental Grass	
	GROUND COVER	<i>Rosmarinus officinalis</i>			
		<i>Festuca</i> spp.	Sod	Turf	
SPINE ROAD (COMET)	TREES				
		<i>Platanus acerfolius</i>	24"	Street Tree- 30' o.c.	
	SHRUBS	<i>Buxus japonica</i>	5 g		
		<i>Elaeagnus pugnens</i>	5g	Ornamental Grass	
		<i>Mulenbergia rigens</i>	1 g	Ornamental Grass	
		<i>Cistus</i> spp.	5 g	Accent Shrub	
	GROUND COVER	<i>Festuca</i> spp.	Sod	Turf	
		<i>Lonicera japonica</i>	1 g		
	Commercial Collectors (Sultan Avenue and Bon View Avenue)				
	SULTAN AVENUE	TREES			
		<i>Pistache chinensis</i>	24"	Street Tree- 30' o.c.	
		<i>Schinus molle</i>	24"	Screen Tree- 25' o.c.	
SHRUBS		<i>Pittosporum tobira</i>	5 g	Screen Shrub	
GROUND COVER		<i>Pittosporum tobira</i> 'Wheeler's Dwarf'		Accent Shrub	
	<i>Festuca</i> spp.	Sod	Turf		

APPENDICES

Entry Type	Botanical Name	Common Name	Size	Notes
BON VIEW AVENUE				
TREES	Zelkova serrata 'Village Green'	Sawleaf Zelkovs	24"	Street Tree- 30' o.c.
	Schinus molle	California Pepper	24"	Screen Tree- 25' o.c.
SHRUBS	Pittosporum tobira	Mock Orange	5 g	Screen Shrub
GROUND COVER	Festuca spp.	Marathon	Sod	Turf
	Hedera helix	English Ivy	1 g	
Parks /SCE Easement/ Open Space				
TREES	Alnus Cordata	Italian Alder	24"	Spacing Varies by Design and Use
	Fraxinus velutina	Arizona Ash	24"	"
	Calocedrus decurrens	Incense Cedar	24"	"
	Cedrus deodara	Deodar Cedar	24"	"
	Eucalyptus spp.	Eucalyptus	24"	"
	Grevillia Robusta	Silk Oak	24"	"
	Ginkgo biloba	Maidenhair Tree	24"	"
	Laurus nobilis	Sweet Bay	24"	"
	Liriodendron tulipifera	Tulip Tree	24"	"
	Pinus eiderica	Afgan Pine	24"	"
	Pinus Pinea	Italian Stone Pine	24"	"
	Pinus canariensis	Canary Island Pine	24"	"
	Platanus acerfolia	London Plane Tree	24"	"
	Platanus racemosa	California Sycamore	24"	"
	Populus nigra 'italica'	Lombardy Poplar	24"	"
	Quercus ilex	Holly Oak	24"	"
	Quercus agrifolia	Coast Live Oak	24"	"
	Robinia ambigisa 'Idahoensis'	Idaho Locust	24"	"
	Schinus molle	California Pepper	24"	"
	Sophora japonica	Japanese Pagonda Tree	24"	"
	Tristania conferta	Brisbane Box	24"	"
	Tipuana tipu	Tipu Tree	24"	"
	Umbellularia californica	California Bay	24"	"

APPENDICES

Entry Type	Botanical Name	Common Name	Size	Notes	
SHRUBS	<i>Acacia redolens</i>	Acacia			
	<i>Buddleia davidii</i>	Butterfly Bush			
	<i>Ceanothus</i>	Wild Lilac			
	<i>Cistus</i> spp.	Rockrose			
	<i>Cotinus coggygria</i>	Smoke Tree			
	<i>Cotoneaster horizontalis</i>	Cotoneaster			
	<i>Dodonaea viscosa</i>	Hop Bush			
	<i>Eriogonum giganteum</i>	St. Catherine's Lace			
	<i>Elaeagnus pungens</i>	Silverberry			
	<i>Echium fatuosum</i>	Pride of Maderia			
	<i>Elymus tricoides</i>	Wild Rye			
	<i>Fremontodendron californicum</i>	Common Flannel Bush			
	<i>Garrya elliptica</i>	Coast Silkassel			
	<i>Juniperus sabina</i>	Savin Juniper			
	<i>Juniperus chinensis</i>	Juniper			
	<i>Lavandula</i> spp.	Lavender			
	<i>Leucophyllum frutescens</i>	Texas Ranger			
	<i>Leonotis Leonuris</i>	Lion's Tail			
	<i>Melaleuca nesophila</i>	Pink Melaleuca			
	<i>Muhlenbergia rigens</i>	Deer Grass			
	<i>Nerium oleander</i>	Oleander			
	<i>Plumbago capensis</i>	Cape Plumbago			
	<i>Prunus caroliniana</i>	Carolina Laurel Cherry			
	<i>Rhamnus californica</i>	Coffeeberry			
	<i>Rhus ovata</i>	Sugar Bush			
	<i>Salvia leucantha</i>	Mexican Bush Sage			
	<i>Salvia apiana</i>	California White Sage			
	<i>Trichostema lanatum</i>	Wolly Blue Curls			
	GROUND COVER/VINES	<i>Artemisia schmidtiana</i>	Angels Hair		
		<i>Baccharis pilularis</i>	Dwarf Coyote Bush		

APPENDICES

<i>Entry Type</i>	<i>Botanical Name</i>	<i>Common Name</i>	<i>Size</i>	<i>Notes</i>
	<i>Festuca rubra</i>	Creeping Red Fescue		
	<i>Diplacus hybrids</i>	Monkey Flower		
	<i>Eschscholzia californica</i>	California Poppy		
	<i>Festuca ovina glauca</i>	Blue Fescue		
	<i>Festuca spp.</i>	Marathon		
	<i>Hedra helix</i>	English Ivy		
	<i>Hemerocallis hybrid</i>	Daylily		
	<i>Heuchera maxima</i>	Coral Bells		
	<i>Limonium perezii</i>	Sea Lavender		
	<i>Liriope muscari</i>	Lily Turf		
	<i>Lonicera japonica</i>	Honeysuckle		
	<i>Marathon Tall Fescue</i>	Turf		
	<i>Myoporum 'Pacificum'</i>	Myoporum		
	<i>Pandorea jasminoides</i>	Bower Vine		
	<i>Parthenocissus tricuspidata</i>	Boston Ivy		
	<i>Passiflora alatacaerulea</i>	Passion Vine		
	<i>Rosmarinus officinalis</i>	Rosemary		
	<i>Sisyrinchium bellum</i>	Blue-Eyed Grass		
	<i>Trachelospermum jasminoides</i>	Star Jasmine		
	<i>Trachelospermum asiaticum</i>	Asiatic Jasmine		
	<i>Vinca major</i>	Periwinkle		
Schools and Recreation Areas				
TREES	<i>Cinnamomum camphora</i>	Camphor Tree	24"	Spacing Varies by Design and Use
	<i>Cupaniopsis anacardioides</i>	Carrot Wood	24"	"
	<i>Calocedrus decurrens</i>	Incense Cedar	24"	"
	<i>Eucalyptus nicholli</i>	Nichol's Willow-leaved Peppermint	24"	"
	<i>Eucalyptus sideroxylon</i>	Red Ironbark	24"	"
	<i>Grevillia Robusta</i>	Silk Oak	24"	"
	<i>Jacaranda mimosifolia</i>	Jacaranda	24"	"
	<i>Koelreuteria bipinnata</i>	Chinese Flame Tree	24"	"

APPENDICES

Entry Type	Botanical Name	Common Name	Size	Notes
	<i>Koelreuteria paniculata</i>	Goldenrain Tree	24"	"
	<i>Lagerstroemia indica</i>	Grape Myrtle	24"	"
	<i>Liquidambar styraciflua</i>	Sweet Gum	24"	"
	<i>Liriodendron tulipifera</i>	Tulip Tree	24"	"
	<i>Magnolia grandiflora</i>	Southern Magnolia	24"	"
	<i>Melaleuca linarifolia</i>	Flaxleaf Paperbark	24"	"
	<i>Pinus canariensis</i>	Canary Island Pine	24"	"
	<i>Pinus eiderica</i>	Afghan Pine	24"	"
	<i>Pistacia chinensis</i>	Chinese Pistache	24"	"
	<i>Platanus acerifolia</i>	London Plane Tree	24"	"
	<i>Populus nigra 'Italica'</i>	Lombardy Poplar	24"	"
	<i>Prunus cerasifera 'Purple Pony'</i>	Cherry Plum	24"	"
	<i>Prunus serrulata 'Kwanzan'</i>	Cherry Plum	24"	"
	<i>Pyrus calleriana</i>	Ornamental Pear	24"	"
	<i>Quercus ilex</i>	Holly Oak	24"	"
	<i>Schinus molle</i>	California Pepper	24"	"
	<i>Sophora japonica</i>	Japanese Pagoda Tree	24"	"
	<i>Tristania conferta</i>	Brisbane Box	24"	"
	<i>Tipuana tipu</i>	Tipu Tree	24"	"
	<i>Ulmus parvifolia 'Drake'</i>	Chinese Evergreen Elm	24"	"
SHRUBS	<i>Acacia redolens</i>	Acacia		
	<i>Abelia grandiflora</i>	Glossy Abelia		
	<i>Agapanthus africanus</i>	Lily-Of-The-Nile		
	<i>Carisa macrocarpa</i>	Natal Plum		
	<i>Carisa grandiflora</i>	Natal Plum		
	<i>Cistus spp.</i>	Rockrose		
	<i>Cotoneaster horizontalis</i>	Cotoneaster		
	<i>Escallonia fradesii</i>	Escallonia		
	<i>Elaeagnus pungens</i>	Silverberry		
	<i>Echium fatuosum</i>	Pride of Madeira		

APPENDICES

<i>Entry Type</i>	<i>Botanical Name</i>	<i>Common Name</i>	<i>Size</i>	<i>Notes</i>
	Feijoa sellowiana	Pineapple Guava		
	Hemerocallis spp.	Day Lily		
	Juniperus sabina	Savin Juniper		
	Juniperus chinensis	Juniper		
	Ligustrum japonicum	Japanese Privet		
	Ligustrum ovatifolium	California Privet		
	Morea bicolor	Fortnight Lily		
	Myrtus communis	Myrtle		
	Myrsine africana	African Boxwood		
	Pittosporum tobira	Mock Orange		
	Pittosporum tobira 'Whealers Dwarf'	Mock Orange		
	Pittosporum tobira 'Varigata'	Mock Orange		
	Podocarpus macrophyllus	Yew Pine		
	Prunus caroliniana	Carolina Laurel Cherry		
	Pyracantha coccinea	Fire Thorn		
	Rhaphirolepis indica spp.	Pink Indian Hawthorne		
	Salvia Apiana	White Sage		
	Xylosma compacta	Xylosma		
	Xylosma congestum	Xylosma		
GROUNDCOVER/VINES	Agapanthus africanus	Lily of the Nile		
	Festuca rubra	Creeping Red Fescue		
	Festuca ovina glauca	Blue Fescue		
	Festuca spp.	Marathon		
	Gelsemium sempervirens	Carolina Jasmine		
	Heuchera maxima	Island Alum Root		
	Hedra helix	English Ivy		
	Hemerocallis hybrid	Daylily		
	Limonium perezii	Sea Lavender		
	Liriope muscari	Lily Turf		
	Lonicera japonica	Honeysuckle		

APPENDICES

Entry Type	Botanical Name	Common Name	Size	Notes
	Marathon Tall Fescue	Turf		
	Myoporum 'Pacificum'	Myoporum		
	Pandorea jasminoides	Bower Vine		
	Parthenocissus tricuspidata	Boston Ivy		
	Passiflora alata/caerulea	Passion Vine		
	Rosmarinus officinalis	Rosemary		
	Sisyrinchium bellum	Blue-Eyed Grass		
	Trachelospermum jasminoides	Star Jasmine		
	Trachelospermum asiaticum	Asiatic Jasmine		
	Vinca major	Periwinkle		
Community Core Area				
TREES	Brachychiton populeneus	Bottle Tree	24"	Spacing Varies by Design and Use
	Cinnamomum camphora	Camphor Tree	24"	"
	Cupaniopsis anacardioides	Carrot Wood	24"	"
	Ginkgo biloba	Maidenhair Tree	24"	"
	Jacaranda mimosifolia	Jacaranda	24"	"
	Koelreuteria bipinnata	Chinese Flame Tree	24"	"
	Koelreuteria paniculata	Goldenrain Tree	24"	"
	Liquidambar styraciflua 'Rotundiloba'	Sweet Gum	24"	"
	Magnolia grandiflora	Southern Magnolia	24"	"
	Melaleuca linarifolia	Flaxleaf Paperbark	24"	"
	Pinus canariensis	Canary Island Pine	24"	"
	Pinus eildarica	Afghan Pine	24"	"
	Pinus halepensis	Aleppo Pine	24"	"
	Pinus pinea	Italian Stone Pine	24"	"
	Pistacia chinensis	Chinese Pistache	24"	"
	Platanus acerifolia	London Plane Tree	24"	"
	Podocarpus gracilior	Fern Pine	24"	"
	Prunus cerasifera 'Purple Pony'	Cherry Plum	24"	"
	Prunus serrulata 'Kwanzan'	Cherry Plum	24"	"

APPENDICES

Entry Type	Botanical Name	Common Name	Size	Notes
	<i>Pyrus callieriana</i>	Ornamental Pear	24"	"
	<i>Quercus ilex</i>	Holly Oak	24"	"
	<i>Schinus molle</i>	California Pepper	24"	"
	<i>Tristania conferta</i>	Brisbane Box	24"	"
	<i>Tipuana tipu</i>	Tipu Tree	24"	"
	<i>Ulmus parvifolia 'Drake'</i>	Chinese Evergreen Elm	24"	"
	<i>Zelkova serrata 'Village Green'</i>	Sawleaf Zelkova	24"	"
SHRUBS	<i>Buxus japonica</i>	Japanese Boxwood		
	<i>Abelia grandiflora</i>	Glossy Abelia		
	<i>Agapanthus africanus</i>	Lily-Of-The-Nile		
	<i>Callistemon citrinus</i>	Lemon Bottlebrush		
	<i>Carisa macrocarpa</i>	Natal Plum		
	<i>Carisa grandiflora</i>	Natal Plum		
	<i>Escallonia fradesii</i>	Escallonia		
	<i>Feijoa sellowiana</i>	Pineapple Guava		
	<i>Grewia caffra</i>	Lavendar Star Vine		
	<i>Hemerocallis spp.</i>	Day Lily		
	<i>Ligustrum japonicum</i>	Japanese Privet		
	<i>Ligustrum ovalifolium</i>	California Privet		
	<i>Liriope muscari</i>	Big Blue Lily Turf		
	<i>Morea bicolor</i>	Fortnight Lily		
	<i>Myrtus communis</i>	Myrtle		
	<i>Myrsine africana</i>	African Boxwood		
	<i>Osmanthus ilicifolius</i>	Holly-Leaf Osmanthus		
	<i>Pittosporum tobira</i>	Mock Orange		
	<i>Pittosporum tobira 'Whealers Dwarf'</i>	Mock Orange		
	<i>Pittosporum tobira 'Varigata'</i>	Mock Orange		
	<i>Podocarpus macrophyllus</i>	Yew Pine		
	<i>Pyracantha coccinea</i>	Fire Thorn		
	<i>Rhaphiolepis indica spp.</i>	Pink Indian Hawthorne		

APPENDICES

<i>Entry Type</i>	<i>Botanical Name</i>	<i>Common Name</i>	<i>Size</i>	<i>Notes</i>
	Rosa banksia	Lady Bank's Rose		
	Trichostema lanatum	Woolly Blue Curlys		
	Viburnum japonicum	Viburnum		
	Viburnum tinus spp.	Viburnum		
	Xylosma compacta	Xylosma		
	Xylosma congestum	Xylosma		
GROUNDCOVER/VINES	Agapanthus africanus	Lily of the Nile		
	Festuca spp.	Marathon		
	Geisemium sempervirens	Carolina Jasmine		
	Heuchera maxima	Island Alum Root		
	Hedra helix	English Ivy		
	Hemerocallis hybrid	Daylily		
	Limonium perezii	Sea Lavender		
	Liriope muscari	Lily Turf		
	Lonicera japonica	Honeysuckle		
	Marathon Tall Fescue	Turf		
	Myoporum 'Pacificum'	Myoporum		
	Pandorea jasminoides	Bower Vine		
	Parthenocissus tricuspidata	Boston Ivy		
	Passiflora alatacaerulea	Passion Vine		
	Rosmarinus officinalis	Rosemary		
	Sisyrinchium bellum	Blue-Eyed Grass		
	Trachelospermum jasminoides	Star Jasmine		
	Trachelospermum asiaticum	Asiatic Jasmine		
	Vinca major	Periwinkle		
Project Plant List (Residential Yards and Areas and Non-Residential Areas)				
TREES	Deciduous Trees			
	Alnus cordata	Italian Alder		
	Brachychiton acerfolius	Australian Flame Tree		
	Fraxinus velutina	Arizona Ash		

APPENDICES

<i>Entry Type</i>	<i>Botanical Name</i>	<i>Common Name</i>	<i>Size</i>	<i>Notes</i>
	Ginkgo biloba	Maidenhair Tree		
	Jacaranda mimosifolia	Jacaranda		
	Koelreuteria bipinnata	Chinese Flame Tree		
	Koelreuteria paniculata	Goldenrain Tree		
	Lagerstromia indica	Crape Myrtle Tree		
	Liquidambar styraciflua	Sweet Gum		
	Liriodendron tulipifera	Tulip Tree		
	Pistacia chinensis	Chinese Pistache		
	Platanus acerifolia	London Plane Tree		
	Platanus racemosa	California Sycamore		
	Populus nigra 'Italica'	Lombardy Poplar		
	Prunus cerasifera 'Purple Pony'	Cherry Plum		
	Pyrus calleriana	Ornamental Pear		
	Robinia ambigisa 'Idahoensis'	Idaho Locust		
	Sophora japonica	Japanese Pagonda Tree		
	Tipuana tipu	Tipu Tree		
	Ulmus parvifolia 'Drake'	Chinese Evergreen Elm		
	Zelkova serrata 'Village Green'	Sawleaf Zelkova		
	Evergreen Trees			
	Arbutus unedo	Strawberry tree		
	Agonis flexuosa	Willow Myrtle		
	Brachychiton populeneus	Bottle Tree		
	Callistemon viminalis	Weeping Bottlebrush		
	Cinnamomum camphora	Camphor Tree		
	Cupaniopsis anacardiodes	Carrot Wood		
	Calocedrus decurrens	Incense Cedar		
	Cedrus deodara	Deodar Cedar		
	Erythrina bidwillii	Coral Tree		
	Eucalyptus leucoxyton	White Ironbark		

APPENDICES

<i>Entry Type</i>	<i>Botanical Name</i>	<i>Common Name</i>	<i>Size</i>	<i>Notes</i>
	<i>Eucalyptus nicholii</i>	Nichol's Willow-leaved Peppermint		
	<i>Eucalyptus sideroxylon</i>	Red Ironbark		
	<i>Eucalyptus torquata</i>	Coral Gum		
	<i>Geijera parviflora</i>	Strawberry Guava		
	<i>Grevillia Robusta</i>	Silk Oak		
	<i>Laurus nobilis</i>	Sweet Bay		
	<i>Magnolia grandiflora</i>	Southern Magnolia		
	<i>Melaleuca linarifolia</i>	Flaxleaf Paperbark		
	<i>Pinus canariensis</i>	Canary Island Pine		
	<i>Pinus eidarica</i>	Afghan Pine		
	<i>Pinus halepensis</i>	Aleppo Pine		
	<i>Pinus pinea</i>	Italian Stone Pine		
	<i>Pittosporum undulatum</i>	Sweet Pittosporum		
	<i>Podocarpus gracilior</i>	Fern Pine		
	<i>Prunus serrulata 'Kwanzan'</i>	Cherry Plum		
	<i>Quercus agrifolia</i>	Coast Live Oak		
	<i>Quercus ilex</i>	Holly Oak		
	<i>Rhus lancea</i>	African Sumac		
	<i>Schinus molle</i>	California Pepper		
	<i>Schinus terebinthifolius</i>	Brazilian Pepper		
	<i>Tristania conferta</i>	Brisbane Box		
	<i>Umbellularia californica</i>	California Bay		
SHRUBS	<i>Acacia redolens</i>	Acacia		
	<i>Abelia grandiflora</i>	Glossy Abelia		
	<i>Agapanthus africanus</i>	Lily-Of-The-Nile		
	<i>Buxus japonica</i>	Japanese Boxwood		
	<i>Buddleia davidii</i>	Butterfly Bush		
	<i>Callistemon citrinus</i>	Lemon Bottlebrush		
	<i>Ceanothus</i>	Wild Lilac		
	<i>Carisa macrocarpa</i>	Natal Plum		

APPENDICES

Entry Type	Botanical Name	Common Name	Size	Notes
	<i>Carisa grandiflora</i>	Natal Plum		
	<i>Cistus</i> spp.	Rockrose		
	<i>Cotinus coggygria</i>	Smoke Tree		
	<i>Cotoneaster horizontalis</i>	Cotoneaster		
	<i>Dodonaea viscosa</i>	Hop Bush		
	<i>Escallonia fradesii</i>	Escallonia		
	<i>Eriogonum giganteum</i>	St. Catherine's Lace		
	<i>Elaeagnus pungens</i>	Silverberry		
	<i>Echium fatuosum</i>	Pride of Maderia		
	<i>Feijoa sellowiana</i>	Pineapple Guava		
	<i>Fremontodendron californicum</i>	Common Flannel Bush		
	<i>Garrya elliptica</i>	Coast Silktassel		
	<i>Grewia caffra</i>	Lavendar Star Vine		
	<i>Hemerocallis</i> spp.	Day Lily		
	<i>Ilex</i> spp.	Holly		
	<i>Juniperus sabina</i>	Savin Juniper		
	<i>Juniperus chinensis</i>	Juniper		
	<i>Lavendula</i> spp.	Lavender		
	<i>Leptospermum scoparium</i>	New Zealand Tea Tree		
	<i>Leptospermum laevigatum</i>	Australian Tea Tree		
	<i>Ligustrum japonicum</i>	Japanese Privet		
	<i>Ligustrum ovalifolium</i>	California Privet		
	<i>Leucophyllum frutescens</i>	Texas Ranger		
	<i>Liriope muscari</i>	Big Blue Lily Turf		
	<i>Leonotis Leonuris</i>	Lion's Tail		
	<i>Melaleuca nesophila</i>	Pink Melaleuca		
	<i>Morea bicolor</i>	Fortnight Lily		
	<i>Myrtus communis</i>	Myrtle		
	<i>Myrsine africana</i>	African Boxwood		
	<i>Muhlenbergia rigens</i>	Deer Grass		

APPENDICES

Entry Type	Botanical Name	Common Name	Size	Notes
	Nerium oleander	Oleander		
	Osmanthus ilicifolius	Holly-Leaf Osmanthus		
	Phormium spp.	Flax		
	Pittosporum tobira	Mock Orange		
	Pittosporum tobira 'Whealers Dwarf'	Mock Orange		
	Pittosporum tobira 'Variegata'	Mock Orange		
	Plumbago capensis	Cape Plumbago		
	Podocarpus macrophyllus	Yew Pine		
	Prunus caroliniana	Carolina Laurel Cherry		
	Pyracantha coccinea	Fire Thorn		
	Raphiolepis indica spp.	Pink Indian Hawthorne		
	Rosa banksia	Lady Bank's Rose		
	Rhamnus californica	Coffeeberry		
	Rhus ovata	Sugar Bush		
	Salvia leucantha	Mexican Bush Sage		
	Salvia apiana	California White Sage		
	Trichostema lanatum	Woolly Blue Curlys		
	Xylosma compacta	Xylosma		
	Xylosma congestum	Xylosma		
GROUND COVER/VINES	Agapanthus africanus	Lily of the Nile		
	Artemisia schmidtiana	Angels Hair		
	Baccharis pilularis	Dwarf Coyote Bush		
	Festuca rubra	Creeping Red Fescue		
	Diplacus hybrids	Monkey Flower		
	Eschscholzia californica	California Poppy		
	Festuca ovina glauca	Blue Fescue		
	Festuca spp.	Marathon		
	Gelsemium sempervirens	Carolina Jasmine		
	Heuchera maxima	Island Alum Root		
	Hedra helix	English Ivy		

APPENDICES

Entry Type	Botanical Name	Common Name	Size	Notes
	Hemerocallis hybrid	Daylily		
	Limonium perezii	Sea Lavender		
	Liriope muscari	Lily Turf		
	Lonicera japonica	Honeysuckle		
	Marathon Tall Fescue	Turf		
	Myoporum 'Pacificum'	Myoporum		
	Pandorea jasminoides	Bower Vine		
	Parthenocissus tricuspidata	Boston Ivy		
	Passiflora alata/caerulea	Passion Vine		
	Rosmarinus officinalis	Rosemary		
	Sisyrinchium bellum	Blue-Eyed Grass		
	Trachelospermum jasminoides	Star Jasmine		
	Trachelospermum asiaticum	Asiatic Jasmine		
	Vinca major	Periwinkle		
Project Plant List (Entry Feature Trees, and Community Facility trees specifically for the Rancho Miramonte Neighborhood)				
	Phoenix Canariensis	Canary Island Date Palm		
	Phoenix Dactylifera	Date Palm		
	Phoenix Roebelenii	Pigmy Date Palm		
	Washingtonia Filifera	California Fan Palm		
	Arecastrum	Queen Palm		

APPENDICES

APPENDIX SIX—2003 PRESERVE ENVIRONMENTAL IMPACT REPORT (UNDER SEPARATE COVER)

APPENDICES

APPENDIX SEVEN – 2008 EDGEWATER AMENDMENT ENVIRONMENTAL IMPACT REPORT AND 2016 RANCHO MIRAMONTE ADDENDUM (UNDER SEPARATE COVER)

APPENDICES

APPENDIX EIGHT – 2003 PRESERVE WATER, DRAINAGE, SEWER MASTER PLANS
(UNDER SEPARATE COVER)

APPENDICES

APPENDIX NINE—2016 RANCHO MIRAMONTE AMENDMENT WATER, DRAINAGE,
SEWER MASTER PLANS (UNDER SEPARATE COVER)